

To: The Deputy Leader and Members of the Planning and Development Board

(Councillors Simpson, Bates, Bell, Chapman, Dirveiks, Fowler, Gosling, Hayfield, Hobley, Humphreys, Jarvis, Parsons, H Phillips, Reilly, Ridley and Ririe)

For the information of other Members of the Council

For general enquiries please contact the Democratic Services Team on 01827 719226 via e-mail – democraticservices@northwarks.gov.uk

For enquiries about specific reports please contact the officer named in the reports.

The agenda and reports are available in large print and electronic accessible formats if requested.

PLANNING AND DEVELOPMENT BOARD AGENDA

3 FEBRUARY 2025

The Planning and Development Board will meet on Monday, 3 February 2025 at 6.30pm in the Council Chamber at The Council House, South Street, Atherstone, Warwickshire.

The day after the meeting a recording will be available to be viewed on the Council's YouTube channel at [NorthWarks - YouTube](#).

AGENDA

- 1 **Evacuation Procedure.**
- 2 **Apologies for Absence / Members away on official Council business.**
- 3 **Disclosable Pecuniary and Non-Pecuniary Interests**

REGISTERING TO SPEAK AT THE MEETING

Anyone wishing to speak at the meeting, in respect of a Planning Application, must register their intention to do so by 1pm on the day of the meeting, either by email to democraticservices@northwarks.gov.uk or by telephoning 01827 719237 / 719221 / 719226.

Once registered to speak, the person asking the question has the option to either:

- (a) attend the meeting in person at the Council Chamber; or
- (b) attend remotely via Teams.

If attending in person, precautions will be in place in the Council Chamber to protect those who are present however this will limit the number of people who can be accommodated so it may be more convenient to attend remotely.

If attending remotely an invitation will be sent to join the Teams video conferencing for this meeting. Those registered to speak should join the meeting via Teams or dial the telephone number (provided on their invitation) when joining the meeting and whilst waiting they will be able to hear what is being said at the meeting. The Chairman of the Board will invite a registered speaker to begin once the application they are registered for is being considered.

- 4 **Minutes of the meeting of the Board held on 6 January 2025** – copy herewith, to be approved and signed by the Chairman.

ITEMS FOR DISCUSSION AND DECISION (WHITE PAPERS)

- 5 **Submission of Polesworth Neighbourhood Plan for Referendum** - Report of the Chief Executive.

Summary

This report informs Members of the progress of the Polesworth Neighbourhood Plan and seeks approval for a formal referendum to take place, in accordance with regulation 16 of the Neighbourhood Planning (General) Regulations 2012.

The Contact Officer for this report is Sue Wilson (719499).

6 **Planning Applications** - Report of the Head of Development Control

Summary

Town and Country Planning Act 1990 – applications presented for determination.

6a **Application No: PAP/2023/0386 - The Rectory, Rectory Farm Estate, Main Road, Baxterley, Atherstone, CV9 2LW.**

Retrospective consent for horse & pony livery, replacement stables buildings and paddock fencing.

6b **Application No: PAP: PAP/2024/0577 - Land North Of Park Lane Farm, Park Lane, Astley.**

Proposed extension to the consented Astley Gorse Solar Farm (PAP/2021/0651) to include ground mounted solar PV panels, ancillary infrastructure and equipment, landscaping and access arrangements.

6c **Application No: PAP/2024/0575 - Land Adjacent to Coleshill Manor, Off South Drive, Coleshill, B46 1DF.**

Variation of planning conditions 2, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13, 14, 17 and 20 attached to planning permission PAP/2019/0701 dated 11 August 2020 [which grants full planning permission for the erection and operation of a landmark structure, with associated visitor centre and public open space (D2), together with ancillary essential development including dedicated car parking, landscaping, access road and services provisions (mixed use including D1, A1, A3, A4 and B1 facilities) to operate as a national memorial and to create a significant public art architectural feature] to reflect design amendments to scheme and associated works.

6d **Application No: PAP/2024/0582 - Land West of Marston Fields Farm, Kingsbury Road, Lea Marston.**

Application for the installation of a Battery Energy Storage System (BESS) plus ancillary infrastructure and equipment, landscaping, biodiversity improvements and access.

6e **Application No: PAP/2024/0586 - Land 400 Metres West Of Camp Farm, Knowle Hill, Hurley, Warwickshire.**

The installation of a solar farm of up to 49.9 MW of generating capacity, comprising the installation of solar photovoltaic panels and associated infrastructure including substation, cabling, inverter and transformer substations, spare part container, associated battery

storage, access tracks, fencing, security cameras, landscape planting, areas for Biodiversity Net Gain and associated works.

6f **Application No: PAP/2024/0453 - Lynwyn, Botts Green Lane, Over Whitacre, Coleshill, B46 2NY.**

Regularisation of the existing incidental outbuilding and replace roof structure to existing garages and store with higher roof structure.

6g **Application No: PAP/2018/0686 - Kingsbury Hall, Coventry Road, Kingsbury.**

Hybrid application for i) Full planning application and Listed Building Consent for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 Use Classes, ii) Outline planning application (all matters reserved except access) for a high dependency care centre (Use Class C2), iii) Outline planning application for four apartment buildings for assisted living accommodation (Use Class C2) and dwellings for the over-55's (Use Class C3).

6h **Application No: PAP/2024/0546 - Wood End Recreation Ground, Johnson Street, Wood End.**

Works to tree protected by TPO order - T1 Oak (04XS) fell to ground level and treat stump to inhibit regrowth.

6i **Application No: CON/2025/0003 - A46 Walsgrave Junction, Coventry.**

Application for a Development Consent Order to upgrade the existing A46 Walsgrave Junction to the east of Coventry.

6j **Application No: PAP/2024/0513 and 2024/0514 - Trent House, 102, Long Street, Atherstone, CV9 1AN.**

Planning and Listed Building applications for the demolition of existing outbuildings for the provision of six new build dwellings along with change of use of existing listed commercial premises for the provision of fourteen flats.

6k **Application No: PAP/2022/0423 - Land to the south of, Watling Street, Caldecote, CV10 0TS.**

Outline planning permission for Extension of MIRA Technology Park to comprise employment use (Class B2); associated office and service uses (Class Eg); storage (Class B8); new spine road; car parking, landscaping and enabling works - All matters reserved.

6l **Application No: PAP/2023/0071 - Land 800 Metres South Of Park House Farm, Meriden Road, Fillongley.**

Construction of a temporary Solar Farm, to include the installation of ground-mounted solar panels together with associated works, equipment and necessary infrastructure.

The Contact Officer for this report is Jeff Brown (719310).

7 **PAP/2024/0559 – Prior Approval for Demolition – 88 Birchmoor Road, Polesworth, B78 1AB** - Report of the Head of Development Control

Summary

The decision on application PAP/2024/0559 is referred to the Board in order to inform Members of the Local Planning Authority's decision to not require prior approval for the demolition of the bungalow and garage at 88 Birchmoor Road, Polesworth.

The Contact Officer for this report is Jeff Brown (719310).

8 **Infrastructure Funding Statement** – Report of the Head of Development Control

Summary

The Infrastructure Funding Statement is an annual report which sets out the financial contributions received through Section 106 Agreements in the last year and highlights what has been spent and how any monies retained will be expended.

The Contact Officer for this report is Jeff Brown (719310).

9 **Reforming Planning Committees** – Report of the Head of Development Control.

Summary

The Government, as part of its planning reforms is to introduce a Planning and Infrastructure Bill later this year. One of the proposals that might be included is the reform of present Local Planning Authority planning decision-making processes. It has published a working paper in order see whether to include such a reform in that Bill. The Paper is described below, and the Board is invited to respond.

The Contact Officer for this report is Jeff Brown (719310).

- 10 **General Fund Revenue Budget 2024/25 Forecast and 2025/26 Estimates and Fees and Charges** - Report of the Interim Corporate Director Resources (Section 151 Officer)

Summary

This report covers the outturn position for 2024/25 and an estimate for 2025/26, together with future estimates for 2026/27, 2027/28 and 2028/29. It also includes a review of the fees and charges for Planning and Development as detailed in Appendix C.

The Contact Officer for this report is Akanksha Downing (719384)

- 11 **Exclusion of the Public and Press**

To consider, in accordance with Section 100A(4) of the Local Government Act 1972, whether it is in the public interest that the public and press be excluded from the meeting for the following items of business, on the grounds that they involve the likely disclosure of exempt information as defined by Schedule 12A to the Act.

- 12 **Enforcement Actions** - Report of the Head of Development Control.

The Contact Officer for this report is Ryan Lee-Wilkes (719290).

- 13 **Confidential Extract of the minutes of the Planning and Development Board held on 6 January 2025** – copy herewith to be approved as a correct record and signed by the Chairman.

STEVE MAXEY
Chief Executive

NORTH WARWICKSHIRE BOROUGH COUNCIL

**MINUTES OF THE
PLANNING AND DEVELOPMENT BOARD**

6 January 2025

Present: Councillor Simpson in the Chair

Councillors Bates, Bell, Chapman, Dirveiks, Fowler, Hobley, Humphreys, Jarvis, H Phillips, O Phillips, Ridley and Ririe.

Apologies for absence were received from Councillors Gosling (Substitute Councillor O Phillips), Hayfield, Parsons and Reilly.

56 Disclosable Pecuniary and Non-Pecuniary Interests

None were declared at the meeting.

57 Minutes

The minutes of the meeting of the Planning and Development Board held on 9 December 2024, copies having previously been circulated, were approved as a correct record, and signed by the Chairman.

58 Planning Applications

The Head of Development Control submitted a report for the consideration of the Board.

Resolved:

- a That in respect of Application No PAP/2024/0444 – Land Rear of 29 to 49 Little Warton Road, Warton**
 - i The proposed Deed of Variation of the Section 106 Agreement dated 8 November 2018 in respect of planning permission PAP/2017/0202 dated 22 November 2018 for land at the rear of 29 to 49 Little Warton Road, Warton, as set out in the report of the Head of Development Control, be agreed;**
 - ii The completion of the Deed be delegated to the Head of Legal Services subject to there being no matters which would cause the principle of the content of the draft Deed to be reviewed;**
 - iii That a briefing note be circulated to Members outlining the background to the current position taken by our Preferred Registered Providers; and**

- b That the determination of Application No: PAP/2022/0423 – Land to the south of Watling Street, Caldecote, CV10 0TS be deferred, to the next meeting of the Board, to allow consideration of new evidence received from one of the objectors; and

Speaker – Andy Macdonald and Graeme Warriner

- c That Application No PAP/2023/0259 – Church Farm, New Street, Baddesley Ensor, Atherstone, CV9 2DY be granted subject to the conditions set out in the report of the Head of Development Control with an additional one requiring a photographic record of the farm house to be undertaken and submitted to the Authority.

Speaker – Naomi Puliston

59 Improving Planning Performance

The Head of Development Control detailed a Government proposal to change the criteria for designation of a Local Authority if it is deemed not to be performing against National Indicators.

Resolved:

That the report be noted should the new measures be introduced.

60 Extension of Night Time Flights – Birmingham Airport

With the agreement of the Chairman, the Head of Development Control **verbally** advised the Board of a proposal that was being considered by Solihull Metropolitan Borough Council's Planning Committee on 8 January 2025, to make a change to the Section 106 agreement for Birmingham Airport to extend night time flights. The Council had only become aware of this proposal on 3 January 2025 and had not been consulted on it. The Council had made a request that a decision on this proposal be deferred until consultation had taken place but had been advised that consideration of the proposal would go ahead and only representations received by 8 January 2025 would be considered.

Resolved:

That the Head of Development Control write to Solihull Metropolitan Borough Council raising an objection that the Council has not been consulted and requests further information be supplied on the proposal to allow the Board to considered the proposal in full.

61 **Exclusion of the Public and Press**

That under Section 100A (4) of the Local Government Act 1972, the public and press be excluded from the meeting for the following items of business, on the grounds that they involve the likely disclosure of exempt information as defined by paragraphs 5 and 6 of Schedule 12A to the Act.

62 **Authorisation to Begin Prosecution Proceedings for Failure to Comply with Remedial Notice**

The Head of Development Control sought authorisation to begin prosecution proceedings for a failure to comply with a remedial notice, as detailed in his report.

Resolved:

That the recommendation, as set out in the report of the Head of Development Control, be approved.

63 **Replacement of Systems**

The Head of Development Control detailed a proposal regarding the Local Land Charges and Planning and Enforcement IT software.

Resolved:

That that proposal be accepted subject to confirmation of the source of the costs

M Simpson
Chairman

Agenda Item 5

Planning and Development Board

3 February 2025

Report of the Chief Executive

Submission of Polesworth Neighbourhood Plan for Referendum

1 Summary

- 1.1 This report informs Members of the progress of the Polesworth Neighbourhood Plan and seeks approval for a formal referendum to take place, in accordance with regulation 16 of the Neighbourhood Planning (General) Regulations 2012.

Recommendation to the Board:

That the Polesworth Neighbourhood Plan (as amended) be taken forward to referendum.

2 Consultation

- 2.1 Councillors Simpson and H Phillips have been sent a copy of this report for comments. Any comments received will be reported verbally at the meeting.

3 Background

- 3.1 The Localism Act 2011 introduced a mechanism for local communities to produce neighbourhood plans. In North Warwickshire it is the Parish Councils who can seek designation and create a group to lead on the production of the neighbourhood plans. Once a neighbourhood plan is 'made' (adopted) it becomes part of the statutory development plan for that area and will be used, alongside local and national planning policy and guidance, to determine planning applications.
- 3.2 There are now 13 designated Neighbourhood Plan areas within the Borough of which 9 have an Adopted Neighbourhood Plan. These are Austrey, Arley, Coleshill, Fillongley, Hartshill, Mancetter, Water Orton, Dordon and Nether Whitacre.

4 Polesworth

- 4.1 Polesworth is the tenth Neighbourhood Plan that has been formally examined by an Independent Examiner, Andrew Freeman, who was appointed by North Warwickshire Borough Council (NWBC) in September 2024, with the approval of Polesworth Parish Council. The examiner produced a report with

...
...
recommendations for changes to be made to the submitted Polesworth Neighbourhood Plan and, if these changes were made, then the Polesworth Neighbourhood Plan could go forward to referendum. The Examiners Report is available at **Appendix A**. Within the report the Examiner recommends that minor changes suggested by this Council can also be made to the Plan. These additional minor changes to the Plan are attached as **Appendix B**.

4.2 Polesworth Parish Council had their request for designation of a neighbourhood plan area approved on 30 September 2017. Following a range of public consultations, the Parish Council undertook a Regulation 14 Consultations for the statutory minimum consultation period of 6 weeks. The consultation took place for 6 weeks up to 30 April 2023. The Neighbourhood Plan was then submitted to NWBC who undertook a formal consultation under Regulation 16 for 6 weeks up to 5 September 2024. All comments from the NWBC consultation (17 in total) were then passed directly to the Independent Examiner.

4.3 The Independent Examiner considered the representations and the Plan as a whole and produced a report with a number of recommended changes to make the Plan conform with local and national planning policy. The Parish Council has made all of the changes to the Draft Polesworth Neighbourhood Plan as recommended by the Examiner and NWBC and these are shown in **Appendix C**.
...

4.4 The Neighbourhood Plan can only go to referendum if the Council is satisfied that it meets the Basic Conditions as set out in paragraph 8(2) of Schedule 4B to the Town and Country Planning Act 1990 as applied to neighbourhood plans by section 38A of the Planning and Compulsory Purchase Act 2004 and convention rights in the Human Rights Act 1988. The Basic Conditions as far as material to this application are:

- having regard to national policies and advice contained in guidance issued by the Secretary of State it is appropriate to make the neighbourhood plan;
- the making of the neighbourhood plan contributes to the achievement of sustainable development;
- the making of the neighbourhood plan is in general conformity with the strategic policies contained in the development plan for the area of the authority;
- the making of the neighbourhood plan does not breach, and is otherwise compatible with, retained EU obligations, including in relation to strategic environmental assessment; and,
- Article 8 (right to private and family life) of the European Convention on Human Rights.

4.5 The Plan must also comply with the definition of a neighbourhood plan and the provisions that can be made by a neighbourhood plan or can do so as modified. If the neighbourhood plan meets these criteria, a referendum must be held.

4.6 It is considered that the Polesworth Neighbourhood Plan meets the basic conditions and complies with the definition of a neighbourhood plan. The

Council is therefore satisfied that the Neighbourhood Plan as revised (with recommendations from the Examiner's Report dated 28 November 2024 and minor changes recommended by NWBC) complies with the legal requirements and basic conditions set out in the Localism Act 2011 and can therefore proceed to referendum. The amended Polesworth Neighbourhood Plan can be seen at **Appendix C**.

- 4.7 It is important to note that the Examiner recommended that the referendum area should not extend beyond the designated area to which the Plan relates, i.e., beyond the Polesworth Parish boundary. The Council agrees with this recommendation.

5 Next Steps

- 5.1 If agreed by Board the next step is for a Referendum to be organised. This must be held within 56 days of publication of the decision to hold a referendum, excluding Saturdays, Sundays, and Bank Holidays. This is organised by the Democratic Services Team. Early indications are that a referendum could be held on or around Thursday 20 March 2025. Confirmation of this date will be provided in due course once arrangements have been made.

6 Report Implications

6.1 Finance and Value for Money Implications

- 6.1.1 The Borough Council can claim £20,000 for each Neighbourhood Plan. The money can be applied for when a decision statement is issued detailing their intention to send the plan to referendum.

6.2 Legal and Human Rights Implications

- 6.2.1 The process referred to above conforms with the legal requirements for Neighbourhood Plans and referendums.

6.3 Human Resources Implications

- 6.3.1 Staff time is expected to be provided by the Borough Council to support and advise Parish Councils and communities in taking forward a Neighbourhood Development Plan. However, staff time is limited due to other work priorities of the Forward Planning Team and making sure this role can be provided to other Parishes who are also considering undertaking Neighbourhood Plans. Staff time is also required from the Democratic Services Team, who will organise the Referendum.

6.4 Environment, Climate Change and Health Implications

- 6.4.1 Each Neighbourhood Plan needs to consider the effects of the Neighbourhood Plans' contents in terms of environmental, climate change and sustainability issues in accordance with the relevant regulations. To ensure these were met Polesworth Neighbourhood Plan Team produced a

Screening Report as part of the Regulation 14 consultation. The statutory consultees of the Environment Agency, Historic England and Natural England, were consulted and raised no issues.

6.5 Links to Council's Priorities

6.5.1 The adoption of the Neighbourhood Plan has links to the following priorities:

- 1 Enhancing community involvement and access to services;
- 2 Protecting and improving our environment; and
- 3 Defending and improving our countryside and rural heritage.

The Contact Officer for this report is Sue Wilson (719499).

Background Papers

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Background Paper No	Author	Nature of Background Paper	Date
1	Intelligent Plans	Inspectors Report on Polesworth Neighbourhood Plan (Appendix A)	28/11/2024
2	NWBC	Minor Changes (Appendix B)	December 2024
3	NWBC	Polesworth Neighbourhood Plan (showing changes) Appendix C	January 2024



Report on the Polesworth Parish Neighbourhood Plan 2022 – 2033

**An Examination undertaken for North Warwickshire Borough Council
with the support of Polesworth Parish Council on the February 2024
submission draft version of the Plan.**

Independent Examiner: Andrew S Freeman BSc(Hons) DipTP DipEM FRTPI

Date of Report: 28 November 2024

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Main Findings - Executive Summary

From my examination of the Polesworth Parish Neighbourhood Plan (the Plan) and its supporting documentation, including the representations made, I have concluded that subject to the policy modifications set out in this report, the Plan meets the Basic Conditions.

I have also concluded that:

- the Plan has been prepared and submitted for examination by a qualifying body – Polesworth Parish Council;
- the Plan has been prepared for an area properly designated – the Polesworth Neighbourhood Area – Figure 1 on Page 5 of the Plan;
- the Plan specifies the period to which it is to take effect – 2022 - 2033; and
- the policies relate to the development and use of land for a designated neighbourhood area.

I recommend that the Plan, once modified, proceeds to referendum on the basis that it has met all the relevant legal requirements.

I have considered whether the referendum area should extend beyond the designated area to which the Plan relates and have concluded that it should not.

1. Introduction and Background

Polesworth Parish Neighbourhood Plan 2022 - 2033

- 1.1 Polesworth is a large village and civil parish within the administrative area of North Warwickshire Borough Council. The built-up areas of Warton and Birchmoor also lie within the designated area. The parish is close to the northern tip of Warwickshire with Staffordshire to the west and Leicestershire to the east. The M42 motorway runs near the western boundary of the parish beyond which is Tamworth, Staffordshire, some 6 km away. The main line railway between Tamworth and London, via Coleshill, cuts through the southwestern part of the parish.
- 1.2 The parish was designated as a neighbourhood area by North Warwickshire Borough Council in September 2017. Since that time, the Parish Council has involved the local community and businesses in the preparation of a plan that has focussed on six key issues. The resultant Plan has an overarching vision, six objectives and nine detailed policies.

The Independent Examiner

- 1.3 As the Plan has now reached the examination stage, I have been appointed as the examiner of the Polesworth Parish Neighbourhood Plan by North Warwickshire Borough Council, with the agreement of Polesworth Parish Council.
- 1.4 I am a chartered town planner and former government Planning Inspector with over forty years' experience. I have worked in both the public and the private sectors. I am an independent examiner and do not have an interest in any of the land that may be affected by the draft Plan.

The Scope of the Examination

- 1.5 As the independent examiner I am required to produce this report and recommend either:
- (a) that the neighbourhood plan is submitted to a referendum without changes; or
 - (b) that modifications are made and that the modified neighbourhood plan is submitted to a referendum; or
 - (c) that the neighbourhood plan does not proceed to a referendum on the basis that it does not meet the necessary legal requirements.
- 1.6 The scope of the examination is set out in Paragraph 8(1) of Schedule 4B to the Town and Country Planning Act 1990 (as amended) ("the 1990 Act"). The examiner must consider:
- Whether the Plan meets the Basic Conditions.
 - Whether the Plan complies with provisions under Sections 38A and 38B of the Planning and Compulsory Purchase Act 2004 (as amended) ("the 2004 Act"). These are:
 - it has been prepared and submitted for examination by a qualifying body, for an area that has been properly designated by the local planning authority;
 - it sets out policies in relation to the development and use of land;
 - it specifies the period during which it has effect;
 - it does not include provisions and policies for "excluded development"; and
 - it is the only neighbourhood plan for the area and does not relate to land outside the designated neighbourhood area.
 - Whether the referendum boundary should be extended beyond the designated area, should the Plan proceed to referendum.

- Such matters as prescribed in the Neighbourhood Planning (General) Regulations 2012 (as amended) (“the 2012 Regulations”).
- 1.7 I have considered only matters that fall within Paragraph 8(1) of Schedule 4B to the 1990 Act, with one exception. That is the requirement that the Plan is compatible with the Human Rights Convention.

The Basic Conditions

- 1.8 The “Basic Conditions” are set out in Paragraph 8(2) of Schedule 4B to the 1990 Act. In order to meet the Basic Conditions, the neighbourhood plan must:
- have regard to national policies and advice contained in guidance issued by the Secretary of State;
 - contribute to the achievement of sustainable development;
 - be in general conformity with the strategic policies of the development plan for the area;
 - be compatible with and not breach European Union (EU) obligations (under retained EU law)¹; and
 - meet prescribed conditions and comply with prescribed matters.
- 1.9 Regulation 32 of the 2012 Regulations prescribes a further Basic Condition for a neighbourhood plan. This requires that the making of the Neighbourhood Development Plan does not breach the requirements of Chapter 8 of Part 6 of the Conservation of Habitats and Species Regulations 2017.²

2. Approach to the Examination

Planning Policy Context

- 2.1 The Development Plan for this part of North Warwickshire Borough Council, not including documents relating to excluded minerals and waste development, is the North Warwickshire Local Plan 2021.
- 2.2 Planning policy for England is set out principally in the National Planning Policy Framework (NPPF) and is accompanied by the Planning Practice Guidance (PPG) which offers guidance on how this policy should be

¹ The existing body of environmental regulation is retained in UK law.

² This revised Basic Condition came into force on 28 December 2018 through the Conservation of Habitats and Species and Planning (Various Amendments) (England and Wales) Regulations 2018.

implemented. All references in this report are to the latest iteration of the NPPF dated December 2023 and the accompanying PPG.³

Submitted Documents

- 2.3 I have considered all policy, guidance and other reference documents I consider relevant to the examination, including those submitted which comprise:
- the draft Polesworth Parish Neighbourhood Plan 2022 - 2033, February 2024;
 - a map which identifies the area to which the proposed Neighbourhood Development Plan relates;
 - the Consultation Statement, February 2024;
 - the Basic Conditions Statement, February 2024;
 - all the representations that have been made in accordance with the Regulation 16 consultation;
 - the Polesworth Neighbourhood Development Plan Strategic Environmental Assessment (SEA)/Habitats Regulations Assessment (HRA) Screening, February 2023; and
 - the request for additional clarification sought in my letter dated 25 September 2024 and the responses from Polesworth Parish Council received on 6, 9 and 11 October 2024.⁴

Site Visit

- 2.4 I made an unaccompanied site visit to the Neighbourhood Plan Area on 14 October 2024 to familiarise myself with it and visit relevant sites and areas referenced in the Plan and evidential documents.

Written Representations with or without Public Hearing

- 2.5 This examination has been dealt with by written representations. I considered hearing sessions to be unnecessary as the consultation responses clearly articulated the objections to the Plan and presented arguments for and against the Plan's suitability to proceed to a referendum.

³ The government has recently consulted on further changes to the NPPF (albeit these are not likely to be published in final form until late 2024/early 2025): [Proposed reforms to the National Planning Policy Framework and other changes to the planning system - GOV.UK \(www.gov.uk\)](https://www.gov.uk/government/consultations/proposed-reforms-to-the-national-planning-policy-framework-and-other-changes-to-the-planning-system)

⁴ View the documents at: <https://www.northwarks.gov.uk/forward-planning/neighbourhood-planning>

Modifications

- 2.6 Where necessary, I have recommended modifications to the Plan (**PMs**) in this report in order that it meets the Basic Conditions and other legal requirements. For ease of reference, I have listed these modifications separately in the Appendix.

3. Procedural Compliance and Human Rights

Qualifying Body and Neighbourhood Plan Area

- 3.1 The Polesworth Parish Neighbourhood Plan has been prepared and submitted for examination by Polesworth Parish Council, which is a qualifying body for an area that was designated by North Warwickshire Borough Council on 20 September 2017.
- 3.2 It is the only Neighbourhood Plan for Polesworth Neighbourhood Area and does not relate to land outside the designated Neighbourhood Plan Area.

Plan Period

- 3.3 The Plan specifies clearly the period to which it is to take effect, which is from 2022 to 2033.

Neighbourhood Plan Preparation and Consultation

- 3.4 Details of plan preparation and consultation are set out in the Parish Council's Consultation Statement, February 2024. Application for designation of the whole of the parish as a neighbourhood area was sought in April 2017 and approved by the Borough Council on 20 September 2017.
- 3.5 Since that time, targeted survey work and engagement has taken place. This has included a parish survey and several engagement events across the parish, at Polesworth, Warton and Birchmoor. The community has also been kept informed of progress via emails and through the Parish Council's web site.
- 3.6 Formal consultation under Regulation 14 took place between 15 March 2023 and 30 April 2023. About 100 representations were made, mainly from individuals but also from the Borough Council and agents acting for landowners. The comments of the Borough Council, and the Parish Council's response, are summarised in the Consultation Statement at Table 1. Table 2 contains a summary of the comments of other representors and the way in which the issues were addressed.
- 3.7 Consultation by the Borough Council under Regulation 16 was carried out between 11 July 2024 and 5 September 2024. This resulted in responses

from 16 organisations including statutory consultees, agents acting for landowners and the Borough Council itself.

- 3.8 I am satisfied that, at both the Regulation 14 and the Regulation 16 stages, the consultation process met the legal requirements and there has been procedural compliance. Regard has been paid to the advice on plan preparation and engagement in the PPG.

Development and Use of Land

- 3.9 The Plan sets out policies in relation to the development and use of land in accordance with Section 38A of the 2004 Act.

Excluded Development

- 3.10 The Plan does not include provisions and policies for “excluded development”.⁵

Human Rights

- 3.11 Polesworth Parish Council is satisfied that the Plan does not breach Human Rights (within the meaning of the Human Rights Act 1998). From my independent assessment, I see no reason to disagree.

4. Compliance with the Basic Conditions

EU Obligations

- 4.1 The Neighbourhood Plan was screened for Strategic Environmental Assessment (SEA) on behalf of Polesworth Parish Council, which found that it was unnecessary to undertake SEA. Having read the Strategic Environmental Assessment Screening Opinion, I support this conclusion.
- 4.2 Polesworth Parish Neighbourhood Plan was further screened for Habitats Regulations Assessment (HRA), which also was not triggered. The site is not in close proximity to a European designated nature site. Natural England agreed with this conclusion.⁶ From my independent assessment of this matter, I have no reason to disagree.

Main Issues

- 4.3 Having regard for the Polesworth Parish Neighbourhood Plan, the consultation responses and other evidence, and the site visit, I consider that there are seven main issues relating to the Basic Conditions for this examination. These concern:

⁵ See section 61K of the 1990 Act.

⁶ Email dated 27 April 2023 in Appendix 1 of the Screening Opinion.

- Green Spaces;
- Sustainable Design and Construction;
- Landscape;
- Heritage Assets;
- Community Facilities;
- Transport; and
- Preserving the Identity of Polesworth's Villages.

- 4.4 Before I deal with the main issues, I have a few observations to make with regard to the representations. First, the Polesworth Parish Neighbourhood Plan should be seen in the context of the wider planning system. This includes the North Warwickshire Local Plan as well as the NPPF and PPG. It is not necessary to repeat in the Neighbourhood Plan matters that are quite adequately dealt with elsewhere.⁷ Having said that, there may be scope to give emphasis to matters particularly relevant in the context of Polesworth.
- 4.5 Secondly, the Neighbourhood Plan does not have to deal with each and every topic raised through the consultation. In this regard, the content of the Neighbourhood Plan and the scope of the policies is largely at the discretion of the qualifying body, albeit informed by the consultation process and the requirements set by the Basic Conditions.
- 4.6 Thirdly, my central task is to judge whether the Neighbourhood Plan satisfies the Basic Conditions. Many of the representations do not demonstrate or indicate a failure to meet those conditions or other legal requirements. Similarly, many of the suggested additions and improvements are not necessary when judged against the Basic Conditions.
- 4.7 The following section of my report sets out modifications that are necessary in order to meet the Basic Conditions. Some of the proposed modifications are factual corrections.⁸ Others are necessary in order to have closer regard to national policies and advice. In particular, plans should be succinct and contain policies that are clearly written and unambiguous.⁹ A decision maker should be able to apply them consistently and with confidence when determining planning applications. In addition, the policies should be supported by appropriate evidence.¹⁰

Issue 1 – Green Spaces

- 4.8 Policy PNP1 identifies 12 areas as potential Local Green Spaces. One of these is Hoo Monument (PNP1/8), an obelisk and surrounding land to the south of the B5000. This lies within an area (H4) allocated for development under the North Warwickshire Local Plan and where there is

⁷ See NPPF, Paragraph 16 f).

⁸ Modifications for the purpose of correcting errors is provided for in Paragraph 10(3)(e) of Schedule 4B to the 1990 Act.

⁹ NPPF, Paragraphs 15 and 16 d).

¹⁰ PPG Reference ID: 41-041-20140306.

provision for a Masterplan Framework and Design Guide to be developed by the landowners alongside, and approved by, the Borough Council.

- 4.9 The proposed Local Green Space designation would apply to the obelisk itself and 1.83 ha of surrounding land, roughly circular in shape. There is also reference, in Paragraph 5.7 of the Plan, to a suggested wider green buffer around the monument of around 10 hectares in extent.
- 4.10 I appreciate that the designation of the monument and the 1.83 ha of surrounding land would act as a constraint in drawing up the Masterplan Framework and Design Guide. Nevertheless, I consider that the designation meets the appropriate criteria. As to a wider green buffer, this had not been defined in any way. In any event, the area involved, whether 10 hectares or 10 acres,¹¹ would certainly constrain the development of the area without any meaningful justification. Reference to the green buffer should be deleted.
- 4.11 A further candidate site is St John's Church Allotments (PNP1/12). In error, these allotments have not been marked on the Policies Map nor have they been described in the Local Green Spaces Assessment (Appendix 1, Table 1). Be that as it may, the Parish Council has provided me with further information regarding the site.¹² I saw that the allotments comprise a relatively small area within the built-up area of Birchmoor. They would be special to the community as a garden area where locals could grow fruit and vegetables in a quiet and tranquil environment.
- 4.12 I find that all the proposed sites meet the criteria set out in Paragraph 106 of the NPPF as amplified by guidance in the PPG.¹³ I am also content that the Local Green Spaces are capable of enduring beyond the end of the Plan period (NPPF, Paragraph 105). However, as indicated above, amendments to the Neighbourhood Plan and Policies Map are required as described in proposed modification **PM1**.
- 4.13 Policy PNP2 is concerned with protecting other green spaces within the designated area. I have experienced a degree of difficulty in identifying all the candidate spaces and linking the information in Appendix 2, Table 1 (Other Open Spaces Assessment) with the spaces shown on the Policies Map. For clarity, all the sites should be numbered in the table and on the map. Table 2 should also be re-titled to match the policy (to Other Green Spaces Assessment).
- 4.14 My comments are limited to the sites plotted on the Policies Map and which I had the opportunity to inspect. Of these, the Parish Council has

¹¹ The Parish Council's response dated 11 October indicates that 10 acres has been erroneously reported as 10 hectares.

¹² See response dated 11 October 2024 to my questions.

¹³ See PPG Reference ID: 37-013-20140306.

now indicated that the spaces at Austrey Road, Warton are not of a quality that deserves protection.¹⁴

- 4.15 Of the remaining spaces, I saw that, typically, they comprise grass verges or spaces of very average quality within housing estates. I can see that they would be appreciated by local residents. However, to require replacement if they were lost would be unduly onerous. To my mind, and leaving aside issues of on-going maintenance, the quality of the typical space is not of a level that would justify replacement. Additionally, it is unlikely that replacement elsewhere within the settlement would act as compensation for those experiencing the loss.
- 4.16 Proposed modification **PM2** sets out amendments that would add clarity to the identification of "other green spaces" as well as deleting the requirement for equivalent or better replacement provision should green space be lost.

Issue 2 – Sustainable Design and Construction

- 4.17 Policy PNP3 is a comprehensive development management policy with 23 criteria on the subject of sustainable design and construction. The opening paragraph of the policy (and Paragraph 5.13 of the Plan) references the 'Polesworth Design Code' saying that this should be used by all those involved in the development process.¹⁵ To be given weight, I would normally expect such a document to have been progressed as part of the Plan.¹⁶ I have not been given a copy of the Code as part of the documentation supporting the examination¹⁷, albeit I understand a draft document has been produced and will be the subject to formal consultation in due course. For the purposes of Policy PNP3, it would be premature to include reference to the draft Polesworth Design Codes and Guidelines when the document has not been subject to appropriate public engagement and opportunity for comment. Accordingly, I recommend deletion of the reference to the Polesworth Design Codes and Guidelines in the Policy and an amendment to the wording in Paragraph 5.15 to reflect the intention to undertake consultation on the draft Design Codes and Guidelines at a later date.
- 4.18 Criterion (e) of the policy calls for amenity space sufficient to meet the needs of the development although the word "sufficient" is not explained. I note, however, that the matter is dealt with in general terms in Policy

¹⁴ See response dated 11 October 2024 to my questions.

¹⁵ This documents does not appear to found on the Parish Council's website (or readily located elsewhere).

¹⁶ See NPPF, Paragraph 134.

¹⁷ See PPG Reference ID: 26-008-20191001: "*Design codes can be applied to all development types including residential, commercial, mixed use, open space, landscape or public realm requirements. They can be adopted as a supplementary planning document, or appended to a Neighbourhood Plan, Community Right to Build Order or Neighbourhood Development order.*"

LP22 of the Local Plan and its supporting text. As such, I would expect provision to be “in accordance with the Local Plan”.

- 4.19 Criterion (f) refers to “net-gain for wildlife”. Whilst the term “net-gain for biodiversity” is widely understood, “net-gain for wildlife” is not. For the avoidance of doubt, “biodiversity” should be used in place of “wildlife”.
- 4.20 Criterion (i) of the policy refers to including measures that seek to improve pedestrian facilities and linkages in the parish and beyond. However laudable the objectives, I would expect the requirement to be limited by the tests relating to planning obligations.¹⁸ Rewording of the criterion will be necessary.
- 4.21 Appropriate amendments to Policy PNP3 are set out in proposed modification **PM3**.

Issue 3 – Landscape

- 4.22 Criterion (f) of Policy PNP4 (Conserving and Enhancing the Landscape) seeks to minimise the encroachment of development into visually exposed landscapes. Where development is proposed on the edge of villages, there is a requirement to enhance views of the settlement edge and avoid inappropriate incursion into the surrounding countryside.
- 4.23 I can see that, for much of the designated area, these provisions would have value. However, the whole of the area generally east of Dordon and south of the B5000 is allocated for development in the Local Plan (Policy H4). In this regard, I find it difficult to reconcile the Neighbourhood Plan proposals and the Local Plan allocation. The H4 land should be excluded from the policy as in proposed modification **PM4**.

Issue 4 – Heritage Assets

- 4.24 Policy PNP5 (Non-designated Heritage Assets) is written as if the features identified in the policy are to be formally designated as non-designated heritage assets through the Neighbourhood Plan. Whilst there is evidence to support the designation of many of the assets, others would not meet the requirements set out in guidance.¹⁹
- 4.25 Be that as it may, I am now advised that “There is no expectation of formal designation” and that “Any formal designation would be through the Local List maintained by North Warwickshire Borough Council”. They are “assets which the community identified through our consultation processes”.²⁰

¹⁸ See NPPF, Paragraph 57.

¹⁹ See PPG Reference ID: 37-005-20140306 to ID: 37-022-20140306.

²⁰ See Parish Council’s response dated 11 October 2024 to my questions.

- 4.26 I can see that the assets identified have a certain significance and could be described as Assets of Local Historic Value that would be worthy of consideration under the Neighbourhood Plan. In effect, they are candidate non-designated heritage assets. The available evidence will be considered by the Borough Council prior to any inclusion on the Local List. However, for the time being, they would not have the status of designated or non-designated heritage assets. Any policy would need to be qualified by the provisions of the Development Plan and, particularly, the NPPF.
- 4.27 A degree of editing of Policy PNP5 and the supporting text will be necessary to accord with the latest evidence. Appropriate policy changes are set out in proposed modification **PM5**.

Issue 5 – Community Facilities

- 4.28 Policy PNP6 is concerned with the protection of existing services and facilities, as listed in the policy and shown on the Policies Map. In this regard, I have been supplied with two versions of the Policies Map, one at A4 size and a larger plan at a scale of 1:4,541. The services and facilities are plotted on the A4 plan but not on the large-scale version.
- 4.29 To be able to identify the various facilities, and apply the policy consistently and with confidence, they need to be shown on the large-scale Policies Map; also, numbered and cross-referenced to the facilities named in the policy. This would be effected through proposed modification **PM6**.
- 4.30 A similar issue arises in relation to Policy PNP7 – Sport, Recreation and Leisure Facilities. For the reasons stated, they need to be shown on the large-scale Policies Map. Proposed modification **PM7** refers.

Issue 6 - Transport

- 4.31 Policy PNP8 lists a number of transport projects that “will be brought forward during the plan period”. Whilst this information is informative, there is no indication as to *how* the projects are to be brought forward.
- 4.32 To be sought in relation to development proposals, the transport projects would have to pass the tests set out in Paragraph 57 of the NPPF. Re-wording of the policy will be necessary in order to make clear the circumstances under which the proposals could be brought forward. This is addressed in proposed modification **PM8**.

Issue 7 – Preserving the Identity of Polesworth’s Villages

- 4.33 The final policy in the Neighbourhood Plan is Policy PNP9 – Preserving the Separate Identity of Polesworth’s Villages. One of the measures that will be supported is, “Maintaining as open land the non-strategic open space identified on the Policies Map”.

- 4.34 It is clear from Paragraph 5.47 of the Neighbourhood Plan that the non-strategic open spaces in question are the same as those identified as “Other Green Spaces” under Policy PNP2. These already enjoy protection under that policy. To give two different labels to the same spaces would be confusing and unnecessary. The spaces should be called Other Green Spaces as identified under Policy PNP2 (proposed modification **PM9**).

Other Matters

- 4.35 All policy areas have been considered in the foregoing discussion. With the modifications that I have recommended, the Plan would meet the Basic Conditions. Other minor changes (that do not affect the Basic Conditions), including those suggested by North Warwickshire Borough Council as well as consequential amendments, corrections and up-dates²¹, could be made prior to the referendum at the Councils’ discretion.

5. Conclusions

Summary

- 5.1 The Polesworth Parish Neighbourhood Plan has been duly prepared in compliance with the procedural requirements. My examination has investigated whether the Plan meets the Basic Conditions and other legal requirements for neighbourhood plans. I have had regard for all the responses made following consultation on the Neighbourhood Plan and the evidence documents submitted with it.
- 5.2 I have made recommendations to modify a number of policies and text to ensure the Plan meets the Basic Conditions and other legal requirements. I recommend that the Plan, once modified, proceeds to referendum.

The Referendum and its Area

- 5.3 I have considered whether or not the referendum area should be extended beyond the designated area to which the Plan relates. The Polesworth Parish Neighbourhood Plan as modified has no policy or proposals which I consider significant enough to have an impact beyond the designated Neighbourhood Plan boundary, requiring the referendum to extend to areas beyond the Plan boundary. I recommend that the boundary for the purposes of any future referendum on the Plan should be the boundary of the designated Neighbourhood Plan Area.

Overview

- 5.4 It is evident that a considerable amount of time and effort has been devoted to the development and production of this Plan and I congratulate

²¹ See PPG Reference ID:41-106-20190509.

those who have been involved. The Plan should prove to be a useful tool for future planning and change in Polesworth over the coming years.

Andrew S Freeman

Examiner

Appendix: Modifications

Proposed modification number (PM)	Page no/ other reference	Modification
PM1	Page 27 and Table 1	<p>In connection with Policy PNP1 – Protecting Local Green Space, delete Paragraph 5.7.</p> <p>In the Local Green Spaces Assessment (Appendix 1, Table 1, Page 61), delete the words, “The Parish Council also suggest that a wider green buffer is identified to help protect this site – see paragraph 5.7 of the PNP.”</p> <p>In the Local Green Spaces Assessment (Appendix 1, Table 1, Page 64), complete the assessment for the St John’s Church Allotments site (PNP1/12).</p> <p>On the Policies Map, show site PNP1/12 – St John’s Church Allotments.</p>
PM2	Page 28, Table 2 and Policies Map	<p>Substitute the following for Policy PNP2:</p> <p>“Development that would result in the loss of other green spaces (shown on the Policies Map) will only be supported when it can be clearly demonstrated by the applicant that the open space no longer performs a useful open space function in terms of the local environment, amenity or active public recreation use.”</p> <p>Delete the spaces at Austrey Road, Warton from Table 2 and the Policies Map.</p> <p>Change the title of Table 2 to “Other Green Spaces Assessment”.</p> <p>Number all the Other Green Spaces shown on the Policies Map and give equivalent numbers to the spaces described in Table 2.</p> <p>Delete from Table 2 the entry for any Other Green Spaces not shown on the Policies Map.</p>

<p>PM3</p>	<p>Pages 29 and 30</p>	<p>In the opening paragraph of Policy PNP3, delete the second sentence.</p> <p>Replace the final section of Paragraph 5.13 with the following:</p> <p>“To this effect, there is a National Design Guide and National Model Design Code. In addition, the Parish Council has produced the draft Polesworth Design Codes and Guidelines. This is an advisory document that is indicative of the sort of considerations that might be addressed by applicants. Formal consultation on the draft document by the Parish Council is envisaged in due course.”</p> <p>At the end of criterion (e), add “in accordance with the Local Plan”.</p> <p>In criterion (f), change “wildlife” to “biodiversity”.</p> <p>At the end of criterion (i), add “in accordance with the tests relating to planning obligations”.</p> <p>In the final paragraph of Section 5.13, delete all but the first sentence.</p>
<p>PM4</p>	<p>Page 33</p>	<p>In Policy PNP4, at the commencement of criterion (f), insert the following words:</p> <p>“Other than in relation to land to the east of Polesworth and Dordon (Local Plan Policy H4),”.</p>
<p>PM5</p>	<p>Pages 38, 39 and elsewhere</p>	<p>Replace Policy PNP5 with the following:</p> <p>“Policy PNP5 – Assets of Local Historic Value</p> <p>The assets identified in Appendix 2 and shown on the Policies Map will be conserved in a manner appropriate to their significance, as demonstrated by the latest evidence, and national and development plan policy. When affected directly or indirectly by development proposals, the scale of any harm or loss will be taken into</p>

		<p>account as well as the significance of the asset.</p> <p>The Parish Council will work with North Warwickshire Borough Council to include these assets on the Borough's Local List.”</p> <p>Carry out consequential amendments to the text of the Neighbourhood Plan and the Policies Map recognising, in particular, the use of the term Assets of Local Historic Value instead of non-designated heritage assets.</p>
PM6	Page 41 and Policies Map	<p>Number the services and facilities identified in Policy PNP6.</p> <p>On the large scale Policies Map, show the numbered services and facilities.</p>
PM7	Page 43 and Policies Map	<p>In relation to Policy PNP7, show the sport, recreation and leisure facilities on the large-scale Policies Map.</p>
PM8	Page 45	<p>At the end of Policy PNP8 – Transport, insert the following sentence:</p> <p>“Development proposals will be expected to contribute to these projects where the tests set out in Paragraph 57 of the NPPF are met.”</p>
PM9	Page 49	<p>In Policy PNP9, substitute the following for consideration c): “Maintaining as open land the Other Green Spaces identified under Policy PNP2.”</p>

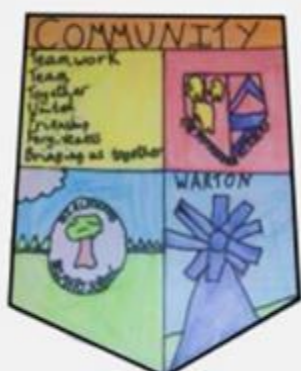
**Minor Amendments to Polesworth Neighbourhood Plan by North Warwickshire
Borough Council**

PAGE	Paragraph	NWBC COMMENT	Number
	General 2	There are some references that will be out of date when the plan moves forward which will need to be removed or amended accordingly (1.4, 1.5, 2.1 – 2.7)	NWBC1
12	3.4	The planning application has been determined the appeal has been dismissed so this needs to be deleted or reworded so will need rewording to reflect this. We suggest that the last sentence should be amended to read “Any development would potentially detract from this village/hamlet environment”	NWBC2
51	6.0	Following Examination – this chapter will need updating or deleting	NWBC3
Comments below will be taken into consideration at the adoption stage of the plan as they are only very minor layout changes			
	General 3	There is a lot of text taken out of the NPPF, NWLP and other documents. As this is already contained in other documents, it could just be referenced. If it is felt that the text is relevant then it could all be put into a suite of Appendices (NWLP, NPPF, LCA etc). The focus should be on the Polesworth Neighbourhood Plan and not other documents	
18	4.5	This is the NWBC Local Plan vision and is not needed. If the PC feel it is relevant, then it should be put in an Appendix alongside any other repetitions of plans and Policies from the Adopted Local Plan 2021. The text should be altered to say that they support the vision of the Local Plan (see General 3 Comment)	
19	4.6	Again the Objectives of the Local Plan are not needed and can be deleted or put in an Appendix as suggested above in the general comment (see General 3 Comment)	
21	4.7	It is sufficient just to reference para 7.2 of the Local Plan (see General 3 Comment)	
21	4.8	The NWLP Settlement Hierarchy should be an Appendix if felt it is needed or it could be reworded to simply show Polesworth’s standing in the Settlement Hierarchy (see General 3 Comment)	
22	4.9	This is just a repeat of NWBC Local Plan and is not needed. If the PC feel it is relevant, then it should be put in an Appendix alongside any other repetitions of plans and Policies (see General 3 Comment)	
31	5.13	Reference to Para 126 of the NPPF is sufficient and there is no need to write out the whole para (see General 3 Comment)	

APPENDIX B

33-35	5.19 - 5.21	Reference to the NCA is fine and the actual text is not needed – hyperlink can always be given to the actual document or as suggested previously an Appendix can contain all Policies, Plans and Documents that text is taken from (see General 3 Comment)	
35-38	5.23 – 5.26	It is just a repeat of the LCA and does not bring any meaningful value and could be shortened and the quotes taken from the LCA put in the suggested Appendix (see General 3 Comment)	
42	5.32	Again the whole Policy (LP21) from the NWLP is not needed and reference is enough (see General 3 Comment)	
43	5.34	LP22 can again just be referenced, and a hyperlink added or the Policy added to an Appendix (see General 3 Comment)	

Polesworth Parish Council



POLESWORTH PARISH NEIGHBOURHOOD PLAN

2022-2033

Referendum Version

Foreword

Thank you for taking the time to get involved in shaping the future of Polesworth.

When adopted the Polesworth Neighbourhood Plan (PNP) will allow residents, businesses and other organisations to get involved in setting planning policies for the future of Birchmoor, Polesworth and Warton. The PNP will also sit alongside other planning policy documents, including the North Warwickshire Local Plan, and be used to help make decisions on planning applications.

The plan has been prepared by a working group of parish councillors and committed residents and has been revised to take on board comments made during previous consultations. The neighbourhood plan includes policies to protect our green spaces, recreation areas, landscape, community facilities and local heritage assets.

Dave Parsons

Chair of the Neighbourhood Plan Committee

Table of Contents

1.0 Background

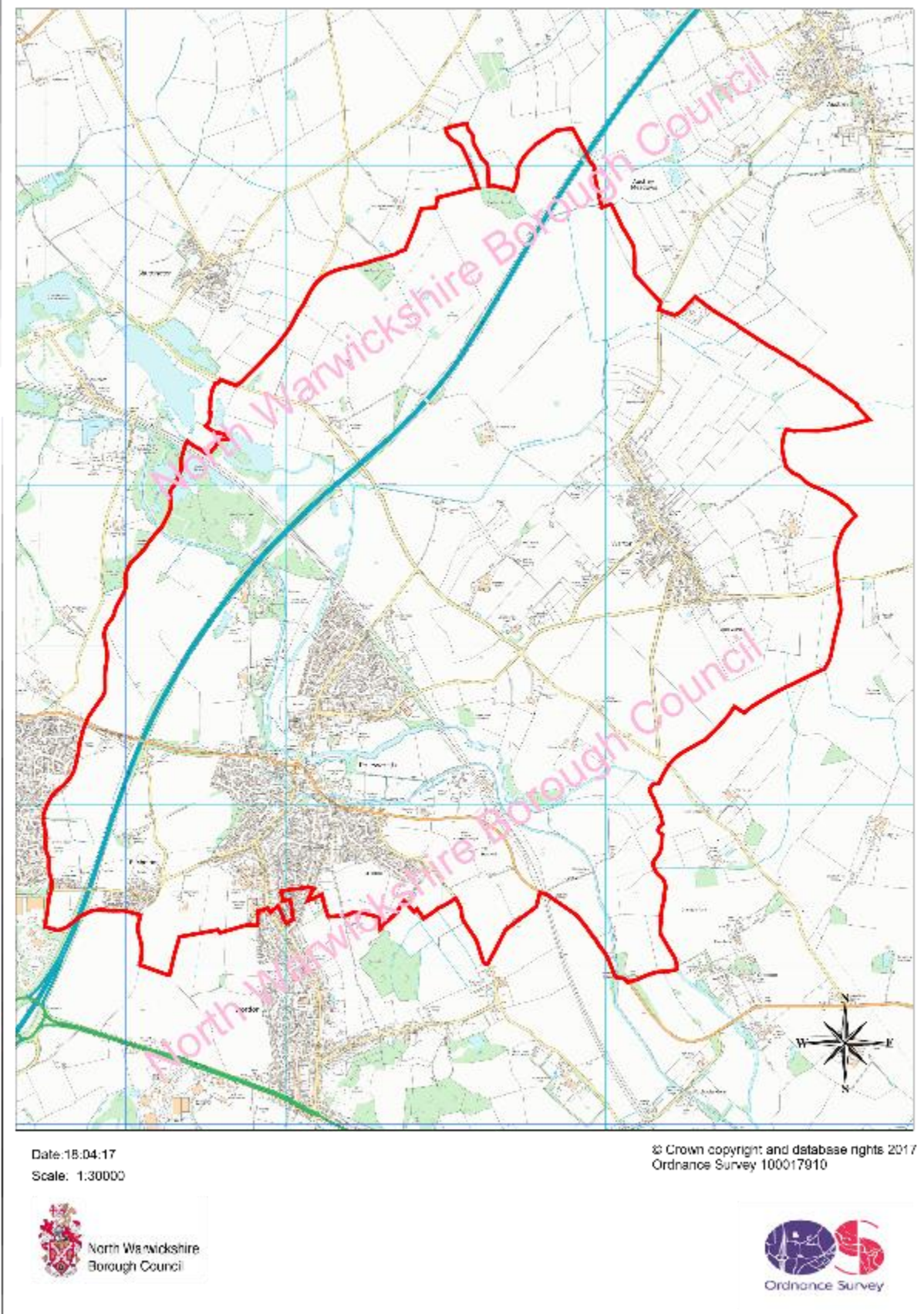
- 1.1 The Localism Act 2011 gave Parish Councils the power to prepare neighbourhood development plans to help guide development in a community's local area. Through this Polesworth Neighbourhood Plan (PNP), local people in Polesworth parish now have the opportunity to help shape future development in the area. This is because planning applications are determined in accordance with the development plan unless material considerations indicate otherwise.
- 1.2 When adopted the PNP will sit alongside the local authority area's North Warwickshire Local Plan (NWLP) this was adopted in September 2021. Neighbourhood plans must be in general conformity with the strategic planning policies contained in the development plan (the NWLP) for their area. The PNP has, therefore, been prepared to be in general conformity with the NWLP.

Neighbourhood Plan Process and Preparation

- 1.3 Polesworth Parish Council, as a qualifying body, believe neighbourhood planning is an important power for local people to use and decided to prepare a neighbourhood plan for the area. The Parish Council applied to North Warwickshire Borough Council (NWBC) for the parish area to be designated as a neighbourhood area on 11th April 2017. The application for designation was approved by NWBC on 20th September 2017¹. The designated Neighbourhood Area covers the parish council area and is shown on Figure 1.

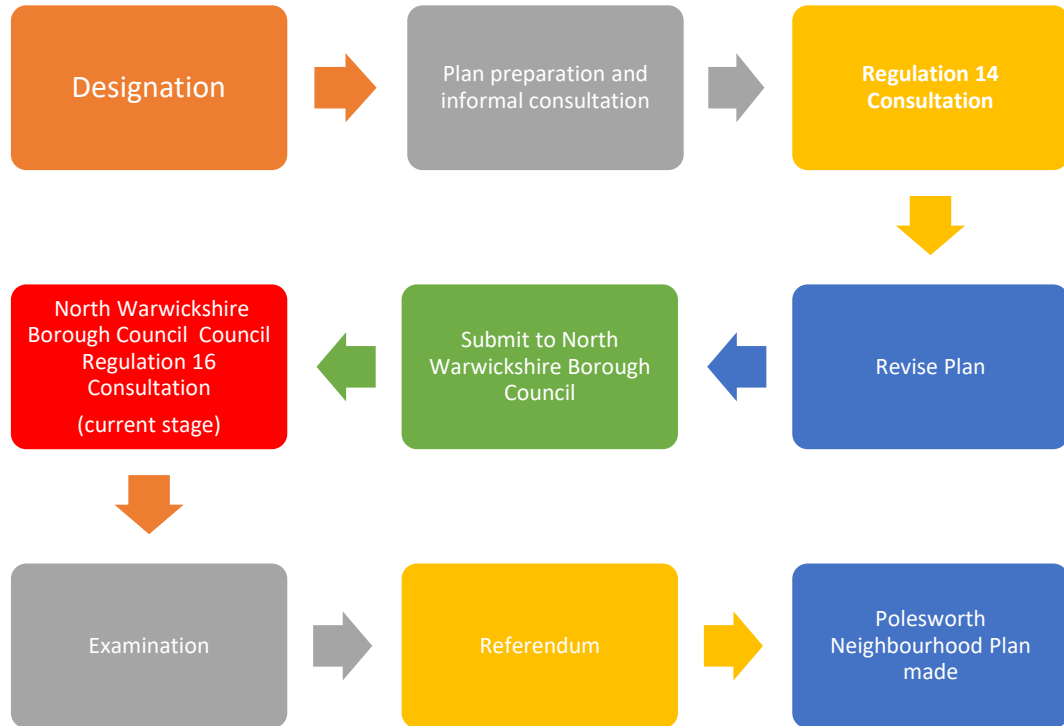
¹ https://www.northwarks.gov.uk/downloads/file/6825/polesworth_parish_council_-_approved_designation_decision

Figure 1. Polesworth Designated Neighbourhood Area (source: North Warwickshire Borough Council https://www.northwarks.gov.uk/downloads/file/6826/polesworth_parish_council_-_approved_area_designation)



1.4 A Neighbourhood Plan Committee (NPC) comprising Parish Councillors and local residents was established to progress work on the plan. Further information on the background and work undertaken on the PNP, including the results of the surveys and information on consultation events can be found at <https://polesworth-pc.gov.uk/plan>. The steps in preparing a Neighbourhood Plan are set out in Figure 2 below. The PNP is now being published to go to Referendum

Figure 2. Neighbourhood Plan Preparation Process



1.5

2.0 Polesworth Neighbourhood Plan Key Issues, Vision and Objectives

Early Consultation and Engagement

- 2.1 The Neighbourhood Plan volunteers ran a survey to understand what people like about the area, what they don't like, and what concerns residents most about the future.



- 2.2 The Survey produced 165 online responses and 127 written responses. These are some of the facts about who responded.
- Just over 50% have lived here for over 20 years.
 - 20% had lived here for less than 5 years.
 - 58% were female.
 - And whilst responses were spread across the age ranges, 38% were over 65, and 56% were between 25 and 65.

- 2.3 One of the key things we asked residents was to tell us what was most important to them about the area. 10 areas were identified, and residents were asked to rank them:

Quality of Environment and Green Spaces

Business and Employment

Community Facilities and Services

Retail

Transport, Traffic, and Moving Around

Heritage, Character and Distinctiveness

Building and Development

Health and Wellbeing

Leisure and Recreation

Education and Training

- 2.4 Most people ranked the quality of the **Environment & Green Spaces, and Health and Wellbeing** as their highest priority. In the comments we received this was also clearly the main priority area. Overwhelmingly when we asked people what they liked about their neighbourhood they talked about walking, open spaces, fresh air and countryside. Specific areas mentioned were Pooley Park, the river and canal, and other green spaces such as the playing fields at Warton.



- 2.5 Also highlighted through the comments were those on **the Heritage, Character & Distinctiveness** of the area, with references made to the local carnivals, fairs and festivals as being important parts of community life.
- 2.6 The thing that most people ranked as less important for the area was, surprisingly, **Building and Development**. Whilst the PNP cannot prevent development identified in the NWLP. Almost all responses identified recent development and the pressure this placed on local infrastructure such as doctors and schools, and lack of transport links as being problems that need to be addressed. We especially noted the concerns over safety at several junctions, including on the bridge and in Warton, and we also received many comments about “parking on the bridge”.
- 2.7 Discussions, comments and feedback were also collected from several engagement events.

Key Issues

- 2.8 The Key Issues that have been identified by the NPC for the PNP are set out below:

- **Green spaces**
- **Quality of Environment**
- **Heritage**
- **Character and Distinctiveness (Landscape)**
- **Services and Facilities**
- **Infrastructure**

2.9

Vision

- 2.10 The PNP will help to address some of these key issues with the aim of achieving our Vision for Polesworth in 2033. Why 2033? This is the same plan period as that for the North Warwickshire Local Plan, neighbourhood plans must be prepared to the same time period as the strategic planning policies for the area.
- 2.11 The Parish of Polesworth is a semi-rural area within the District of North Warwickshire. Polesworth has three separate communities - Birchmoor, Warton and the largest settlement of Polesworth itself.
- 2.12 Each community is predominantly residential with their own distinct geography, heritage and natural environment.
- 2.13 This Vision Statement has been developed from extensive community consultation – to which the main theme of the responses emphasised the importance of protecting the green spaces within and surrounding each community. This is because it is the village atmosphere which residents hold dear, and which attracts the majority of new residents to come and live in the area.
- 2.14 However it is acknowledged that growth will occur within Polesworth parish, this growth must be a significant factor in the future planning of the parish and must not be at the expense of the “village feel” the residents of the area wish to see retained.
- 2.15 Therefore the Polesworth Neighbourhood Plan (PNP) Vision is:

“In 2033, Birchmoor, Warton and Polesworth will be distinct, attractive and green places to live in rural North Warwickshire. The physical and social attributes that go to make Polesworth parish a sought after place to live, such as green spaces, countryside and built heritage will have been retained, whilst housing and economic growth has been seamlessly integrated into the existing local community and environment.”

Polesworth Neighbourhood Plan Objectives

- 2.16 To achieve this Vision we have identified the following objectives for the PNP:

OBJECTIVE 1 – To protect and enhance green spaces.

OBJECTIVE 2 – To ensure new development creates a high quality, beautiful and sustainable buildings and places that reinforce the identity of Polesworth, Warton, Birchmoor and the surrounding countryside.

OBJECTIVE 3 – To protect and enhance the built and natural heritage assets of the area.

OBJECTIVE 4 – To support vibrant village centres and protect and enhance local services and facilities.

OBJECTIVE 5 – To ensure new development integrates as seamlessly as possible within its surroundings and minimises impact on existing communities.

OBJECTIVE 6 – To preserve the distinctive nature of our communities through preserving gaps / areas of separation between all of our existing communities and especially the neighbouring communities of Tamworth and Atherstone.

3.0 Polesworth Neighbourhood Area

Introduction

- 3.1 The designated neighbourhood area is shown on Figure 1, Polesworth parish consists of three separate and distinct settlements, Polesworth, Warton and Birchmoor. Each has its own history and distinct character.

The area today

- 3.2 Polesworth Bridge Street is the main shopping centre with shops to accommodate most everyday purchases. There is a Health Centre backing onto High Street which is currently rarely used and is therefore underutilised. The Practice retains the lease but due to difficulty with recruiting GPs is unable to staff and fully utilise this facility. There is a clear need for this provision at this location as the main GP surgery is based around two miles away in Dordon and bus services from the neighbouring villages of Warton (which does not have a direct service to Dordon), Birchmoor and beyond serve Polesworth far more frequently than Dordon. Consequently, improvements to the medical centre and provision in Polesworth would lead to a much needed improvement in service and improvement in terms of access for the population covered by this Neighbourhood Plan. There were 8 industrial units near the Tithe Barn which were for small enterprises and start up facilities for entrepreneurs which were well utilised, but these have now been turned into a small gym facility. There are a number of industrial premises along Pooley Lane and on the site of Pooley Pit which are available for rent. Other industrial premises have been sold and houses built on them. The only industrial premises remaining are along Grendon Road, this is where the canal boat yard used to be.



- 3.3 Warton was a small village which grew because of housing development when the farms were sold off. Council houses were built along Orton Road about 1950 and more built in the 1960s and early 1980s. The older properties in Little Warton Road were Coal Board houses. The village originally was on the crest of the hill with the smaller settlement along Orton Road known as Little Warton. Gradually the settlements merged from the 1920s/30s and the name Little Warton remains as a road name only. Since 2015 there have been five new housing developments and a sixth is in construction. This is significant development pressure on a small village and beyond planned allocations. Warton has a primary school, one shop, a club and

a public house but has few other facilities, residents having to travel for butchers, greengrocers, hairdressers, all other household purchases. There is no public transport to the doctors' surgery in Dordon. There are no facilities for industrial usage, and it has until recently retained its village character. Although Bramcote is officially part of Polesworth it is seen to be part of the village and HS2 will run near the M42 there.

- 3.4 Birchmoor has a club, public house and St Johns Methodists Church, residents having to travel for all household purchases and health services. The village has been divided by the M42 motorway and the HS2 development will cause much disruption during its construction and divide the village even more.

History

Early History

- 3.5 The first humans to visit the area were early nomadic tribes who left traces of their presence along the river valley. There was also an iron hill fort located on the south side of the valley on Hoo Hill and a meeting place, possibly pre-Roman on the north side of the valley on Stipers Hill.
- 3.6 Traces of a Roman building were found in various archaeological digs in Polesworth near the site of the present Parish Church. There is documentary evidence of an anchorite called Edith living on the banks of the Anker in the late 600s to early 700s and after her death she was revered as a saint and evidence of a community which looked after her shrine there and possible site of a Minster Church was found during the archaeological digs on the site from 2011-2013. There is little evidence of any habitation in Warton at this time and none at Birchmoor, although the areas of Bramcote and Pooley seem to have Saxon origins. This area was in the Forest of Arden and although there may have been other small, cleared areas the majority of the landscape was forested.

Norman Conquest to the Dissolution of the Monasteries

- 3.7 In the middle of the 1100s a large Abbey was built near the river in Polesworth and a township built up around it. Tax was paid by a number of households in the 1300s which denotes its prosperity as one of the largest townships in Warwickshire. Bramcote was a thriving Hamlet with a number of households also paying large amounts of tax in the 1300s; neither Warton nor Birchmoor is recorded as paying any tax at this time which probably denotes an empty landscape. Warton is mentioned in deeds of Polesworth Abbey as a wooded area. Polesworth benefited from the weekly market held in the shadow of the Abbey precincts in High Street, the yearly three day fair and the many pilgrims who visited the shrine of St. Edith. The Saxon Hall standing at Pooley, although much altered and added to over the intervening years, was replaced by a semi fortified brick built house by Sir Thomas Cockayne in 1509, possibly the earliest brick built house in Warwickshire.



Dissolution of the Monasteries to the Present Day

- 3.8 Parish Registers give details of baptisms, marriages and burials since they began in 1632 which show a small number of households present at Warton and Pooley. Evidence from wills shows these to be small scale farmers. Birchmoor seems to have been mainly an empty moor and heath landscape. There are few mentions in the parish registers until the late 1700s of any occupants. Indeed, the Hearth Tax in 1662 gives no mention of any houses there at all.
- 3.9 Birchmoor's main claim to fame is the fact that Joseph Gilliver came from there. He was a breeder of fighting cocks and was the cock master to both King George III and IV. He named the area Cockspur, a name by which it was known until quite recently. There is a public house in Birchmoor named the Gamecock Inn which refers to this part of the history of Birchmoor and may predate Gilliver's time.
- 3.10 The main change at Birchmoor came with the sinking of the mine shaft which was off the Hermitage Lane between the Tamworth Road and present day Birchmoor itself, this was originally called the Cockspur mine. The seams were excavated under the Watling Street and led to the closing of the shaft in Birchmoor and the opening of the new one, named Birch Coppice, across the Watling Street to be closer to the richer coal seams. New houses for the miners were built along New Street and in the 1800s a mission church was built which is still in use for Christian worship today. A Methodist church was built some time afterwards at the bottom of New Street but went out of use and was demolished, the land being used as a car park opposite the Club.
- 3.11 Bramcote existed as a small hamlet, although its size had shrunk since the Reformation, until the beginning of the 19th century when the landowner developed more intensive farming in the area and the only trace of any habitation apart from the modern farm buildings is the Grade II listed Bramcote Hall.

- 3.12 Polesworth survived the Reformation although evidence from wills shows it began to decline. However, it became a very prosperous township in the 1700s and early 1800s with all the facilities one would expect to find in a townships at that time. The Goodere family who purchased the Polesworth estate from the crown after the Reformation held the land until 1747. The family were patrons of the arts and attracted many prominent poets such as Ben Johnson, John Donne and Michael Drayton – who worked at Polesworth Hall, on the site of the present vicarage, as a page. Both Drayton and Donne mention Polesworth in their writings. They all viewed it as the epitome of idyllic rural charm. Shakespeare is also reputed to have been a page in the Goodere household and many of his plays contain references to places nearby. Indeed Hollingshead, whose chronicles he used for his historical plays, was tutor at Bramcote Hall at this time and may well have been known to him.
- 3.13 Sir Francis Nehersole, who inherited the estate through his wife Lucy, built a school for boys and girls in Polesworth in 1655 after founding the school in 1638, where scholars from the ecclesiastical parish could gain an education. The nuns at Polesworth had run a school before the Reformation and records show that between thirty to forty children were educated there at one time.
- 3.14 Polesworth up to the early 1800s remained mainly an agricultural area but there was also small scale coal mining. The 1662 Hearth Tax gives 43 houses in the township, many of which were large properties and by 1800 there were many prosperous families. The canal was cut through in 1770s which opened up the transport of agricultural produce to a wider market and also opened up the area south of the river to wider occupation. The river flooded regularly and cut the township in half when the valley floor became impassable. The opening of the railway in 1847 gave access to an even wider market for goods and services.
- 3.15 The Polesworth mine, opened in the 1700s was opposite the Bulls Head public house and employed a number of local men. With the sinking of the deep shaft at Pooley came the need to employ more men and so there was a distinct shift in the mid-1800s from agricultural workers in the area to mine workers as evidenced by the Census figures for 1841 and 1861.
- 3.16 A large wharf was built to take the coal along the canal and with the development of railway engineering a railway was built to take the coal from the Birch Coppice mine all the way across the straight fields at Birchmoor and down to the wharf at Polesworth. Canal boat building was taking place along the Grendon Road in Polesworth, and a large pipe works was built near the Polesworth coal mine which used the clay from the hill behind which shows in the landscape of the area as the excavations ended at what is now the crest of The Gullet. The wharf was filled in and a housing estate now stands on the area of the pipeworks and the mine.



- 3.17 So the status of Polesworth changed from being a prosperous market township to a mining village with some other industries developing. Many of the tradespeople moved away and although there were still people of independent means there were fewer tailors, haberdashers, butchers, hat makers, dressmakers etc and more malsters, victuallers, coal huggers, publicans and coal miners. It was during this change that the non-conformist churches developed. Both the Baptist and Independents (Congregationalists) build their churches in 1828, with the Methodists building there's in 1857. There is evidence of a Baptist congregation in Polesworth since the early 1800s, but the first evidence of Independents is when the church was built along High Street. The Methodists seem to emerge when the Tamworth church was being rebuilt in 1850 and people from the congregation went to local villages to preach and encourage new congregations to develop. They quickly gained converts and used a blacksmiths shop as a chapel until they could build their own church in 1857.
- 3.18 The Hearth Tax records for Warton show that in the mid-1600s at least 24 households were part of a scattered settlement, some of which were larger farmhouses and some poorer dwellings for farm workers. 17 households suffered losses in the Civil War period when they were required to give free quarter to parliamentary troops, with 12 households also losing horses, other items were also stolen by Scottish troops. The village had a thriving Baptist congregation from the early 1800s with a church and attached burial ground being built in 1812. This closed in 1953 and was demolished in 1972/3 to make way for housing. The Primitive Methodists had a congregation in Warton from 1828 to 1845 and grew up again in 1892 with a chapel being built in 1898. It closed in 1932 and the building still stands today although much altered. Polesworth Church was the established church that served the ecclesiastical area with all services and baptisms, marriages and burials taking place there, but Warton had a church built in 1841 and was served by a curate until it became a separate ecclesiastical parish in 1849.



- 3.19 Polesworth remained a small compact township up to the mid-1800s with houses on medieval burghage plots arranged along the High Street with some development along Bridge Street, the old hollow way for the medieval township. The main thoroughfare was from and to the north and east. After the Reformation and certainly after the canal was cut through the road to the south of the river, now the B5000, was developed.



- 3.20 Polesworth was a large estate with one landowner, some plots of land had been sold off, but the majority was still owned by the Chetwynd family of Grendon. When the estate was split up and sold in 1912 this released land for development for housing for workers in the growing industries. Individual plots were purchased along High Street, Station Road, Grendon Road, Dordon Road and Fairfields Hill in the years between the two wars and Council housing was also provided on the estates at St. Helena and Coronation Avenue. There had also been a number of 'yards' of poor housing developed during the late 1700s and early 1800s which were demolished in the late 1950s and early 1960s. This period also included the expansion of Council housing providing homes at reasonable cost and good quality. The middle 1960s saw the building of two large private sector estates called Transale Heights and Castle Park and the demolition of houses along Grendon Road and the erection of blocks of council flats. Further infilling took place encompassing the old pipeworks and mine area opposite the Bull public house with the old canal wharf being filled in; along Birchmoor Road, Sunset Close, Waterside and Rickyard Close. Recently more infilling has taken place and also the erection of the estates on the eastern end of Grendon Road on what were green sites with more housing in the pipeline to extend up to the Dordon boundary on that side of the township.

4.0 Planning Policy Context

- 4.1 Neighbourhood plans must be consistent with national planning policies and advice; and be in general conformity with the strategic planning policies for the area. It is therefore important that as the PNP is prepared, the emerging draft policies reflect this higher-level planning framework.
- 4.2 National planning policy is set out in the National Planning Policy Framework (NPPF)² published in revised form in December 2024. This sets out in paragraphs 7 and 8 that the purpose of the planning system is to contribute to the achievement of sustainable development, and that the planning system performs an economic role, a social role and an environmental role.
- 4.3 The benefit of neighbourhood planning is set out in paragraph 30 of NPPF:

“Neighbourhood planning gives communities the power to develop a shared vision for their area. Neighbourhood plans can shape, direct and help to deliver sustainable development, by influencing local planning decisions as part of the statutory development plan. Neighbourhood plans should not promote less development than set out in the strategic policies for the area, or undermine those strategic policies¹⁸.”

Footnote 17: Neighbourhood plans must be in general conformity with the strategic policies contained in any development plan that covers their area.”

- 4.4 Strategic planning policy is set out in the North Warwickshire Local Plan (NWLP) (adopted September 2021).
- 4.5 The NWLP seeks to achieve the following Strategic Vision for North Warwickshire:

Rural North Warwickshire: a community of communities. A place where people want to live, work and visit, now and in the future, which meets the diverse needs of existing and future residents is sensitive to the local environment and contributes to a high quality of life. A place which is safe and inclusive, well planned, built and run and offers equality of opportunity and good services for all.

The rural character of North Warwickshire will be retained and reinforced to ensure that when entering the Borough it is distinctive from the surrounding urban areas.

The Borough will accommodate development in a balanced and sustainable way, placing a high priority on quality of life, ensuring the protection, restoration and enhancement of valuable natural and historic resources and providing the necessary supporting infrastructure.

New homes, new employment proposals, local services and community facilities will be integrated carefully into the Borough’s existing areas respecting local distinctiveness. The majority of the development will be focused on the Market Towns and Local Service Centres.

² <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

Employment generation will benefit local residents and ensure long lasting benefits to the Borough, including improved skills, reducing out commuting and regeneration of industrial estates where appropriate.

Housing catering for the needs of residents will be provided in order to give choice of tenure and location and will be located to take advantage of good public transport accessibility and to help maintain and enhance the vitality and viability of settlements.

Existing communities will retain their distinctiveness and identity through good quality, inclusive design. New development will be designed to a high quality following urban design, sustainable development and construction principles and giving high importance to the public realm as well as good access and provision of Green Infrastructure, open space, sports and recreational facilities.

Important natural and historic areas and buildings help to create the distinctive character and identity of the Borough and its settlements are protected and enhanced.

- 4.6 A series of Strategic Objectives for the NWLP flow out of the Spatial Vision. All of the NWLP objectives are interlinked and so should be read together. Similarly, the NWLP policies flow from these. **Neighbourhood plans must be in general conformity with the strategic priorities in the local plan.**

The Strategic Objectives of the Local Plan are:

- 1 To secure a sustainable pattern of development reflecting the rural character of the Borough
- 2 To provide for the housing needs of the Borough
- 3 To develop and grow the local economy for the benefit of local residents
- 4 To maintain and improve the vitality of the Market Towns
- 5 To promote rural diversification
- 6 To deliver high quality developments based on sustainable and inclusive designs
- 7 To protect and enhance the quality of the natural environment and conserve and enhance the historic environment across the Borough
- 8 To establish and maintain a network of accessible good quality Green Infrastructure, open spaces, sports and recreational facilities
- 9 To ensure the satisfactory provision of social and cultural facilities

- 4.7 The final key overarching element of the NWLP is the spatial strategy. Paragraph 7.2 of the Local Plan sets out that:

“The Spatial Strategy is a key component of the Local Plan for delivering a sustainable way of living and working and considering the appropriate distribution for development. It seeks to allow development to take place in a controlled pattern throughout the Borough. The pattern of development has been influenced by considering how the Borough functions, as well as the impact of surrounding cities and towns. Future development will take place in accordance to the size of the settlement taken, with its range of services and facilities and is influenced by considering if the settlement is in or outside of the Green Belt. This will mean that the majority of development will take place in the larger settlements, with more limited development in the smaller rural settlements and in particular those not in the Green Belt.”

- 4.8 For the purposes of the Local Plan Spatial Strategy – Polesworth with Dordon are classified as a Main Town (Category 1). Warton is classified as a Category 4: Other Settlements with a development boundary. Policy LP2 sets out the development appropriate to each level of the settlement hierarchy.

LP2 Settlement Hierarchy

Development within the Borough will be proportionately distributed and be of a scale that is in accordance with the Borough’s settlement hierarchy. Development will be commensurate with the level, type and quality of day to day service provision currently available and the ability of those services to absorb the level of development in combination with any planned allocations in this Local Plan and committed development in liaison with service providers.

In Categories 1 to 4 settlements development within development boundaries will be supported in principle. Development directly adjacent to settlement boundaries may also be acceptable, including that which would enhance or maintain the vitality of rural communities, provided such development is proportionate in scale to the relevant settlement and otherwise compliant with the policies in the plan and national planning policy considered as a whole (including in respect of Green Belt protections)

Category 1: Market Towns of Atherstone with Mancetter and Polesworth with Dordon and the Green Belt Market Town of Coleshill

Category 2: Settlements adjoining the outer boundary of the Borough

Development will be permitted directly adjacent to built up areas of adjoining settlements if:

- a) the site lies outside of the Green Belt or Strategic Gap
- b) development would integrate clearly with wider development
- c) has a clear separation to an existing North Warwickshire settlement to ensure the character of North Warwickshire settlements are preserved; and,
- d) linkages are made to existing North Warwickshire settlements to ensure connectivity between places especially via walking and cycling

Category 3: Local Service Centres – Baddesley with Grendon, Hartshill with Ansley Common, New & Old Arley, Kingsbury, Water Orton

Category 4: Other Settlements with a development boundary - Ansley, Austrey, Curdworth, Fillongley, Hurley, Newton Regis, Piccadilly, Ridge Lane, Shuttington, Shustoke, Warton, Whitacre Heath, Wood End

Development within development boundaries will be supported in principle. Development directly adjacent to settlement boundaries may also be acceptable. All development will be considered on its merits; having regard to other policies in this plan and will cater for windfall housing developments usually on sites of no more than 10 units at any one time depending on viability, services and infrastructure deliverability.

Category 5: All other locations

All Development

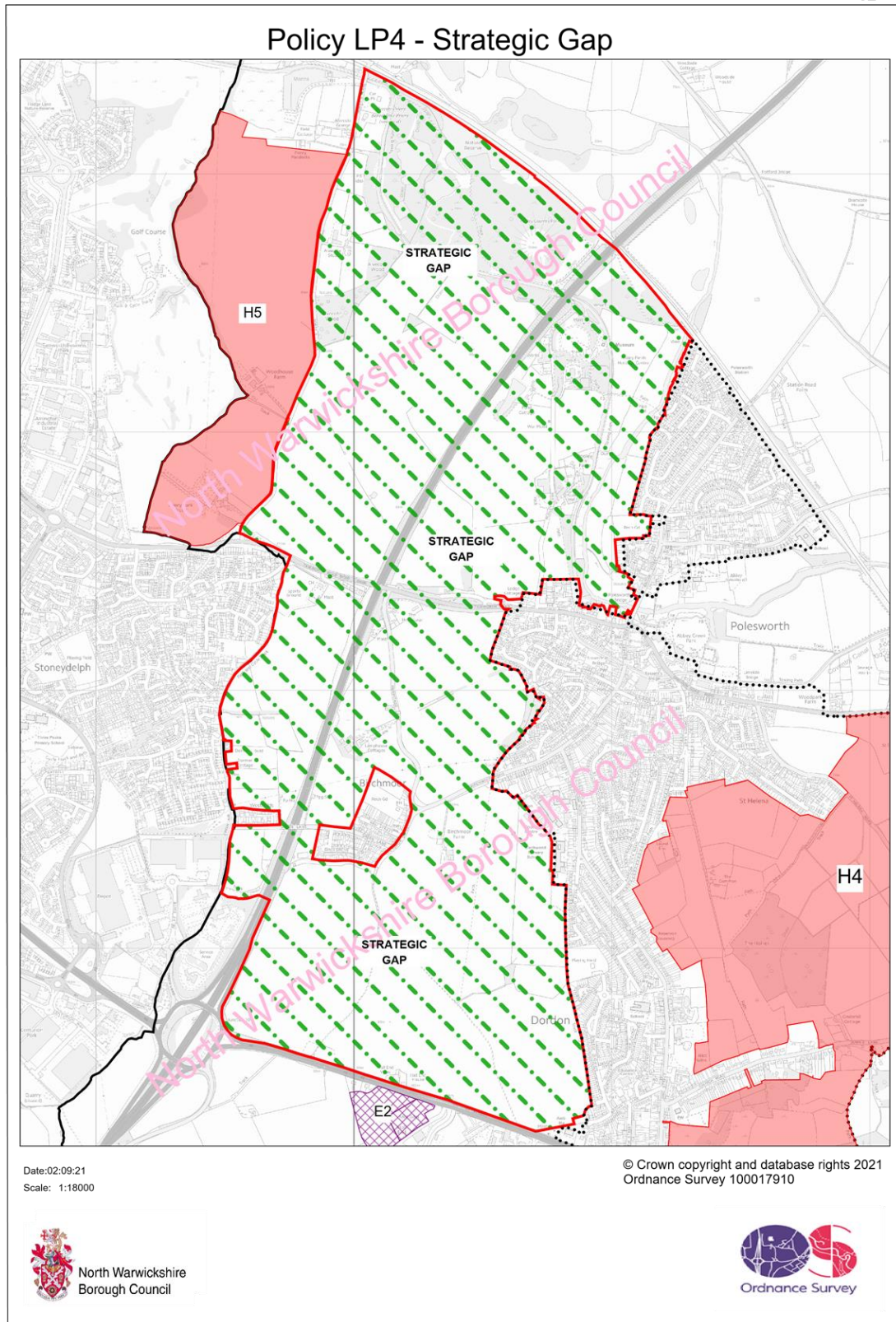
In all other locations development will not generally be acceptable, albeit as set out above that there may be some instances where development may be appropriately located and would enhance or maintain the vitality of rural communities under this category. Special circumstances should exist to justify new isolated homes in the countryside such as rural workers' needs, the optimal viable use of a heritage asset, the re-use of redundant buildings enhancing its immediate setting, the subdivision of an existing residential dwelling, or development of exceptional quality or innovative design or for rural exception sites in line with national planning policy. All such development will be considered on its merits and with regard to other policies in this plan.

- 4.9 Due to Polesworth with Dordon's location there is a close relationship with Tamworth, to avoid coalesce with Tamworth a strategic gap is identified in the NWLP (Figure 3). Birchmoor sits within this strategic gap. The planning policy for the strategic gap is:

LP4 Strategic Gap

In order to maintain the separate identity of Tamworth and Polesworth with Dordon, a Strategic Gap is identified on the Policies Map in order to prevent their coalescence. Development proposals will not be permitted where they significantly adversely affect the distinctive, separate characters of Tamworth and Polesworth with Dordon. In assessing whether or not that would occur, consideration will be given to any effects in terms of the physical and visual separation between those settlements.

Figure 3. Polesworth with Dordon/Tamworth Strategic Gap

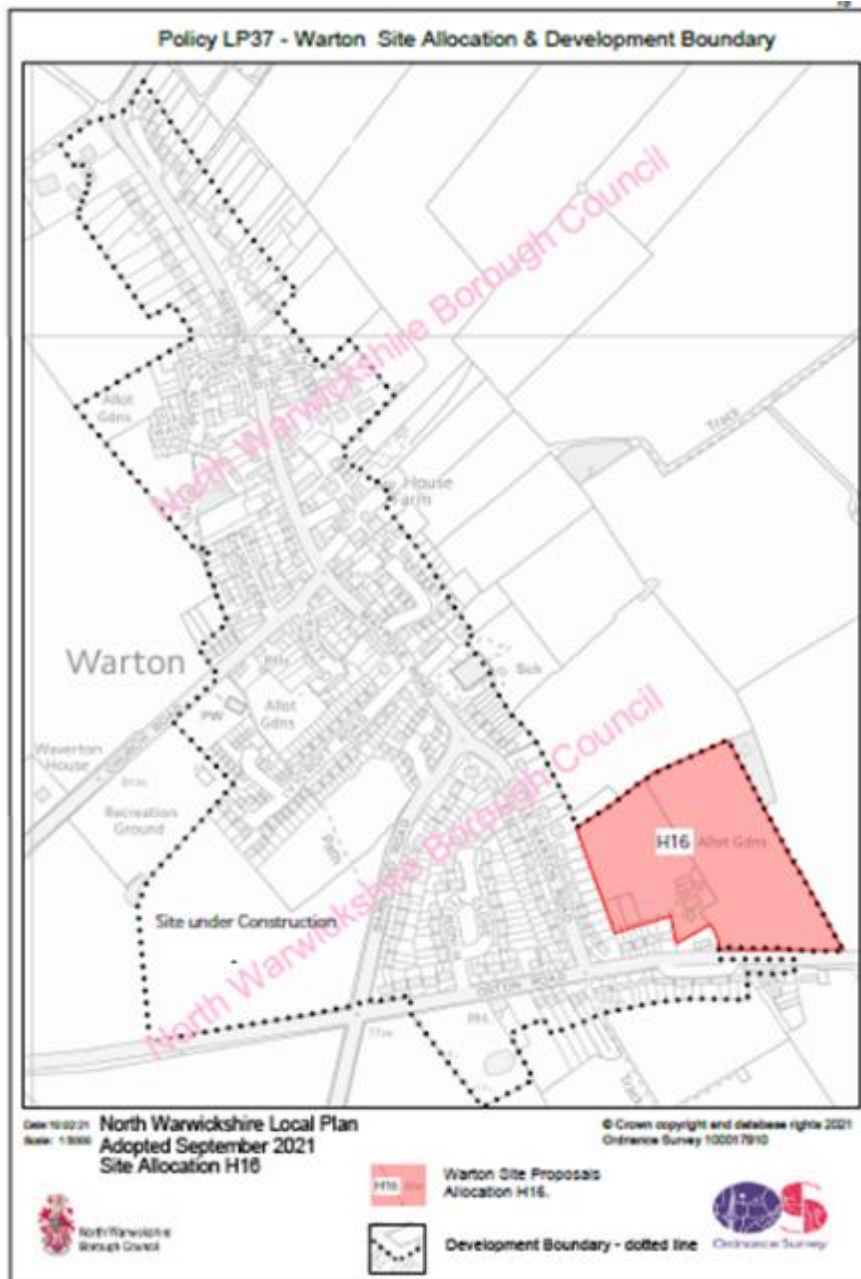


4.10 The NWLP sets the amount of development over the plan period 2011-2033. Across the Borough this totals 9,598 new homes, 100 hectares of employment development, and 19 permanent residential gypsy and traveller pitches between 2019 and 2033. As can be seen on Figure 3 most of the development impacting on the Polesworth

area will be on sites H4 (minimum 2,000 new homes) and H5 (approximately 1,270 new homes). The NWLP includes more detailed planning policies for these two sites.

- 4.11 Warton village also includes a site allocation H16 Land north of Orton Rd, Warton, a 4.2 hectare site, with an anticipated delivery of 128 new houses. Development will also be managed through a defined Development Boundary for the village (Figure 4).

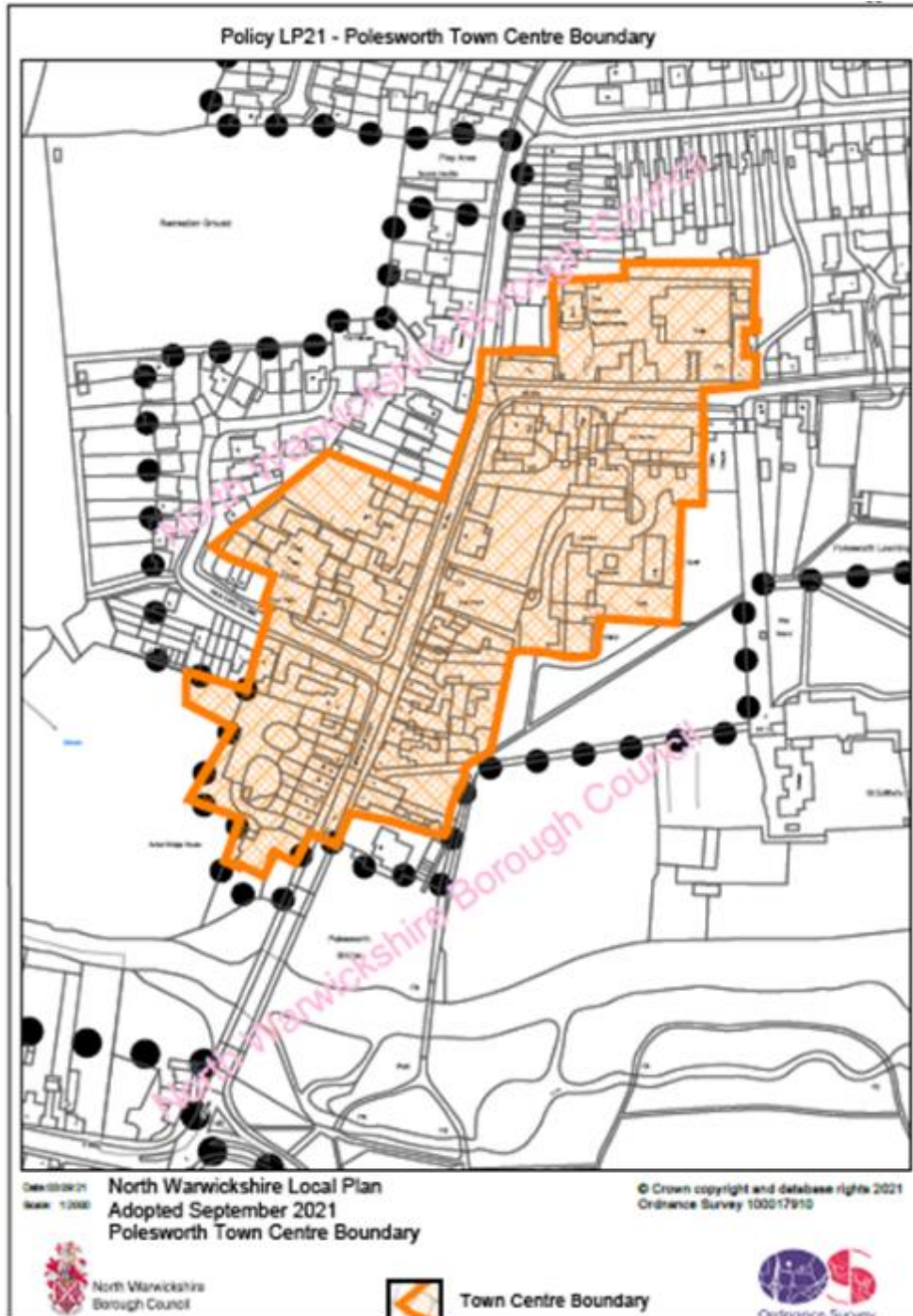
Figure 4. Warton Site Allocation and Development Boundary



- 4.12 The NWLP also includes several strategic planning policies that are of relevance to the preparation of the PNP, for example those on heritage and landscape. Where relevant and necessary these are referred to in the Background/Justification section of the Draft PNP policies in section 5.0 of this document.

- 4.13 One final area specific planning policy from the NWLP that is worth highlighting is that for Polesworth town centre (Figure 5). Development within this boundary will be managed using Policy LP21 of the NWLP.

Figure 5. Polesworth Town Centre Boundary as Identified in the North Warwickshire Local Plan



5.0 Neighbourhood Plan Policies

- 5.1 This section of the PNP sets out the planning policies (green boxes) to manage development in Polesworth Parish up to 2033. The policies are defined below each PNP objective. Whilst the policies are divided between the objectives the policies of the plan should and will be read as a whole.

PNP OBJECTIVE 1 - To protect and enhance green spaces.

Introduction

- 5.2 The key priority identified through early consultation and engagement has been the need to protect and enhance the area's green spaces. The PNP will seek to do this in one of two ways, by designating Local Green Spaces, a national planning policy protection, that protects once designated in the same way as Green Belt; and by identifying other green spaces to be protected with a less restrictive NDP protection. The PNP also seeks to encourage enhancements to these green spaces when suitable opportunities and funding arise.

Policy PNP1 – Protecting Local Green Space

The following areas are designated Local Green Spaces (shown on the Policies Map) in accordance with paragraphs 103 and 104 of the NPPF 2024:

- PNP1/1 – Birchmoor Allotments**
- PNP1/2 – Birchmoor Recreation Ground**
- PNP1/3 - Station Road Recreation Ground and Community Field**
- PNP1/4 – Hall Court**
- PNP1/5 – The Spinney**
- PNP1/6 – Abbey Green Park**
- PNP1/7 - North Warwickshire Club and Sports Ground**
- PNP1/8 – Hoo Monument**
- PNP1/9 – Warton Allotments**
- PNP1/10 – Warton Recreation Ground**
- PNP1/11 – Glebelands**
- PNP1/12 – St John's Church Allotments**

Development, including enhancements, and expansion, where practicable and feasible, of the designated Local Green Spaces will be supported when consistent with national planning policy for Green Belt.

Background/Justification

- 5.3 Paragraph 106 of the National Planning Policy Framework (NPPF) allows local communities, through neighbourhood plans, to protect green areas of particular importance to them by designating Local Green Space.
- 5.4 Paragraph 107 of the NPPF goes on to advise that *“the Local Green Space designation should only be used where the green space is:*
- a) in reasonably close proximity to the community it serves;*
 - b) demonstrably special to a local community and holds a particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquillity or richness of its wildlife; and*
 - c) local in character and is not an extensive tract of land.”*

- 5.5 Policy LP20 of the NWLP “Green Spaces” seeks to retain, protect and wherever possible enhance green spaces shown on the NWLP Policies Map, Policy LP20 also acknowledges Neighbourhood Plans may designate additional areas. The PNP takes up this opportunity. Policy LP22 Open Spaces and Recreational Provision of the NWLP also seeks wherever possible to be retain, protect and enhance (unless their loss is offset by an equivalent or improved replacement) open spaces and recreational areas.
- 5.6 A number of open spaces in the neighbourhood area have been assessed to see if they meet the designation criteria set out in national planning policy (Appendix 1, Table 1).



5.7



Policy PNP2 - Protecting Other Green Spaces

Development that would result in the loss of other green spaces (shown on the Policies Map) will be only supported when it can be clearly demonstrated by the applicant that the open space no longer performs a useful function in terms of the local environment, amenity or active public recreation use.

a)

Background/Justification

- 5.8 As well as the key green spaces that are suggested for the highest level of protection as designated local green spaces under Policy PNP1, the neighbourhood area also has several other important green spaces that perform a variety of useful functions (Appendix 1, Table 2). These can sometimes be smaller, often quite incidental green spaces that help to make the area a greener place and all add to the quality of life enjoyed by residents and visitors. It is proposed that these spaces are also protected, but not with the high degree of protection offered to designated local green spaces (protection that is consistent with national Green Belt planning policy) that precludes most built development. The green spaces identified in Policy PNP2, that are not considered to meet the national planning policy tests for being designated as Local Green Spaces, could be developed in certain circumstances and these are set out in Policy PNP2.
- 5.9 These green spaces while significant to the residents of the various estates where they exist do not have community wide impact with regard to giving rise to a wide range of leisure activities or heritage issues. Essentially, they give individual estates and localities character and provide opportunities for interaction between small groups of children, dog walkers etc. and occasionally a venue for social events such as VE Day or jubilee celebrations and bring grass areas, plants, shrubs and in some cases trees into residential areas. Examples of these areas are to be found in Sycamore Avenue, Coronation Avenue, Ridding Gardens, Orchard Close and significant examples on the newer St. Leonards Estate which will connect directly to the Polesworth section of the proposed Local Plan H4 development

PNP OBJECTIVE 2 - To ensure new development creates a high quality, beautiful and sustainable buildings and places that reinforce the identity of Polesworth, Warton, Birchmoor and the surrounding countryside.

Introduction

- 5.10 National planning policy seeks to create high quality, beautiful and sustainable buildings and places. Good design is seen as a key aspect of sustainable development, because it creates better places in which to live and work and helps make development more acceptable to local communities. This section of the PNP seeks to help to secure good design in the Polesworth neighbourhood area.

Policy PNP3 – Sustainable Design and Construction

All new development will be expected to respond positively to the key attributes of the neighbourhood area and the key local design features of the settlement in which it is to be situated.

Development should seek to exceed minimum standards for energy efficiency and resource use and seek to be carbon neutral, thereby making a contribution to reducing the effects of climate change. Development will not be supported where it is of poor design that has an adverse impact on the character of the area. To ensure good design is achieved development should be designed to take account of, and will be assessed against, the following criteria, where relevant:

- (a) It promotes or reinforces local distinctiveness of Polesworth, Warton and Birchmoor by demonstrating that appropriate account has been taken of existing good quality examples of street layouts, blocks and plots, building forms and styles, materials and detailing and the vernacular of the settlement;**
- (b) It is designed in such a way so as to make a positive use of local landform, trees, hedgerows and other vegetation and for larger proposals has had suitable regard to landscape setting and settlement pattern;**
- (c) It conserves or enhances existing wildlife habitats and incorporates new native planting (if appropriate to the site and its context) and landscaping that create new habitats, nesting (e.g., for birds and bats), encourages pollinators and provides foraging opportunities. Overall, a net gain in biodiversity should be demonstrated;**
- (d) It uses space and creates new public open spaces that are enclosed, integrated and overlooked by buildings and are in prominent useable locations. Such spaces should use native planting (if appropriate to the site and its context) and planting to encourage pollinators;**
- (e) It includes sufficient amenity space to serve the needs of the development and its users, in accordance with the Local Plan**
- (f) It includes appropriate boundary treatments that reflect local context and landscaping using predominantly native species to support a net-gain for biodiversity. It provides highways for hedgehogs by allowing access through boundary walls and fences;**
- (g) It does not have a detrimental effect on the amenity of occupiers of neighbouring property;**

- (h) It does not have a severe cumulative adverse effect on the safe and efficient operation of the existing transport and road infrastructure;**
- (i) It includes measures that seek to improve pedestrian facilities and linkages in the Parish and beyond to encourage walking and cycling, wherever possible in accordance with the tests relating to planning obligations**
- (j) It makes a contribution to local identity, and sense of place. Proposals should not feature generic designs and should set out how they take account of the locally distinctive character of the area in which they are to be located within any submitted Design and Access Statement;**
- (k) It respects the height of the buildings in the immediate surrounding area. Future housing development will generally be expected to be no more than two storeys;**
- (l) It uses, and where appropriate re-uses, local and traditional materials appropriate to the context of the site, or suitable high quality alternatives that authentically reinforce or positively contribute towards local distinctiveness;**
- (m) It contributes to reducing carbon emissions by incorporating measures to reduce energy consumption (e.g., building orientation, siting, areas for outdoor drying) and, where possible, sources of renewable energy. Where such features are included, they should be appropriate in scale to the building of good design and well sited. Such features should also be sympathetic to the surrounding area;**
- (n) It is designed to be as water efficient as possible e.g., by incorporating water collection measures;**
- (o) It uses existing watercourses and ditches, sustainable drainage systems (SUDS, such as swales) to hold rainwater in storms. SuDS should be planted with native vegetation to support wildlife. All paving should be semi-permeable to allow run-off to drain away;**
- (p) It includes features to minimise light pollution;**
- (q) It includes space for off road/pavement storage of refuse and recycling bins in accordance with locally adopted standards;**
- (r) It has appropriate car parking in accordance with locally adopted standards. Car parking should be sited in such a way that it is unobtrusive, does not dominate the street scene, and minimises the visual impact of car parking;**
- (s) It links to existing rights of way and does not restrict the use and enjoyment of such routes;**
- (t) All new residential development should provide external wall-mounted charging points for plug-in and other ultra-low emission vehicles for each dwelling that is to have a private drive or garage. Where communal car parking is provided this should also contain charging points. Larger homes, such as those with 3 bedrooms or more, should consider providing facilities to charge more than one vehicle at once;**
- (u) It uses Secured by Design principles;**
- (v) It ensures there is no loss of, or damage to, existing trees or woodland. Where trees or woodland cannot be retained, they should be replaced preferably on site, where this cannot be achieved suitable offsetting measures to provide replacement should be provided off-site; and**
- (w) Where relevant, applicants will be required to produce a green infrastructure plan. This should demonstrate how the development links**

to the exiting green infrastructure network and how any open spaces and garden areas will be permeable to wildlife.

Poor design when assessed against the above criteria will not be supported.

Background/Justification

- 5.11 Policy PNP3 sets out a criterion based policy that will be used to encourage development that positively contributes to and enhances the character of the neighbourhood area and its settlements. The Spatial Vision for the NWLP states:

“Existing communities will retain their distinctiveness and identity through good quality, inclusive design. New development will be designed to a high quality following urban design, sustainable development and construction principles and giving high importance of the public realm as well as good access and provision of Green Infrastructure, open space, sports and recreational facilities.”

The Borough Council also has Design Champions, and they will be used to promote and encourage local distinctiveness in new developments.

- 5.12 Policy PNP3 will provide a distinct, neighbourhood area specific, set of criteria against which to assess planning proposals and which should be used by applicants and their design teams in the preparation of planning proposals. The aim of the policy is to promote design and construction that make development in the area as sustainable as possible, construction that moves towards zero carbon emission and enables people to live more sustainably and reduce modern life’s impact on the environment.

- 5.13 By setting this local policy the PNP is helping to meet one of the key aims of national planning policy – “achieving well designed places”, NPPF paragraph 131 states:

“The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.”

To this effect there is a National Design Guide and National Model Design Code. In addition the Parish Council has produced the draft Polesworth Design Codes and Guidelines. This is an advisory document that is indicative of the sort of considerations that might be addressed by applicants. Formal consultation on the draft document by the Parish Council is envisaged in due course.

- 5.14 In the future, Design and Access Statements should demonstrate how applicants have had regard to the criteria listed in Policy PNP3, for smaller proposals not all will be relevant, but applicants should still explain why they have reached this conclusion in their Design and Access Statement.

- 5.15 Policy PNP3 does not seek to stifle innovation or produce pastiche copies of the past. Innovation and contemporary design are encouraged, but here, as with all new development, applicants and their architects should draw on the past to inform their proposals to ensure that new development is in keeping and harmonises with that of the past.
- 5.16 In seeking to achieve good design it can often be the small details that result in a development achieving or failing to achieve this objective. This can be the result of a single poor choice, for example the wrong brick colour, or use of the wrong window shape. In these days of mass production and standardised house types the temptation to produce a “could be anywhere” solution is strong. But such solutions fail to undertake a proper analysis of local context. In doing this, such an approach is not in line with national planning policy which states that “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design [National Design Guide and Model Design Code], taking into account any local design guidance and supplementary planning documents such as design guides and codes” (NPPF, para. 134). Policy PNP3 provides such local design policy guidance.
- 5.17 The Building Regulations set standards for energy efficiency and resource use e.g., that of water. Government is committed to zero carbon homes by 2050 to reduce the impact of new build housing on the environment, especially the impact of climate change. The PNP, through Policy PNP3 encourages developers to go beyond the minimum standards in the Building Regulations, so that new development in the neighbourhood area makes the move to zero carbon sooner rather than later.

PNP OBJECTIVE 3 - To protect and enhance the built and natural heritage assets of the area.

Introduction

- 5.18 The neighbourhood area is also valued for the surrounding local countryside. This provides a number of benefits: it can be accessed along the network of footpaths and bridleways that provide opportunities for recreation; it provides valuable separation between the settlements and the Tamworth urban area; separates Polesworth and the villages and helps retain these settlements' separate identities; and the countryside is valued for the visual and other qualities of the local landscape.

Policy PNP4 - Conserving and Enhancing the Landscape

New development should conserve, enhance, and where appropriate, restore local landscape character by:

- (a) Maintaining and enhancing the landscape setting, landscape features, field and settlement pattern of the neighbourhood area;**
- (b) Seeking to conserve *in situ* heritage assets of archaeological value;**
- (c) Retaining or enhancing ponds, streams, mature trees, woodland, ancient and mature hedgerows, or where removal is unavoidable, providing by way of offsetting replacement habitat elsewhere on-the site or within the neighbourhood plan area;**
- (d) Where new planting and landscaping is proposed it should use native species and be designed in such a way so as to ensure that it is suitable when considered in the wider local landscape, and where appropriate, links to existing woodland and hedgerows;**
- (e) Promote high quality residential design that respects local townscape and landscape character and reflects local vernacular building styles, layouts and materials;**
- (f) Other than in relation to land to the east of Polesworth and Dordon (Local Plan Policy H4) seek to minimise the encroachment of development into visually exposed landscapes and where development is proposed on the edge of the village, it enhances views of the settlement edge from the surrounding countryside and does not lead to inappropriate incursion into the surrounding countryside by reason of its siting, design, materials or use of landscaping;**
- (g) Maintaining and improving access to the surrounding countryside; and by:**
- (h) Seeking to conserve and enhance the integrity and fabric of historic buildings and their settings, particularly where new uses are proposed through the use of appropriate styles and sustainable locally distinctive materials.**

In addition to the above development should also be prepared using any relevant Landscape or other Supplementary Planning Guidance.

Background/Justification

- 5.19 Natural England has produced profiles for England's 159 National Character Areas (NCAs). These are areas that share similar landscape characteristics, and which follow natural lines in the landscape rather than administrative boundaries, making them a good decision-making framework for the natural environment. Polesworth Parish lies within NCA 97: Arden. In summary this area is:

“Arden comprises farmland and former wood-pasture lying to the south and east of Birmingham, including part of the West Midlands conurbation. Traditionally regarded as the land lying between the River Tame and the River Avon in Warwickshire, the Arden landscape also extends into north Worcestershire to about the Severn and Avon Vales. To the north and northeast it drops down to the open landscape of the Mease/Sence Lowlands. The eastern part of the NCA abuts and surrounds Coventry, with the fringes of Warwick and Stratford-upon-Avon to the south. This NCA has higher ground to the west, the Clent and Lickey Hills and to the east, the Nuneaton ridge. The landscape of the lower lying central area is gently rolling with small fragmented semi-natural and ancient woodlands. Mature oaks set in hedgerows, distinctive field boundaries, historic parklands and narrow river corridors are key features, all on the doorstep of a heavily urbanised area. Land use throughout the area is mainly, residential, agricultural and industrial including coal mining, which is still active in the north-east of the NCA.

Numerous transport corridors; road, rail, air and canal run through the area. There is likely to be increased development and greater pressure upon the existing infrastructure, particularly around Birmingham, Coventry and the main towns. This pressure could lead to the creation of new green infrastructure linking the urban areas out into the more rural areas. This NCA is among the most geologically diverse. This has had a strong impact on the landscape's character and development and is further reflected in the range of locally and nationally important geological assets across the NCA. There are also many local biodiversity assets and strong cultural links with William Shakespeare and his 'Forest of Arden'.

- 5.20 NCA97 has 4 Statements of Environmental Opportunity

SEO 1: Manage and enhance the valuable woodlands, hedgerows, heaths, distinctive field boundaries and enclosure patterns throughout the NCA, retaining the historic contrast between different areas while balancing the needs for timber, biomass production, climate regulation, biodiversity and recreation.

SEO 2: Create new networks of woodlands, heaths and green infrastructure, linking urban areas like Birmingham and Coventry with the wider countryside to increase biodiversity, recreation and the potential for biomass and the regulation of climate.

SEO 3: Conserve and enhance Arden's strong geological, industrial, and cultural resource, to increase public access, enjoyment, recreation and to retain a sense of place and history.

SEO 4: Enhance the value of Arden's aquatic features such as the characteristic river valleys, meadows and standing water areas like Bittell Reservoirs, to increase resource protection such as regulating soil erosion, soil quality and water quality.

5.21 Locally, the North Warwickshire Landscape Character Assessment identifies 13 Landscape Character Areas (LCAs). Paragraph 6.11 of the NWLP states:

“6.11 The Landscape Character Appraisal and individual Settlement Appraisals have been carried out and will be developed further into Supplementary Planning Documents and should be used as the basis for creating locally distinctive proposals. The Landscape Character Assessment identified landscape sensitivity areas surrounding settlements and these will be used when assessing impacts from developments. The Borough Council has Design Champions and they will be used to promote and encourage local distinctiveness in new developments.”

5.22 The neighbourhood area lies within two of the LCAs:

- LCA3 Anker Valley
- LCA5 Tamworth Fringe Uplands

5.23 LCA3 is described as:

“A visually open and broad, indistinct valley becoming steeper and more defined to the north close to Polesworth. The River Anker weaves discretely through the valley bottom and the Coventry Canal takes a straighter course south of the river.

The land use across this character area is predominantly farmland; however the character varies as a result of the complex mix of peripheral settlements and associated urban land uses. Busy transport corridors include the M42; which passes through the north on a viaduct, the A5; which follows the boundary of the character area along the upper slopes and the West Coast main railway line; which follows the course of the river through the lower reaches of the valley and is clearly discernible by the overhead rail gantries. A network of busy lanes between the peripheral settlements of Polesworth, Dordon, Atherstone, Mancetter and Nuneaton to the south also has an urbanising effect, only the remoter Grendon Park and Caldecote Hall feel relatively tranquil.

Polesworth and Dordon are located upon the ridge above the valley and have an urbanising influence on the adjacent landscape. Atherstone, although lower lying, has open edges and large scale development at its periphery, which again influences the character of this LCA. The large scale, brick built Aldi Distribution Centre, although enclosed by woodland planting, is a highly visible landscape detractor within the north of the valley. To the south of Mancetter, urbanising influences include a sewage works and Dobbies World, which includes a visitor's centre with mazes and woodland planting.

Farmland across the valley predominantly comprises late enclosure large arable hedged fields, generally with low trimmed, and in some places gappy hedgerows. Smaller, more irregular pastoral fields to the east of Dordon and north of Grendon are occasionally enclosed by timber stock fencing. Small areas of river flood meadow exist around Polesworth (an area to south east is designated as SSSI) and between Leather Mill Farm and Caldecote. Within the north the scrub and birch wetlands at Pooley Country Park, and the east facing partially wooded slopes of mixed farmland between Grendon and Polesworth.

Generally tree cover is limited to oak hedgerow trees and riparian vegetation. There are also some pockets of more substantial tree cover; north of Polesworth natural regeneration of birch and scrub provides young woodland around Pooley Country Park, north of Grendon woodland has colonised bare ground of former works, around Grendon Park and Caldecote Hall woodland planting, regular shaped game coverts and scattered parkland trees include evergreen species and create a parkland character.

There are wide views across the valley from the upper slopes, with views out being generally contained. To the south distinctive cone shaped mounds from adjacent minerals extraction works and the steeply rising slopes of the Uplands LCA4 have a visual influence on the setting of the otherwise flat valley character.”

- 5.24 The Landscape Management/Strategies identified for LCA3 are as follows, and these have been used to develop the criteria in Policy PNP4:

Conserve and restore the rural character of the agricultural landscape and the natural regeneration of the former workings around the mining towns:

- Any new development should reinforce the existing settlement pattern of small peripheral towns, retaining the rural character of scattered properties and farmsteads within the valley;
- Any settlement expansion should include appropriate landscape planting to integrate the settlement edge within the landscape and limit encroachment on the valley;
- New agricultural buildings should be sited, designed and landscaped to blend with the surrounding landscape;
- Conserve and restore areas of existing Parkland at Grendon Park and Caldecote Hall;
- Encourage only informal recreational activities appropriate to nature conservation within the valley;
- Avoid types of farm diversification that are inappropriate to the agricultural landscape;
- Encourage introduction and appropriate management of wide field margins along watercourses and boundaries;
- Conserve the historic field pattern, with priority given to restoring and strengthening primary hedge lines including those alongside roads;

- Manage hedgerows to enhance the field pattern by planting up gaps, allow hedges to grow by reducing cut rotation intervals to 3 yearly intervals for wildlife benefits;
- Promote management of small woods and game coverts, in places long rotation coppicing may be appropriate;
- Enhance tree cover through small scale planting of broadleaved coverts and woods in keeping with the visually open character;
- Encourage natural regeneration of trees and vegetation alongside watercourses and promote small areas of wetland planting in areas currently lacking in habitats;
- Encourage ecological management of grassland areas and wetlands.

5.25 LCA5 Tamworth Fringe Uplands is described as:

“An indistinct and variable landscape, with relatively flat open arable fields and pockets of pastoral land, fragmented by restored spoil heaps, large scale industrial buildings and busy roads, and bordered by the settlement edges of Tamworth, Dordon and Kingsbury and with wooded horizon to the south. The M42 motorway has a dominant and unifying presence, passing through the area within a planted cutting. The industry has direct links to the M42 junction 10, also within the area.

To the north large scale modern industrial sheds at Tamworth have an urbanising influence along with the settlement of Dordon, located upon the crest of a gentle escarpment. To the south extensive employment areas, including Kingsbury Link Business Park and the large structures at the oil storage depot frame the area. Coal mining has greatly influenced the character of this area, particularly with regard to settlement character and the legacy of spoil tips, Dordon and Piccadilly at the peripheries of the area are former mining settlements, Piccadilly includes distinctive rows of red brick terraced housing. Within the area there are several large pockets of land disturbed by former mining operations with remnant recently restored spoil heaps, the spoil heap just south of the M42 motorway junction is particularly large in scale and a visual detractor within the local area. The base is now encircled by large scale modern industrial units at Birch Hill Coppice Business Park.

Several smaller settlements are located within this area; these are Birchmoor close to Dordon located on elevated land, and surrounded by open arable fields, and Freasley and Whateley, both with red brick and white rendered vernacular buildings, narrow lanes and adjacent surviving pockets of permanent pasture in small hedged fields. The latter villages are relatively peaceful in comparison to the busy land uses generally across the area.

Although farmland makes up a significant proportion of the landscape much of this land has a run-down character, with gappy, poorly managed hedgerows. Tree cover within this area is low, and the M42 motorway corridor provides the most notable stretch of tree planting. Woodland blocks adjacent to the southern boundary are located within the adjacent area; they contain this area and provide separation from the deeply rural landscape to the south. Generally the indistinct topography and combination of peripheral elements limits open views to within the area, with particularly open views across the landscape south of the M42 junction. To the west as the topography dips slightly towards the river Tame there are some longer views across the Tame Valley wetlands, these views include pylons and employment areas within Tamworth.

5.26 As with LCA3, LCA5 also has a set of Landscape Management/Strategies that have been used to help develop Policy PNP4, these are:

- Safeguard the setting of the villages of Freasley and Whateley any development here should reinforce the existing settlement pattern;
- Any settlement expansion should include delivery of a robust Green Infrastructure with appropriate landscape planting to integrate the settlement edge within the landscape and bring additional landscape enhancements;
- Should future mining activities occur they should be accompanied by a comprehensive landscape reclamation strategy to introduce a new landscape framework;
- New agricultural and industrial buildings should be sited, designed and landscaped to mitigate against further landscape impact from built development;
- Maintain a broad landscape corridor to both sides of the M42, introduction of small to medium sized blocks of woodland planting using locally occurring native species would be appropriate within this corridor;
- The design of any recreational facilities should seek to reintroduce landscape structure and features;
- Conserve remaining pastoral character and identify opportunities for conversion of arable back to pasture;
- Encourage development of wide and diverse field margins;
- Encourage retention of hedges and management practices that reinstate historic hedge lines using native locally occurring hedgerow species;
- Encourage planting of hedgerow oaks to increase the tree cover within the area;
- Encourage ecological management of remaining grassland areas;
- Maintain restoration planting / naturally re-vegetated spoil tips to integrate better as landscape features.

Policy PNP5 –Assets of Local Historic Value of Local Historic Value

The Assets of Local Historic Value identified in Appendix 2 and shown on the Policies Map will be conserved in a manner appropriate to their significance, as demonstrated by the latest evidence and national and development plan policy.. When affected directly or indirectly by development proposals, the

scale of any harm or loss will be taken into account as well as the significance of the Assets of Local Historic Value.

The Parish council will also seek to work with North Warwickshire Borough Council to include these, Assets of Local Historic Value, on the Borough's [Local List](#).

- 5.27 The neighbourhood area, as well as having Polesworth Conservation Area, Listed Buildings and two Scheduled Monuments, that already have statutory protection through existing legislation, also has many other buildings and structures that have heritage value. In planning policy terms, these are called “Assets of Local Historic Value”. These Assets of Local Historic Value are links and reminders of the area’s long and varied history.
- 5.28 Policy PNP5 identifies the key Assets of Local Historic Value in the town. NWBC are in the process of preparing a Local List. The NPWG have identified the following buildings and structures as suitable for Local Listing as part of the Neighbourhood Plan process. The detailed assessment setting out the reasons for identifying the Assets of Local Historic Value is set out in Appendix 2 of the PNP.

Polesworth

1	Old Police House, 6 Station Road	2	War Memorial, Church Drive
3	Baptist Church, The Gullet	4	22 Potters Lane
5	Willow Cottage, 11A Potters Lane	6	Lilac Cottage, 21 Tamworth Road (Dame School)
7	24 Tamworth Road	8	Paddocks, 42 Common Lane
9	Royal Oak Public House and Attached cottage and stables, Grendon Road	10	36 Grendon Road (cottage behind the Oak)
11	Georgian House, Bridge Street/High Street corner	12	Spread Eagle PH, High Street
13	Hermitage	14	Farmhouse, Bridge Street (card shop and greengrocers)
15	Nurses Home, 32 Station Road	16	36 Bridge Street (On the bank)
17	Methodist chapel, Bridge Street (Original chapel only)	18	Footpath from High Street at the Station Road/Bridge Street junction onto the playing fields
19	Stiper’s Hill Enclosure	20	St. Helena Road from the end of the buildings up to the boundary with Dordon
21	Coffin Trail, Common Lane	22	Site of the Hoo Chapel, off Grendon Road
23	Commemorative marker for site of Little Jim’s Cottage, St. Helena Road	24	Mile Stone East on B5000

Birchmoor

25	St John's Church, New Street	26	The Gamecock Inn
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Warton

27	Primitive Methodist Chapel, Austrey Road	28	Parish room, Maypole Road
29	War Memorial on the wall of the Parish Rooms	30	Cruck Beam House, Church Road/Austrey Road
31	Warton Old Nethersole School, Maypole Road	32	School House, Maypole Road



PNP OBJECTIVE 4 - To support vibrant village centres and protect and enhance local services and facilities.

- 5.29 Polesworth Town Centre (Figure 5 in this document) is identified in the NWLP – development within this boundary will be managed using Policy LP21 Services and Facilities of the NWLP. This Policy supports commercial, business and service uses in the town centre to support vitality; seeks to restrict hot food takeaways and betting shops; and restrict the loss of Class E Uses (including retail). Development management policy is also, therefore covered, and does not need duplicating in the PNP. However, to add value to the NWLP, the PNP identifies those non-retail services and facilities to be protected in Polesworth town centre and the wider neighbourhood area. It is important that services and facilities are retained in each of the neighbourhood area's villages.

Policy PNP6 – Protection of Existing Services and Facilities

The facilities and services (not including retail uses) listed as follows and shown on the Policies Map will be protected under Policy LP21 Services and Facilities of the NWLP:

Birchmoor:

- 1. St John's Mission, New Street**
- 2. Birchmoor Working Men's Club**
- 3. Gamecock Inn**

Polesworth:

- 4. Baptist Church, The Gullet**
- 5. Abbey Church of St Editha**
- 6. Polesworth Health Centre**
- 7. Polesworth Memorial Hall**
- 8. Polesworth Working Men's Club**
- 9. Tithe Barn**
- 10. Baptist Church Youth Hall**
- 11. Polesworth Scouts Activity Centre, Pooley Country Park**
- 12. Spread Eagle**
- 13. The Royal Oak**
- 14. The Red Lion**
- 15. Foster's Yard Hotel**
- 16. The Bulls Head**
- 17. Polesworth Library**

Warton:

- 18. Holy Trinity Church**
- 19. Warton Parish Rooms**
- 20. Warton Club**
- 21. The Office**

Background/Justification

- 5.30 Community facilities and services are the essential glue that help bind a community together. They not only provide important services, but area places for people to meet and interact contributing to individuals' and the community's health and well-being.



- 5.31 National planning policy acknowledges that the planning system can play an important role in facilitating social interaction and creating healthy, inclusive communities. The facilities identified in Policy PNP6 contribute to all of these aspects of the local community.
- 5.32 The services and facilities identified will be protected under Policy LP21 Services and Facilities of the NWLP. Policy LP21 states:

“Proposals resulting in the loss of an existing service or facility and also including retail uses, which contribute to the functioning of a settlement or the public health and well-being of its community, will only be supported if:

- a) an equivalent facility or service is wholly or partially provided elsewhere, in a similar or more accessible location within that settlement;*
- b) the land and buildings are shown to be no longer suitable for continued use in terms of their location, design and/or construction, or the proposal would represent a net gain or improvement in provision,*
- c) it can be demonstrated by evidence that there is no realistic prospect of an alternative service or facility using the site, such as through an appropriate marketing campaign or the internal procedures of the parent organisation and,*
- d) its loss will not harm the vitality of the settlement.”*

- 5.33 Policy PNP6 does not identify the retail uses in the neighbourhood area, such uses will, however, continue to be protected under Policy LP21 of the NWLP.

Supporting Parish Council Action 1

The Parish Council will encourage and work with others to re-open Polesworth Health Centre.

Policy PNP7 – Sport, Recreation and Leisure Facilities

The following sport, recreation and leisure facilities, also shown on the Policies Map, will be protected and or enhanced in accordance with NWLP Policy LP22 Open Spaces and Recreational Provision.

PNP7/1 - Birchmoor Recreation Ground
PNP7/2 - Polesworth Recreation Ground
PNP7/3 - Warton Recreation Ground
PNP7/4 - Warton Allotments
PNP7/5 - Abbey Green Park, Polesworth
PNP7/6 - North Warwick Recreational Centre

Proposals that would enhance the appearance, improve access and accessibility to these facilities will be supported when they are in accordance with other development plan policies and the policies of the PNP.

Background/Justification

- 5.34 Sport, recreation and leisure facilities are another key component of the fabric of the local community. The facilities identified in Policy PNP7 will be protected under Policy LP22 Open Spaces and Recreational Provision of the NWLP, this states:

“Wherever possible, Open spaces and recreational areas will be retained, protected and enhanced (unless their loss is off-set by an equivalent or improved replacement). Development proposals will be expected to provide a range of new on-site and open space recreational provision such as parks and amenity space, sport or recreation facilities and semi-natural areas such as woodland wherever appropriate to the area and to the development.”



- 5.35 The following sport, recreation and leisure facilities have been identified for protection under Policy PNP7:
- Birchmoor Recreation Ground has a children's play area with play equipment and a football pitch used by a local team.
 - Polesworth Recreation Ground has a children's play area with play equipment, football pitches used by local teams, and a hardstanding area with basketball court and children's games marked out.
 - Warton Recreation Ground has children's play equipment and football pitch. This could be enhanced by tree planting round edges.
 - Warton Allotments provides spaces for local residents for both gardening and social events.
 - Abbey Green Park in Polesworth has children's play equipment, benches, tennis courts, fishing, and a nature reserve.
 - North Warwick Recreational Centre has football and cricket pitches and club house.
- 5.36 Polesworth no longer has a leisure centre. Previously there has been a facility at the high school and a much smaller gym now exists in Hall Court. With the planned housing development and a growing population the need for a new leisure centre should be actively explored and such work will be supported by the Parish Council.

PNP OBJECTIVE 5 - To ensure new development integrates as seamlessly as possible within its surroundings and minimises impact on existing communities.

Introduction

- 5.37 The limitations of existing infrastructure and the strains that future housing development could place on that infrastructure and the new demands that could be created are a key concern of residents. This section of the PNP seeks to identify and some of those concerns and develop a planning policy to help address them. NWLP Policy LP21 Services and Facilities already seeks to ensure all major development considers its impact on the provision of services and facilities and where there is an impact this must be addressed. If such an impact is identified all major developments should provide land and / or financial contributions to enable the provision of additional services and facilities; and as set NWLP Policy LP1 all development will be expected to contribute proportionately and in accordance with national policy, statute and relevant supplementary planning documents and guidance to infrastructure provision.

Policy PNP8 - Transport

The following infrastructure projects will be brought forward during the plan period.

- **Bridge Street improvements, Polesworth – junction improvements – including traffic signalling**
- **Barn End Road/Orton Road crossroads, Warton – safety improvements**
- **Warton – safer school crossing**
- **Road safety schemes**
- **Measures to improve public transport**

Development proposals will be expected to contribute to these projects where the tests set out in Paragraph 58 of the NPPF are met

Background/Justification

- 5.38 Polesworth experiences significant disruption due to traffic congestion and car parking issues. Over the last three years around 500 new homes have been built in Polesworth and significant numbers of new homes have also been built in Austrey and Warton. Cumulatively this adds to the problems in Polesworth, because Polesworth is used as a route to the A5. In addition, Polesworth High School serves surrounding villages and this brings additional traffic into Polesworth on school days. Through the NWLP allocation Policy H4 allocates 2,000 new homes (1,675 to be delivered within the plan period), this will impact significantly on journeys within the neighbourhood area.
- 5.39 A new route to the A5 is also included in the NWLP, running through site H4 this will bring significant additional traffic through Polesworth. Considered together this concentration of new homes and the traffic generated will place the existing road system under extra pressure.

- 5.40 The B5000 is the busiest route through Polesworth. This runs from Tamworth through to Atherstone and the A5 with St. Helena Road and Spon Lane providing some access to the A5. Narrow sections and a canal Bridge on Spon Lane mean that both lanes do not provide access for HGVs and significantly reduce the capacity of these roads to deal with large volumes of traffic. Within Polesworth itself the B5000 passes through a crossroads, known locally as “The Square”. Bridge Street and Market Street leading up to the High School, Dordon and the A5 form the other axis of the crossroads. The Square is an increasingly busy junction with poor visibility, particularly when attempting to cross from Bridge Street to Market Street, this makes this a hazardous junction and frequently has congestion. In addition car parking is allowed on one side of the bridge on Bridge Street, this adds to the congestion problem, at times it can take in excess of 20 minutes to navigate this stretch of road before negotiating the junction. Consultations and petitions have been organised locally and overwhelming support has been given for the need for traffic lights in the Square and double yellow lines on both sides of Bridge Street. If the proposed NWLP developments commence without these measures then the result will be increased and frequent episodes of grid lock, more accidents and incidents of disputes involving aggression together with significant delays for emergency services. The double yellow lines on Bridge Street have now been implemented. A scheme for traffic lights in The Square has been fully prepared by County Highways and is ready to go but currently needs funding to be identified before it can be implemented. This scheme is an essential requirement prior to any further development in Polesworth.
- 5.41 Similarly, a relatively large number of new homes have recently been built in Warton leading to severe traffic flow and car parking problems. The traffic from the neighbouring village of Austrey also passes through Warton on the way to the A5 and motorway.
- 5.42 Within the village Warton has had its fair share of accidents in the recent years, for example at the Barn End Road and Orton Road crossroads. The Parish Council will encourage Warwickshire County Council to address safety at this point. Vehicles travelling from Polesworth approach the junction often incorrectly believing that Orton Road is the main road if they do they move straight across the Barn End Road.



- 5.43 Further problems arise Austrey Road joins Maypole Road at the junction of Church Road. Here, vehicles have a problem manoeuvring, due to the narrowness and slight gradient of the road. Buses and emergency vehicles can be brought to a halt,

because other vehicles are preventing their passage. In winter when ice is present vehicles have a difficult time entering Austrey Road from Church Road due to the steep gradient.



- 5.44 The village's roads are also restricted due to residents having to park on the street. Particular issues arise when Holy Trinity church is being used for weddings or funerals, then it becomes difficult to proceed along Church Road. The Maypole Road outside of the school becomes very congested when parents collect children from the primary school. This means they park near the corner of Barn End Road. A safer means of crossing the road outside of the school needs to be developed possibly a crossing closer to Ivy Croft Road. Speeding traffic along Orton Road, Barn End Road and Church Road is often observed and a concern for residents.
- 5.45 Polesworth is very poorly served by rail – with only one service per day that heads towards Tamworth and no return service. The Parish Council support Warwickshire County Council's aspiration of improving rail services to Polesworth.

PNP OBJECTIVE 6 - To preserve the distinctive nature of our communities through preserving gaps/areas of separation between all of our existing communities and especially the neighbouring communities of Tamworth and Atherstone.

Introduction

- 5.46 The neighbourhood area faces considerable development pressure, both from allocated sites (H4 and H5) and from neighbouring Tamworth to the west. To maintain the separation of Polesworth and Dordon from Tamworth the Local Plan identifies a strategic gap (Local Plan Policy LP4) (see also Figure 3 of this plan). The Local Plan through the settlement hierarchy also seeks to maintain the separation of the villages in the Polesworth neighbourhood area. The PNP local green spaces policy also seeks to designate local green spaces. These by way of the national planning policy protection for such spaces, should remain open land and will, therefore help to preserve the distinctive nature of our communities. In addition Policy PNP10 of this section of the PNP identifies further ways in which the distinctive nature of Polesworth's communities can be preserved.

Policy PNP9 – Preserving the Separate Identity of Polesworth's Villages

To preserve the separate identity of the Polesworth neighbourhood areas villages the following measures will be supported:

- a) Development proposals that would maintain the open land area and enhance Pooley Country Park;
- b) Retention of key open land corridors, such as the River Anker and Coventry Canal; and
- c) Maintaining as open land the other green spaces identified under Policy PNP2

Background/Justification

- 5.47 Whilst strategic planning policy in the Local Plan seeks to maintain the strategic gap between Tamworth and Polesworth and Dordon and focus development within village development boundaries there is concern that smaller more incremental development could still erode the physical separation and identities of the neighbourhood area's villages. Policy PNP9 seeks to support strategic planning policy by identifying key areas of open land for further protection. These include:
- Pooley Country Park – a 62.5 hectare site, one third of which is a designated Site of Special Scientific Interest, contains several pools caused by mining subsidence, woodland habitats and is situated on the Coventry Canal;




- Key open land corridors, including those along the River Anker and Coventry Canal; and
- Non-strategic areas of open space identified as part of the Other Green Space assessment (contained in Table 2). These are sites not considered to meet the national Local Green Space designation criteria, but that are considered to make important, non-strategic contributions to maintain the separation and separate identities of our villages.

Appendix 1. Local Green Space Assessment



Table 1. Local Green Spaces Assessment


Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
<p>Birchmoor Recreation Ground/PNP1/2</p>	<p>In middle of the village, access from New Street and Cockspur Street.</p>	 <p>Provides play equipment for children and sports facilities.</p>	<p>1.18 hectares of self-contained formal park.</p>	<p>None.</p>
<p>Birchmoor Allotments/PNP1/1</p>	<p>Rear of village pub</p>	<p>Provides important recreation and food growing area for residents.</p>	<p>0.78 hectares of allotments at the north end of the village, bounded by hedges and adjoining the Recreation Ground to the south.</p>	<p>None.</p>
<p>Station Road Recreation Ground and Community Field/PNP1/3</p>	<p>Access from Station Road and Francis Close. Next to large residential estate.</p>	<p>Provides play equipment for children and sports facilities. Site of Annual Carnival and Fair.</p>	<p>4.03 hectares of open space, including Polesworth Recreation Ground,</p>	<p>Entry is gained to this area through a hard play area, off Station Road which</p>



Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
			<p>an area of open land and woodland. Bounded to east and south by local housing and to the west by field boundaries and beyond River Anker.</p>	<p>can also be used as a car park for football matches. Adjacent to the hard play area is an area with play equipment for younger children. Behind this is a field which is used by the community for dog walking, dog training classes, Polesworth Swifts junior football club and for general recreational / family activities. This section of ground is owned by the Parish Council. A further field which connects to the Parish Council land is owned by the Polesworth Community Association and is used in the same way as the Parish</p>





Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
				<p>Council land. Both fields are used on an annual basis for the Polesworth Carnival an event which regularly attracts large crowds to the site. This land runs into an area of land which is not maintained but runs along the river bank to the railway and Motorway viaducts providing access to the river bank (River Anker) which provides an important area for wild life and biodiversity together with the opportunity for recreational activity and nature observation. Taken together this is an important area of</p>

Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
				land which provides the community with a range of opportunities for sporting activity, interaction with the local natural environment and a wide range of recreational activities.
Hall Court area, Polesworth/PNP1/4	In centre of Polesworth	 <p>Within the confines of the Hall Court area a number of community buildings are located. These buildings include a Memorial Hall (a large community hall), a facility providing day use for Group Homes who specialise in</p>	0.54 hectares of green space within the centre of Polesworth. Various community buildings adjoin the site to the north. Site bounded by trees and hedges on east and south. Western edge is formed by a car park.	None.




Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
		<p>providing care for adults with learning difficulties and run a number of residential homes within the local community, the Public Library, The Tithe Barn (a community meeting room, Parish Council Office and Community police hub), a medical centre, a community gym (recently converted from work units) and an historic Dove cote (currently used as a Parish store). Vehicular access to the area is from Bridge Street and the area also provides a considerable amount of parking space. There is also a significant amount of green space which is crossed by a number of footpaths. Walking routes connect the area with The Abbey Green Park where the path crosses the River Anker and connecting streams by means of three footbridges. Footpaths also connect this area to a walking route up through the Churchyard to The Nethersoles Primary school which has led to this route being designated as a safer route to school. The Green area is bordered by the Church Drive and Church Walk. Picnic benches are sited on the Green outside the Memorial Hall and the area has been used as a site for Christmas Market events, most recently a</p>		

Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
		<p>Dickensian Evening which is set to become an annual event. This area adjacent to the Abbey Church, Churchyard and Abbey Green park is viewed as the community or village centre and is within the confines of the existing conservation area.</p>		
<p>The Spinney/PNP1/5</p>	<p>Close to Birchmoor community and in middle of residential estate</p>	 <p>This is a wild area under the ownership of the Parish Council, through which runs a footpath connecting Ensor Drive with Birchmoor Road. The area is the site of an old colliery rail route connecting the Birchmoor colliery with the canal wharf. There is a natural spring which feeds a stream through the area so the area is subject to flooding but</p>	<p>1.42 hectares of woodland in the south west of Polesworth. Bounded by housing to the north, east and south and by open agricultural land to the west.</p>	<p>None.</p>


Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
		the site is an area which is naturally adventurous and rich in wildlife.		
Abbey Green Park/PNP1/6	In centre of Polesworth by River Anker.	 <p>The park is a large green area in the centre of Polesworth which is linked by footpaths to the main shopping area in Bridge Street and Hall Court with its links to the Nethersoles School and the Abbey Site. This is an area of restored land following open cast mining which is under the management of the Borough Council. The River Anker runs through the park so the area also serves as a floodplain and there are fishing posts set in the river bank throughout its length through the park. The area has a skate park and an area of play equipment for younger children.</p>	6.57 hectares of green space in the centre of Polesworth. Built development to south and west, River Anker to north, bounded to the east by hedges with open beyond.	None.



Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
		<p>There are also hard surface tennis courts and a bowling green within the park although the bowling green is currently not in use by a bowling club. The Coventry Canal runs along the edge of the park along the route of the Grendon Road with access to the towpath and canal. The park is well served with tarmacked footpaths which run around the park providing good foot and cycle ways and at the point where the River Anker enters the park there is a wooded area and adjacent to this a wetland area which add to the rich diversity of the environment within the park. There is also a very attractive footpath which runs along the river bank from the park through the adjoining fields and links up with the towpath and the Coventry Canal.</p>		

Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
<p>Hoo Monument/PNP1/8</p>	<p>On hill at edge of Polesworth.</p>	 <p>The monument is sited on the summit of a hill in a field off the Grendon Road. This is close to the original site of the Hoo Chapel dedicated to St. Leonard. The monument appears as one of the heritage assets protected by this plan's Policy PNP5. The monument is also in the centre of a proposed development site. This should be retained within a significant green area, both to draw attention to the heritage value represented by the monument and to provide an appropriate open space area in what is destined to be an area of significant development.</p>	<p>1.83 hectares of land surrounding the Monument is identified for Local Green Space designation.</p>	<p>None.</p>

Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
Warton Recreation Ground/PNP1/9	Access from Church Road and Ivycroft Road.	The Recreation Ground is pivotal in giving the residents of Warton the opportunity for outdoor relaxation and recreation. The children have a well laid out play area, which enables them to play on equipment which is well maintained and safe to use. The larger area of the ground allows football matches to be played to FA regulations. During the summer Warton Carnival Committee organise their well supported village carnival which terminates on the recreation ground supported by various attractions. After the Covid 19 lock down came to an end a "Picnic in the Park" was organised which was a great success.	1.69 hectares of formal park on the western side of the village bounded by housing and Holy Trinity Church to east and south, open agricultural land to west and Church Road to the north.	
Warton Allotments/PNP1/10	Access from Waverton Avenue. Centre of village.	Warton has had an allotment site for many years, but the current one was formed in 2009. The allotment has 36 plots and offers enjoyment and exercise to a great many residents and plot holders. It has won on two occasions the North Warwickshire Allotment Federation best allotment in North Warwickshire award. Regular items of interest take place -Barbecues-The heaviest pumpkin competition-Sales of produce to support the upkeep of the allotment.	0.93 hectares of allotment gardens on the north west of the village. Bounded by housing to the east and open fields to the west and north, and woodland to the south.	None.


Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
		Currently leased from North Warwickshire Borough Council by Warton Allotment Association award.		
Glebelands, Church Walk/PNP1/11	Large area of fields surrounding ancient church.	 <p>Provides open aspect and views of church.</p>	5.31 hectares of fields surrounding Polesworth's ancient church.	None.
North Warwickshire Club and Sports Ground/PNP1/7	On edge of Polesworth.	The North Warwickshire club is located off the Tamworth Road (B5000) just within the Parish boundary. This is a well maintained sports ground used primarily, though not exclusively, for Junior football activities and training programmes. A well maintained club house serves as a social club and a venue for a variety of community activities.	Yes.	None.

Site Name/Policy Reference	Proximity to the community it serves	Demonstrably Special?	Local in character	Any other comments
St John's Church Allotments/PNP1/12	Between New Street and Birchmoor Recreation Ground	The St. Johns allotments are located between the St. Johns Hall in New Street and the Birchmoor recreation Ground. They are under the ownership of the Abbey Church and comprise a small group of allotments which bring a productive and tranquil area to the community of Birchmoor, which is much valued by its residents.	Yes	No

Table 2. Other GreenSpaces Assessment

Number	Site Name	Proximity to community it serves	Demonstrably special?	Local in character	Any other comments
1					
1	Green area in front of Gamecock Inn Birchmoor	At entrance to the village.	Has planters on with flower displays.	Yes.	None.
2	Green area in Orchard Close Polesworth	In <i>cul de sac</i> of houses.	Green area by railway line.	Yes.	None.

Number	Site Name	Proximity to community it serves	Demonstrably special?	Local in character?	Any other comments
3	Green area in Nethersole Street, Polesworth	In centre of houses.	 <p>Green aspect and area for children to play.</p>	Yes.	None.
4	Green area in Coronation Avenue Polesworth	In centre of houses.	Green aspect and area for children to play.	Yes.	None.
5	Green area in Princes Road Polesworth	In centre of houses.	Green aspect and area for children to play.	Yes.	None.
6	Green area in Sycamore Avenue, Polesworth	By houses.	Green aspect and area for children to play.	Yes.	None.
7	Two green area in Ridding Gardens, Polesworth	In centre of <i>cul de sac</i> Near to Chetwynd Avenue.	Green aspects and areas for children to play.	Yes.	None.

Number	Site Name	Proximity to community it serves	Demonstrably special?	Local in character	Any other comments
8	Green area off Kiln Way, Polesworth	By houses.	Green aspect.	Yes.	None.
9	Green area in Saxon Close, Polesworth	In centre of Close .	Green aspect and area for children to play.	Yes.	None.
10	Green area in Paddocks Close, Polesworth	In middle of bungalow complex.	Green aspect for older residents.	Yes.	None.
11	Green area in Chaytor Road, Polesworth	In centre of close.	Green aspect and area for children to play.	Yes.	None.
12	Green area in St. Leonards View, Polesworth	In centre of close.	 <p>Green aspect and area for children to play.</p>	Yes.	None.
13	Wooded area from Church Road to Allotments Warton	In centre of village.	Wooded area with pedestrian path.	Yes.	None.

Number	Site Name	Proximity to community it serves	Demonstrably special?	Local in character	Any other comments
14	Green area in Windmill Close, Warton	In centre of <i>cul de sac</i> .	Green aspect and area for children to play.	Yes.	None.
15	Green area junction Austrey Road/Waverton Avenue, Warton	In centre of village.	Green aspect.	Yes.	None.
16	Green area in Barn End Road, Warton	By houses.	Green aspect for residents.	Yes.	None.
17	Two green areas in Orton Road, Warton	By houses.	Green aspects for residents.	Yes.	None.
18	Three green areas in Waverton Avenue, Warton	By houses.	Green aspects for residents.	Yes.	None.

Appendix 2. Assets of Local Historic Value

Polesworth

1. Old Police House, 6 Station Road



Historic	This was the first dedicated Police House built in the village and contained two secure cells
Aesthetic	It is a distinctive design, quite different from other buildings in the village.
Communal	Now a private house
Age: is it old, or does it have a Significant date?	Built in 1859 and in use as a police station until 1956.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	There are no other examples of this type of building in North Warwickshire.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is a striking building at the beginning of Station Road approached from Bridge Street.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	
Assessment of Significance	This is a significant building because of its uniqueness in North Warwickshire and its essential visible part of the village's history.

2. War Memorial, Church Drive



Historic	This was erected to commemorate those men who died in WWI and then added to, to commemorate those men who died in WWII.
Aesthetic	It was sculpted by Henry C. Mitchell of Tamworth a well-known local mason and unveiled in April 1921.
Communal	It is the focus of an act of remembrance every year.
Age: is it old, or does it have a Significant date?	It was built by public subscription after WWI and added to after WWII
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is of a particular style for this area.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It has a prominent position in the Church Drive.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	Many of these commemorated on the monument have surviving relatives still in the village.
Assessment of Significance	This is significant because of its link to the men who died during the two world wars of the last century, many of whom have relatives living in the village and also to the wider community.

3. The Baptist Church, The Gullet



<p>Historic</p>	<p>This was erected in 1850 and was paid for by donations from other Baptist congregations in the area. It was built by members of the Baptist community. The land was purchased by Thomas Aspbury, a tailor of Polesworth, who lies buried in the burial ground and his monument has been moved to the east wall of the burial ground.</p>
<p>Aesthetic</p>	<p>It has a very pleasing aspect, especially from the churchyard side.</p>
<p>Communal</p>	<p>The only non-conformist chapel still in use for religious purposes in the village today.</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>Built in 1850 by chapel members.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>It is a standard building of the time, mirrored by the original Methodist chapel and Congregational chapel.</p>
<p>Landmark Quality: Does it have a visual prominence in the Townscape/landscape?</p>	<p>Very prominent in The Gullet, but especially from the graveyard side.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	

Assessment of Significance	This is significant because it is the only non-conformist church in the village which is still used for its original function and also is an excellent example of this design.
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4. 22 Potters Lane



Historic	This was originally a much larger building than exists now and erected possibly in the mid to late 1600s. It appears on the 1850 Tithe Apportionment Map of Polesworth.
Aesthetic	It sits well below the road and stands out from other properties along Potters Lane which was realigned when the Trensale Heights estate was erected. It has a visual impact on those approaching from Chaytor Road.
Communal	It is a private house
Age: is it old, or does it have a Significant date?	Erected in the 1600s when the area was still agricultural in nature, but may contain evidence of an earlier building in its structure.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is built with the narrow bricks of the time and is similar to other buildings of the era.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It has visual impact on those approaching from Chaytor Road.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	Small narrow bricks indicate its age. It appears on the 1850 Apportionment Map for Polesworth. It is most likely one of the larger buildings that appears on the 1642 Hearth Tax documents.
Assessment of Significance	The significance of this building is its age and brick structure which has single depth walls. It is part of a larger building, since demolished, and was part of a small holding including orchards. It is one of the few such buildings in the village.

5. Willow Cottage, 11A Potters Lane



Historic	This building appears on the 1850 Tithe Apportionment Map as a very small dwelling. It is possibly from the 1600s.
Aesthetic	It has a very pleasing aspect and is very distinctive in character.
Communal	It is a private house.
Age: is it old, or does it have a Significant date?	1600s but may contain evidence of an earlier building in its structure.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is different in character from other buildings in the area, but there may be others in North Warwickshire.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is rendered and has an extended sloping roof line towards the road and stands out from other properties nearby.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It is supposed to be of an older construction than 22 Potters Lane, but is considerably smaller on the 1850 Tithe Map than that building so most probably a cotters cottage.
Assessment of Significance	The significance of this building is its uniqueness of shape and structure. Although rendered, it is clear that it is possibly one of the oldest brick buildings in the village.

6. Lilac Cottage, 21 Tamworth Road



Historic	This building appears on the 1850 Tithing Apportionment Map as a much larger building. It possibly dates from the 1600s but may contain evidence of an earlier building in its structure.
Aesthetic	It has a distinctive presence in the streetscape, being set back from the road and has an unusual internal room and stairs alignment.
Communal	It is a private house.
Age: is it old, or does it have a significant date?	Erected in the 1600s when the area was still agricultural in nature, but may contain evidence of an earlier building in its structure.
Identity: Does it have a particular character that would be typical of North Warwickshire?	It is built of narrow bricks of the period.
Landmark Quality: Does it have a visual prominence in the townscape/landscape?	It is different to the nearby properties which are of more modern date.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	The building was once used as a ‘Dame School’ possibly for students who did not gain admission to the Nethersole School in Polesworth or who were from nonconformist families.
Assessment of Significance	The significance of this building is its distinctive shape and inside orientation. It has a large entrance hall and the staircase is not contemporary with the age of the building; a door leads to a large main room which is lower than the driveway outside and this leads to a side room with a small

	<p>window and stairs to a single bedroom with no access to the rest of the bedrooms which are accessed from the main staircase. The west side of the building was much larger and possibly contained the original staircase and the east end has an unusual triangular face.</p>
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7. 24 Tamworth Road



<p>Historic</p>	<p>This building was most likely erected at the time the canal was cut through in the 1770s and served as a blacksmiths for the canal horses. It sits sideways on to the road and until recently had the remnants of the blacksmiths at the rear.</p>
<p>Aesthetic</p>	<p>It was purpose built for the blacksmith and his family. Located well above the flood plain of the river Anker it allowed the blacksmith to ply his trade all year.</p>
<p>Communal</p>	<p>It is a private house.</p>
<p>Age: is it old, or does it have a Significant date?</p>	<p>1700s.</p>
<p>Identity: Does it have a particular Character that would be typical of North Warwickshire?</p>	<p>This is a building which reflects the canal history and heritage of the village and of the wider area. It is of a type of house that is typical of the era it was erected.</p>
<p>Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?</p>	<p>It stands out from the neighbouring buildings both in its construction and sideways aspect to the road.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>It appears on the 1850 Apportionment map. It is important for the canal heritage of Polesworth.</p>
<p>Assessment of Significance</p>	<p>This significance of this building is its link to the canal heritage of the area, having been built to serve as a blacksmiths for the working horses.</p>

8. Paddocks, 42 Common Lane



Historic	This building was most likely erected in the 1600s as it exhibits many characterises from buildings of that era.
Aesthetic	Originally a farmhouse it is a prominent building in the streetscape.
Communal	It is a private house.
Age: is it old, or does it have a Significant date?	1600s but might contain in its fabric material from an earlier age.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is a typical farmhouse building for this area, there are other examples in Polesworth itself.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It stands out from the neighbouring buildings.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It appears on the 1850 Apportionment map as much larger than it is now. It stands on the edge of what was Polesworth Common and is most likely one of the houses mentioned in the Hearth Tax of 1662. It is also on the route of the Coffin Trail.
Assessment of Significance	The significance of this building is in its structure as a farm house built on the edge of Polesworth Common. There are other examples of this type of building in the village but this is the best preserved and contains remnants in its outside appearance of its original plan.

9. Oak Public House and Attached cottage and stables, Grendon Road



<p>Historic</p>	<p>This building was erected when the canal was constructed through the village in the 1770s and the attached cottage was most likely for the Ostler who looked after the horses, some of which were stabled there and belonged to the larger operators of canal transport companies. This enabled horses to be rested and fresh horses to take their place.</p>
<p>Aesthetic</p>	<p>It is a small building with attached cottage and stables but is quite distinctive in the streetscape.</p>
<p>Communal</p>	<p>It is a public house with private house attached.</p>
<p>Age: is it old, or does it have a a Significant date?</p>	<p>Late 1700s.</p>
<p>Identity: Does it have a particular Character that would be typical of North Warwickshire?</p>	<p>This is a building which reflects the canal history and heritage of the village and of the wider area. It appears to be unique in that it consists of both a hostelry and an attached cottage and stables. It does not exhibit any characteristics of a coaching inn.</p>
<p>Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?</p>	<p>It is very prominent on the corner of Grendon Road and Common Lane.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>It has great significance in the history of the canal building in Polesworth with its built environment.</p>

Assessment of Significance	The significance of this building is its link to the canal heritage of the area, having been built as a hostelry with an Ostlers cottage and stables for the horses attached.
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10. 36 Grendon Road (cottage behind the Oak)



<p>Historic</p>	<p>This building appears on the Tithe Apportionment Map for Polesworth and is quite likely one of the earliest building in Polesworth on the south side of the river. It is likely to be of 1600s construction and has been much altered. It may be one of the houses that appears on the 1662 Hearth Tax records.</p>
<p>Aesthetic</p>	<p>It is a small building set back from the road and displays a country cottage frontage to Grendon Road, tucked behind the Oak Public House.</p>
<p>Communal</p>	<p>It is a private house.</p>
<p>Age: is it old, or does it have a Significant date?</p>	<p>Likely 1600s.</p>
<p>Identity: Does it have a particular Character that would be typical of North Warwickshire?</p>	<p>It is a unique cottage in the village and there are others similar in North Warwickshire.</p>
<p>Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?</p>	<p>It stands out from other properties nearby.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>The building may have some connection with the pottery industry which was in this area. Archaeological reports show evidence of this which is reflected in the nearby road name of Potters Lane. This may also be one of the properties mentioned in the Hearth Tax 1662.</p>
<p>Assessment of Significance</p>	<p>The significance of this cottage is it is uniqueness. It is clearly and one up, one down cottage which has been enlarged and may have been a building with living quarters one end and animal stalls at the other.</p>

11. Georgian House, Bridge Street/High Street corner



Historic	This building is the only Georgian house extant in the village. It is now separated into individual dwellings and shop premises.
Aesthetic	It has a very distinctive character.
Communal	It is divided into private dwellings and shop premises.
Age: is it old, or does it have a Significant date?	1700s.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It has a very distinctive character although it is not unique in North Warwickshire it is the only building of this design in Polesworth.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is rendered and stands out from other properties nearby.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	
Assessment of Significance	The significance of this building is that it is perhaps the only house of Georgian construction in the village. Originally built for the Bond family, who were surgeons, and is now converted into houses, shops and flats.

12. Spread Eagle Public House, High Street



<p>Historic</p>	<p>A hostelry has stood on this plot from the medieval period, most probably from the time the Gatehouse was built in the late 14th century. The building juts into the road where High Street narrows as it proceeds eastwards. The plot it stands on covers an area which goes well back from the road and has an area of grass at the east of the building with an alleyway running around the edge of it up to what was common land in the medieval era. This configuration would fit with this being a hostelry with stabling for horses and carts at the rear, such as found close to other monastic sites, such as Romsey Abbey in Hampshire. The 'Spread Eagle' public house is directly opposite the Gatehouse and the medieval building on the site may well have been a hostelry owned by the Abbey in the medieval period. It appears on the 1850 Tithe Map.</p>
<p>Aesthetic</p>	<p>It is a distinctive double fronted building which is rendered but shows different building styles back from the road.</p>
<p>Communal</p>	<p>It is a public house.</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>The foundations are medieval and the building has various stages to arrive at the present configuration.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>It has a narrow frontage typical of a burgage plot and the building extends some way back from the road.</p>
<p>Landmark Quality: Does it have a visual prominence in the townscape/landscape?</p>	<p>It is very prominent in the streetscape as it is directly opposite the Abbey Gatehouse and its presence narrows the High Street for traffic at this point.</p>

<p>Other: is there any other factor:</p> <p>Local value or landscape interest?</p> <p>Archaeological interest? Or Archival Record? – please explain</p>	<p>It appears on the 1850 Tithe Map and parts of it may date back to the pre-reformation period. It is also likely to be one of the properties mentioned in the 1662 Hearth Tax documents.</p>
<p>Assessment of Significance</p>	<p>The significance of this building is that it sits on a burgage plot and was most likely a medieval hostelry which served the Abbey as a guest house. It sits opposite the Abbey Gatehouse and is at the end of the probable site of the market square of the medieval township. The layout of both the building and the garden area around it shows similarities with such guesthouses attached to monastic communities across the country.</p>

13. Hermitage, Tamworth Road.



<p>Historic</p>	<p>It is difficult to precisely date this building as it has been both lived in and derelict and rebuilt in living memory. The origins of a building on this site date back to the 7th century or earlier. It was part of the Abbey properties at the time of the Dissolution of the Monasteries and was used as a farmhouse and tenanted from that date, the Polesworth registers from 1631 mentions tenant families, and gravestones in the churchyard commemorate many of them. It has fabric internally that dates back some centuries and shows its use as a farmhouse cum dairy. It appears on the 1850 Tithe Map and would be one of the buildings mentioned in the 1662 Hearth Tax documents.</p>
<p>Aesthetic</p>	<p>It is a rendered house, set back from the road with extensive outbuildings now used as industrial units.</p>
<p>Communal</p>	<p>Private house</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>The origins date back to the early medieval period and the present house has elements from the later medieval period.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>It is a large farmhouse.</p>
<p>Landmark Quality: Does it have a visual prominence in the townscape/landscape?</p>	<p>It is set back from the road, but stands out on the road from Polesworth to Tamworth.</p>
<p>Other: is there any other factor: Local value or landscape interest?</p>	<p>Sir William Dugdale visited the house in the 1600s and gives a brief description in his book on Warwickshire. It was one of the larger houses mentioned in the 1662 Hearth Tax documents. It is an important building inasmuch as it represents a part of the early medieval, Saxon and monastic heritage of Polesworth.</p>

Archaeological interest? Or Archival Record? – please explain	
Assessment of Significance	The significance of this building is its links to the life of St. Edith of Polesworth, a 6 th or 7 th century Anglo-Saxon saint, and also to the later monastic community in Polesworth. It is rendered and therefore the original exterior cannot be properly ascertained, however the inside orientation shows its age. When Dugdale visited this building in the 1600s there were still stained glass windows showing figures of prominent nuns from the Abbey. This is an extremely important building in the monastic history of the village.

14. Farmhouse Bridge Street (Card shop, greengrocers)



Historic	This was most likely erected in the 1600s as it exhibits many characterises from buildings of that era. It appears on the 1850 Tithe Map.
Aesthetic	It was clearly built as a farmhouse as it is of similar design and age to Paddocks, 22 Common Lane.
Communal	It is now divided into shops with accommodation above.
Age: is it old, or does it have a Significant date?	1600s but might contain in its fabric material from an earlier age.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is a typical farmhouse building for this area, there are other examples in Polesworth itself.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It stands out from the neighbouring buildings and is a unique building with the streetscape of Bridge Street.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It is most likely one of the houses mentioned in the 1662 Hearth Tax documents.
Assessment of Significance	The significance of this building is that it was once a farmhouse, the only one along this section of roadway down to the river, either originally built during the monastic era, or shortly after. It still retains the outline of its origins but now converted into shops and flats.

15. Nurses Home, 32 Station Road



Historic	This house was built in 1930 for use as a Nurses Home
Aesthetic	It is a functional house which is different to any other house in the street.
Communal	It is currently used by Polesworth Homes, a charity
Age: is it old, or does it have a Significant date?	1930
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is unique to Polesworth, but follows the same design as many such houses built at the time for the same purpose.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It stands out from other buildings around it.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	The plaque above the front entrance, which is integral to the building, reads 'Polesworth Nurses Home 1930'.
Assessment of Significance	The significance of this building is its uniqueness in the landscape. It was built for a specific purpose and still retains its original shape and aspect.

16. 36 Bridge Street



<p>Historic</p>	<p>This building appears on the 1850 Tithe Map and is very distinctive because of its elevated position in the streetscape. Bridge Street is the medieval hollow way down from the township to the river and this building shows that particularly. It is likely to be a much earlier building, possibly from the 1600s and may be one of the buildings mentioned in the 1662 Hearth Tax documents.</p>
<p>Aesthetic</p>	<p>It has a large frontage onto the road with no front garden. It stands out from other buildings along Bridge Street because of its design and elevated position.</p>
<p>Communal</p>	<p>It is a private house.</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>Possibly 1600s.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>It is elevated above the road and is in a prominent position at the northern end of Bridge Street.</p>
<p>Landmark Quality: Does it have a visual prominence in the Townscape/landscape?</p>	<p>It stands out from other buildings at this end of Bridge Street.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	

Assessment of Significance	The significance of this building lies in its position. It sits at the edge of what was monastic land, albeit land that was used for secular purposes. Its elevation from the road gives it its unique appearance.
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17. Methodist Chapel, Bridge Street (original chapel only)



<p>Historic</p>	<p>The original chapel was built in 1857 on the site of a blacksmith's premises. It was erected by Mr. Thomas Watton of Tamworth who built it for £100 with members of the congregation undertaking the labouring work. The chapel opened on the second Sunday in October 1857 and was built on land owned by Sir George Chetwynd, attracting a ground rent of 5s 3d per year. The ground rent was paid up until the land and surrounding properties were purchased in 1908 for the sum of £250 by George Deeming.</p>
<p>Aesthetic</p>	<p>The building has boarded up windows and the original entrance door. It is a typical building of the time and has similar characteristics to the Baptist Chapel and Congregational Chapel in Polesworth.</p>
<p>Communal</p>	<p>It now forms part of a shop and playgroup complex.</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>1857.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>It is like other nonconformist buildings of the period, both in Polesworth and other parts of North Warwickshire.</p>
<p>Landmark Quality: Does it have a visual prominence in the townscape/landscape?</p>	<p>It is tucked back from the road behind a modern extension built when the chapel was sold for commercial use.</p>

<p>Other: is there any other factor:</p> <p>Local value or landscape interest?</p> <p>Archaeological interest? Or Archival Record? – please explain</p>	
<p>Assessment of Significance</p>	<p>The significance of this building is the simplicity of its style and the fact that it was the last non-conformist church to be built in the village. It still retains its basic shape and window orientation.</p>

18. Footpath from High Street at the Station Road/Bridge Street junction onto the playing fields



<p>Historic</p>	<p>The medieval township of Polesworth was approached from the north via Bear Lane which then turned eastwards and widened out to form the High Street. This road is shown clearly on the 1850 Tithe Map. It exists today as a walkway through from the High Street junction with Station Road and Bridge Street to the playing fields on Station Road. It also provides vehicular access to houses. It is an important remnant of the medieval townscape.</p>
<p>Aesthetic</p>	<p>It is a walkway and access road for houses.</p>
<p>Communal</p>	<p>Open to walkers and householders.</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>It is medieval in origin, from at least the early 12th century.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>It is the last visible remnant of the medieval roadway into Polesworth from the north.</p>
<p>Landmark Quality: Does it have a visual prominence in the Townscape/landscape?</p>	<p>It is tucked away behind a bungalow and alongside a house.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>It is an important visible remnant of the medieval streetscape of Polesworth.</p>

Assessment of Significance	<p>The significance of this short piece of footpath is that it is one of the last remnants of the original roadway into Polesworth from the North. Medieval in origin it brought both worshippers and pilgrims to the Abbey and Shrine of St. Edith of Polesworth. When the road was altered and straightened in the 1800s, this section was left as a footpath and its importance in the medieval history of the village cannot be emphasised enough.</p>
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19. Stiper's Hill Enclosure



Historic	<p>The importance of this as a site of ritual significance can be traced back to the Anglo-Saxon times or even before. These ritual areas had a standing-post and a square enclosure and elsewhere in the country contained shrines. The name is most likely derived from the Old English word for post – Stipere. Dugdale the 17th century antiquarian visited Polesworth and the surrounding areas and mentions them in his books on Warwickshire. He found an 'old entrenchment' on the site which he called 'a little fortification'.</p> <p>This was a meeting place for tribes in the area during what is often referred to as the Dark Ages and possibly before the Roman conquest; and later when the Anglo Saxons and then Normans settled here; where proclamations were made, musters declared and courts were held. It certainly survived the Norman Conquest as an important secular meeting-place up until the later Middle Ages when it ceased due to the increase in more formal court arrangements.</p> <p>These courts from the time of the Anglo Saxon settlers, until the later Middle Ages, involved dealing with accusations of crime, disputes of land and property, and the paying of rents. In the Bodleian Library documents show that tenants in the honour – the name for land held by the lord of the manor - of Tamworth met at a court on Stipershill and paid their rents or sought redress for wrongs. In the 1350s for instance it is recorded that a tenant attended the court there and paid over a pair of golden spurs on St. Edith's day as rent for his lands, most payments were in goods not money.</p> <p>These courts were held twice a year on days in the religious calendar out in the open, in the same way as some courts meet today, such as the one on the Isle of Man. There are many records of these courts held in</p>
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	<p>parchments both in private estate papers and in national archives which give rich insights into their dealings.</p> <p>A few years ago Lidar survey was undertaken and it showed the intact outline of the enclosure but recently these earthworks appear to have been breached and damaged by the use of the area as a motorbike scramble area.</p> <p>There are other earthworks along the eastern side of the promontory and these are the remains of the entrenchments dug by the Polesworth Home Guard during World War II whilst practicing defence should there be an invasion.</p>
Aesthetic	It is largely still intact and is of great historical importance.
Communal	The site is on private land.
Age: is it old, or does it have a significant date?	Although the age of the enclosure would need to be dated by archaeological excavation, recent research by Dr. Nigel Tringham places the age of the site to be most likely before the Roman conquest.
Identity: Does it have a particular character that would be typical of North Warwickshire?	It would seem to be unique in the Warwickshire countryside.
Landmark Quality: Does it have a visual prominence in the townscape/landscape?	It is very prominent from the Warton Road and is marked on old maps of the area as Stiper's Hill Plantation
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	This shows evidence of the first gathering of local tribes in the area for peaceful and warlike motives and is the beginning of this areas rise to prominence and eventual settlement.
Assessment of Significance	The significance of this site is that it is of major importance in the history of this area. Pre dating the Roman period and in use all through the Anglo-Saxon period as the site of a moot and meeting-place. It originated as a gathering place for local tribes, possibly marking the boundary of land owned and occupied by different tribal families. Then continued as a place of major significance in the life of the

	lords of the manor up until more formal court arrangements were put in place.
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20. St. Helena Road – medieval sunken road.



Historic	This is a medieval sunken lane leading from Polesworth through a medieval deserted village and onto the Roman A5.
Aesthetic	The lane is part of the visible medieval landscape of Polesworth. It has been widened and houses built alongside it for part of the way until it assumes its medieval proportions before continuing into the next parish of Dordon. It is an ancient lane with old hedgerows and trees alongside and is a natural habitat for wildlife.
Communal	The lane is used for vehicles and walkers.
Age: is it old, or does it have a significant date?	The lane is Early Medieval.
Identity: Does it have a particular character that would be typical of North Warwickshire?	This is a medieval sunken lane and as such is important in the landscape. Polesworth Abbey in the ecclesiastical parish of Polesworth, which covered a much larger area than now, held the right of burial and therefore it most likely was used as a coffin way for the inhabitants of the deserted medieval village along its route and other farmsteads on that side of the parish. There is a stone marker where Little Jim’s cottage once stood which has importance in local culture.
Landmark Quality: Does it have a visual prominence in the townscape/landscape?	It is a prominent lane in the street plan of Polesworth, leading to Dordon.
Other: is there any other factor: Local value or landscape interest?	It is often used by heavy vehicles which will have an impact on the medieval aspects of the road. It is alongside the site of Little Jim’s Cottage.

Archaeological interest? Or Archival Record? – please explain	
Assessment of Significance	The significance of this road is its medieval origins and usage, it is possibly a coffin way from the old, deserted settlement which was further into Dordon parish and is a prominent lane through the area of Hoo.

21. Coffin Trail, Common Lane



<p>Historic</p>	<p>Polesworth was a large ecclesiastical parish in medieval times and all inhabitants of outlying hamlets and farms would be buried in the Polesworth churchyard. Coffin ways or trails were used to bring the dead down to Polesworth for burial. This trail leading from Dordon down to the common and then on to the Polesworth churchyard is the only one of these trails that can be identified within the old ecclesiastical parish of Polesworth and as such is important in the landscape.</p>
<p>Aesthetic</p>	<p>Used by walkers and dog walkers, it is a pleasant lane to walk.</p>
<p>Communal</p>	<p>Pathway from Common Lane to Dordon.</p>
<p>Age: is it old, or does it have a significant date?</p>	<p>It is early medieval in origin.</p>
<p>Identity: Does it have a particular character that would be typical of North Warwickshire?</p>	<p>Coffin trails would have been a part of the landscape of North Warwickshire but there seem to be no other examples of any still in existence.</p>
<p>Landmark Quality: Does it have a visual prominence in the townscape/landscape?</p>	<p>It is a footpath.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>It is an important part of the history of the ecclesiastical parish of Polesworth.</p>

Assessment of Significance	The significance of this lane is its ecclesiastical use as a coffin trail or way. It is obviously of some antiquity as the ancient hedgerows suggest. There are no other examples of a lane named as such in North Warwickshire
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22. Site of the Hoo Chapel, off Grendon Road and possible Iron Age hill fort site



Historic

The site is possibly an Iron Age hill fort as it sits on a hill with an escarpment on the north side and would be easily defensible as the surrounding terrain drops away from the flat area at the top of the hill.

The chapel was founded by Roger de Grendon although the exact date of foundation is unknown it took place during the reign of King Henry I or King Stephen (1100-1154). Roger endowed the chapel with a large amount of land, which was presumably worked as a farm for the upkeep of the priests who lived in the Chapel House, and was most likely used for sheep farming, as this area was noted for its quality wool in the medieval period. The land immediately around the Chapel would have been the burial ground for estate parishioners and the priests themselves, the inside of the Chapel being reserved for members of the de Grendon family and their successors. As well as the Chapel there would have been a house for the priests and ancillary buildings for their maintenance and also for the farm, stables and animal enclosures. The usual complement was four priests.

The Chapel was dissolved during the Reformation and was not inhabited from that time. The site was lost in the intervening years but the chapel graveyard was accidentally rediscovered in 1846 when the cutting of the London and North Western Railway went straight through the graveyard, and some gravestones and skeletons were uncovered.

The obelisk was erected by Sir George Chetwynd. Local folklore states it was first erected in the field by the cutting, but was subsequently moved to its present position sometime later. The obelisk in the field has this inscription:- Site of the Chapel of St. Leonard at Hoo Demolished 1538 30th Henry VIII.

The precise location of the chapel and the ancillary farm buildings is not known but is likely to stretch across the B5000 and onto the top of Hoo Hill and encompass the site of the obelisk.

<p>Aesthetic</p>	<p>The area is of immense importance to both the Iron Age and the medieval monastic history of the area.</p> <p>The monument itself is a prominent feature in the field to the south side of Grendon Road leading out of Polesworth. It is visible for a great distance around and is particularly prominent in the landscape as Polesworth is approached from Tamworth along the B5000 at Hermitage Hill.</p> <p>To determine the actual area of the Iron Age hill fort, Chapel and ancillary buildings would need a thorough survey including Lidar and geophysics before a full archaeological excavation to identify the precise location, although aerial photographs in the Warwickshire HER show foundations of buildings and the map of the area dated 1722 shows extant buildings in the area.</p>
<p>Communal</p>	<p>The whole area is on private land and the monument which is Grade II listed is not therefore accessible.</p>
<p>Age: is it old, or does it have a Significant date?</p>	<p>The hill fort would have become obsolete either before or just after the Roman invasion of the country.</p> <p>The chapel was built in the early 1100s and suppressed during the dissolution of the monasteries in 1538.</p>
<p>Identity: Does it have a particular Character that would be typical of North Warwickshire?</p>	<p>The area of the hill fort is of great importance to the early history of North Warwickshire.</p> <p>The monument which is Grade II listed is a unique feature within North Warwickshire.</p> <p>The site of the Chapel and ancillary buildings is of great importance to the medieval history of the area.</p>
<p>Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?</p>	<p>The hill itself has prominence in the landscape and the monument which is grade II listed is very prominent in the landscape.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>The monument which is Grade II listed is a statement feature to the areas monastic past and is very prominent in the landscape.</p>
<p>Assessment of Significance</p>	<p>This site is of immense significance in the monastic history of the area and was possibly originally an Iron Age hill fort. The obelisk which sits in a field near the site of the chapel and monastic complex is Grade II listed. The area has</p>

	never been archaeologically investigated so the exact location of buildings is not known.
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23. Commemorative marker for site of Little Jim's Cottage, St. Helena Road.



Historic	The cottage was a typical example of a late 14 century/early 15 th century building with exposed cruck construction. It was burnt down in the 1970s. A stone marking the site sits on the side of St. Helena Road.
Aesthetic	The building no longer exists.
Communal	
Age: is it old, or does it have a Significant date?	The building was a medieval cruck construction.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It was made famous by a poem by Edward Farmer and is an important cultural site.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	The area is one well known in the area and a stone at the side of the road marks the site.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It is of prominent cultural importance for Polesworth and is part of the mining history of the area.
Assessment of Significance	This site is of significance to the mining history of the area and to the medieval landscape being the site of one of the earlier houses in this area.

24. Milestone East B5000



Historic	This is a milestone which once gave the mileage between Polesworth and Atherstone. It stands on the south side of the B5000 just before the railway bridge to the east of Polesworth.
Aesthetic	It is of its kind.
Communal	It is in the hedgerow and is visible to anyone passing when the foliage is cut down.
Age: is it old, or does it have a significant date?	It is difficult to identify its age, most likely erected in the 1700s when the road became a turnpike road.
Identity: Does it have a particular character that would be typical of North Warwickshire?	There may be other such milestones in North Warwickshire.
Landmark Quality: Does it have a visual prominence in the townscape/landscape?	It is visible but not particularly prominent.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	Although very worn, the 'one' of Atherstone can still be made out.
Assessment of Significance	The significance of this milestone is that it is only one of three which has been identified in Warwickshire and the only one positively identified as such in North Warwickshire. It has at some time been removed from the

	<p>other side of the road as some of the inscription that can be made out shows. Recently it was knocked over and the base exposed, this shows it has dressed stonework at the base and the top section usually visible has been smoothed. This stone is possibly originally from the Hoo Chapel and has been repurposed.</p>
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Birchmoor

25. St. John's Church, New Street



Historic	Built in 1888 on land purchased by Rev. Madden at a cost of £105 and dedicated as St. John's Mission Church. It is still in use for worship today
Aesthetic	It is of tin construction and retains its original exterior.
Communal	The building is used for worship as well as communal activities.
Age: is it old, or does it have a significant date?	It was built in 1888, extended in 1898 and then again in 1931.
Identity: Does it have a particular character that would be typical of North Warwickshire?	The building is of its era. Many of these so called 'Tin Tabernacles' were erected in the area to serve as Anglican churches until funds could be raised to build a brick building. Most have since been demolished or wooden clad but this building retains its original structure and character.
Landmark Quality: Does it have a visual prominence in the townscape/landscape?	It is quite a distinctive building along New Street, Birchmoor.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It is one of the last surviving original buildings of this type in the area.
Assessment of Significance	The significance of this building is that it is one of only few remaining 'tin tabernacles' in the country that still retains its original fabric. It was built in the 1880s as a church and still used for that purpose today. It is part of a research project by Dr. Lynn Pearson on early prefabricated buildings.

26. The Gamecock Inn



Historic	This was most likely built as a coaching inn to accommodate visitors to the Gilliver's farm to purchase fighting cocks; although local folk memory is that it was Joseph Gilliver's house.
Aesthetic	It is an imposing building standing at the top of the road leading from Polesworth.
Communal	It is a public house.
Age: is it old, or does it have a significant date?	Most likely built c. Late 1700s
Identity: Does it have a particular character that would be typical of North Warwickshire?	It is a standard design, but may have had a Georgian style frontage erected over an older building.
Landmark Quality: Does it have a visual prominence in the townscape/landscape?	It is an imposing building, the largest in the village and holds a prominent place on the road from Polesworth.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	Joseph Gilliver was cockfighter for both King George III and IV. He lived on part of Birchmoor Common and bred his cocks there. The Inn most likely accommodated visitors to his holding to purchase cocks.
Assessment of Significance	The significance of this building is its connection to the family of Joseph Gilliver and the raising of fighting cocks for King George III and IV. A Georgian style frontage erected over an older building belies its significance as an early hostelry in the area. It is currently no longer a public house.

Warton

27. Primitive Methodist Chapel, Austrey Road



Historic	Erected in 1898 and greatly supported by the Carr family, one of whom who paid for its refurbishment a few years later.
Aesthetic	It was a prominent placed of worship in the village but has been used for industrial use since
Communal	Currently vacant.
Age: is it old, or does it have a Significant date?	Erected 1898.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is now very dilapidated but retains some original decorative brickwork and the original exterior entrance to the chapel can still be seen.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is a building that stands out along the Austrey Road and is quite different from other buildings along that road.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	Warton had one of the earliest Primitive Methodist Societies in the area, first established in 1828. Land was purchased in 1896 and the building was erected in 1898. It has distinctive decorative brickwork. It was put up for sale in 1924 but in 1928 after no interest it was reopened as a chapel again but due to extensive repairs being required which could not be financed by the congregation it was closed and put up for sale in 1932.
Assessment of Significance	The significance of this building lies not in its appearance but in its history. It was one of the earliest Primitive Methodist Chapels to be erected once the Society had been established. It has distinctive decorated brickwork and is a local landmark.

28. Parish Room, Maypole Road.



Historic	The building was opened in 1909. It was built by Thomas Baxter of Wilnecote, the architect being Arthur Moreton of Nuneaton. Messrs. Morris and Shaw contributed 50,000 bricks and appeals and events raised some £205 which was about half the cost of the room and furniture.
Aesthetic	It is used for many community activities in the village and stands in a prominent place facing Church Road and in the heart of the old village.
Communal	It is used for community activities.
Age: is it old, or does it have a significant date?	Built in 1909.
Identity: Does it have a particular character that would be typical of North Warwickshire?	It is a standard parish building of its era.
Landmark Quality: Does it have a visual prominence in the Townscape/landscape?	It holds a prominent place where Maypole Road and Austrey Road converge, facing Church Road.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It was the concept of Rev. H.A. Griffith, who believed a suitable room was necessary to carry out the successful work of the parish. It was opened on Tuesday 9 th November 1909 by Mr. F.A. Newdegate who was MP for Nuneaton.
Assessment of Significance	The significance of this building lies in its use as the only community room in Warton, in the heart of the old village. It is a CISWO property and is maintained by a trust.

29. War Memorial on the wall of the Parish Rooms



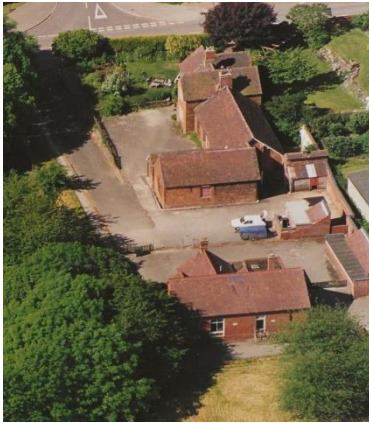
Historic	This was built at the end of WWI to commemorate those who died in the war and added to after WWII.
Aesthetic	It was erected on the front of the parish room in a prominent position.
Communal	An act of remembrance takes places every year.
Age: is it old, or does it have a Significant date?	Erected after WWI
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is of similar design to many such memorials in North Warwickshire.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is prominent on the front of the parish room.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	
Assessment of Significance	This is significant because of its link to the men who died during the two world wars of the last century, many of whom have relatives living in the village and also to the wider community.

30. Cruck Beam House, Church Road/Austrey Road.



Historic	The cottage is in part a typical example of a late 14 century/early 15 th century building with exposed cruck construction. It has been extensively added to and altered over the intervening years.
Aesthetic	The building has a prominent place in the history of the village and is still of importance to the villagers.
Communal	This building is a private house.
Age: is it old, or does it have a Significant date?	The building is in part of medieval cruck construction from the late 14 th /early 15 th century.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It has importance to the village of Warton as it appears to be one of the earliest extant buildings although in need of repair and restoration. It is of a character that can be seen all over the country.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is prominent on the Church Road/Austrey Road junction.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It is very much a building valued by the local inhabitants who view it as important to their history.
Assessment of Significance	The significance of this building is not in its condition but in its age and place in the history of the village of Warton. It is one of the last remaining buildings from the medieval era still standing in the village.

31. Warton Old Nethersole School, Maypole Road



<p>Historic</p>	<p>This school building was erected in 1857 by the Nethersole Trust, this is an educational trust set up in the reign of Elizabeth I for the education of boys and girls within the ecclesiastical parish of Polesworth. In 1832 following the enactment of the Educational Reform Bill a thatched cottage was leased by the Trust to provide a school 'for the benefit of the poor children in Warton' and this building was erected after the enactment of the Education Act 1870 and provided gabled roofs, big windows and separate classrooms. It became known as a Board School. In the early 1900s an infant's school was added. The building is no longer used as a school.</p>
<p>Aesthetic</p>	<p>It is a Victorian building</p>
<p>Communal</p>	
<p>Age: is it old, or does it have a significant date?</p>	<p>Built in 1857.</p>
<p>Identity: Does it have a particular Character that would be typical of North Warwickshire?</p>	<p>It is a similar building to many that were constructed at this time when the education of children was becoming a national rather than local concern.</p>
<p>Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?</p>	<p>It sits back from the road and is no longer used as a school.</p>
<p>Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain</p>	<p>It is part of the history of the Nethersole Trust and is a visual reminder of the Trusts prominence in providing educational buildings in the old ecclesiastical parish of Polesworth.</p>
<p>Assessment of Significance</p>	<p>The significance of this building lies in the fact that it was built as a result of the Education Act 1870 and is a visual part of the history of the Nethersole Trust.</p>

32. School House, Maypole Road



Historic	The Education Act of 1870 meant that properly certified teachers were added to the teaching staff of all schools, and it is likely the School House was built at the same time as the new school in 1857 to house the headmaster or mistress. As the numbers of children to be educated grew part of the building was used as a school room and another room built on to the side nearest the school.
Aesthetic	It is a standard Victorian type building
Communal	
Age: is it old, or does it have a Significant date?	Victorian building.
Identity: Does it have a particular Character that would be typical of North Warwickshire?	It is a typical building of the era and type.
Landmark Quality: Does it have a Visual prominence in the Townscape/landscape?	It is set back from the road but easily visible.
Other: is there any other factor: Local value or landscape interest? Archaeological interest? Or Archival Record? – please explain	It is of prominent cultural importance of the origins of schooling in Warton.
Assessment of Significance	The significance of this building is its relation to the Old Nethersole School in Warton. It was built at the same time as the school and was a feature of the Nethersole Trusts ethos that teacher's accommodation was built adjacent to its school buildings. It is a visual part of the history of the Nethersole Trust.

Glossary

Accessibility: The extent to which employment, goods and services are made easily available to people, either through close proximity, or through providing the required physical links to enable people to go to locations where they are available.

Affordable Housing: Housing that is provided to eligible households at a price/ rent below the market rate, whose housing needs are not met by the market. It includes socially rented, affordable rented and intermediate housing.

Ancient Woodlands: These are defined as areas where there is believed to have been continuous woodland cover since at least 1600 AD. It can include both ancient semi natural and ancient replanted woodlands. They are irreplaceable habitats.

Appropriate Assessment (AA): Under the Habitat Regulations Assessment, stakeholders such as developers/ Local Authorities are required to undertake this assessment when a plan or project is likely to have an impact on any European Environmental conservation designations (i.e., Natura 2000 sites consisting of Special Protected Areas of Conservation, Special Protected Areas, etc.). The overall aim of this assessment is to demonstrate that the plan/ project will not have an adverse impact on the integrity of the environmental designation. Alternatively, the AA will need to demonstrate why the proposed project/ plan is in the overriding public interest and the compensatory measures that will be taken to ensure the overall coherence of the Natura 2000 sites is protected.

Biodiversity: The variety of plants, animals and other living things in a particular area or region. It encompasses habitat diversity, species diversity and genetic diversity.

Blue infrastructure; refers to water elements such as rivers, streams, canals, ponds, wetlands and floodplains.

Brownfield Land: See definition for Previously Developed Land.

Carbon Footprint: The amount of greenhouse gas produced in daily life through the burning of fossil fuels.

Community Infrastructure Levy (C.I.L): This allows Local Authorities to raise funds from developers undertaking new building projects in their area. This is used to fund a wide range of infrastructure (i.e., transport schemes, schools, etc.) that are needed to support the development of their area.

Connectivity: The linkages that exist between key locations.

Developer Contributions: Contributions made by a developer to remedy the impact of development, either by paying money for work to be carried out or by directly providing facilities or works either on or off-site.

Development Plan Document (DPD): These are planning documents forming part of the Local Development Framework (LDF) and which have a status of being part of the development plan. In order to acquire this status, they will be subject to independent scrutiny through a public examination. Certain documents within the LDF must be DPDs, for example a Core Strategy, Site Specific Allocations of land and Area Action Plan where produced. There must also be an adopted Policies Map which may be

varied as successive DPDs are adopted. Current Local Planning Regulations no longer use the term DPD and refer to Local Plans instead.

Dwelling: A self-contained building or part of a building used as a residential accommodation, and usually housing a single household. A dwelling may be a house, bungalow, flat, maisonette or residentially converted farm building.

Evidence Base: The information and data gathered to justify the policy approach set out in the Neighbourhood Plan including physical, economic, and social characteristics of an area. It consists of consultation responses and the finding of technical studies.

Greenfield Land: Land which has not previously been developed, including land in agriculture or forestry and land in built up areas used for outdoor sport and recreation (including public and private open space and allotments).

Green Infrastructure: A strategically planned and delivered network of high quality green spaces and other environmental features. It is designed and managed as a multifunctional resource capable of delivering a wide range of environmental and quality of life benefits for local communities. Green Infrastructure includes parks, open spaces, playing fields, woodlands, allotments and private gardens.

Infrastructure Delivery Plan (IDP): The IDP identifies the necessary social, physical and green infrastructure required to support the new development proposed in the Joint Core Strategy for West Northamptonshire up to 2029. The document will be subject to monitoring and regular review.

Listed Building: a building listed because of its special architectural or historic interest considered to be of national importance and therefore worth protecting and listed on the statutory list of 'buildings of special architectural or historic interest'.

Local Plan: The plan for the future development of the local area, drawn up by the local planning authority in consultation with the community. In law this is described as the development plan documents adopted under the Planning and Compulsory Purchase Act 2004. Current Core Strategies and other planning policies which under the Regulations would be considered to be development plan documents, form part of the Local Plan. The term includes old policies which have been saved under the 2004 Act.

Localism Act: This is an Act of Parliament that changes the powers of local government in England. The Act includes provisions for local government finance, town and country planning, the Community Infrastructure Levy and the authorisation of nationally significant infrastructure projects.

Mode: The type of transport being used for a journey.

National Planning Policy Framework (NPPF): This document sets out the Government's planning policies for England and how these are expected to be applied. It provides a framework within which local people and their accountable councils can produce their own distinctive local and neighbourhood plans, which reflect the needs and priorities of their communities.

Assets of Local Historic Value: buildings, monuments, sites, places, areas or landscapes identified by plan-making bodies as having a degree of heritage significance meriting consideration in planning decisions, but which do not meet the criteria for designated heritage assets, such as Listed Buildings.

Parish Plans: Are prepared by Parish Councils and other local community groups and set out a vision for their local area and usually include an action plan of how to achieve the vision. Parish Plans can be used to inform the development of planning policy at the local level.

Physical Infrastructure: Includes existing and future development required to support utilities, transport and waste management.

Previously Developed Land (PDL): Land which is or was occupied by a permanent structure (excluding agricultural and forestry buildings) and associated fixed surface infrastructure, including the curtilage of (land attached to) buildings. It includes defence buildings and land used for mineral or waste extraction when there is no requirement for subsequent restoration. Land in built up areas such as private residential gardens, parks, recreation grounds and allotments are not considered as PDL. PDL is still commonly referred to as brownfield land.

Public Realm: Areas available for everyone to use, including streets, squares and parks.

Section 106 Agreement/ Contribution: Refers to Section 106 of the Town and Country Planning Act 1990 and is a legally binding agreement or planning obligation with a landowner in association with the granting of planning permission. These agreements are a way of delivering or addressing matters that are necessary to make a development acceptable in planning terms. They are increasingly used to support the provision of services and infrastructure, such as highways, recreational facilities, education, health and affordable housing.

Site of Special Scientific Interest (SSSI): A site or area designated as being important due to its wildlife plants or flowers and/ or unusual or typical geological features. SSSIs are identified by Natural England and have protected status under Wildlife and Countryside Act 1981.

Social Infrastructure: Includes education, healthcare, sports facilities, cultural and community facilities.

Strategic Environment Assessment: A generic term used to describe environmental assessment as applied to policies, plans and programmes. The European 'SEA Directive' (2001/42/EC) requires a formal 'environmental assessment of certain plans and programmes, including those in the field of planning and land use.

Supplementary Planning Document (SPD): Provides additional guidance on matters covered by a DPD/ Local Plan. They will be an important consideration in determining planning applications.

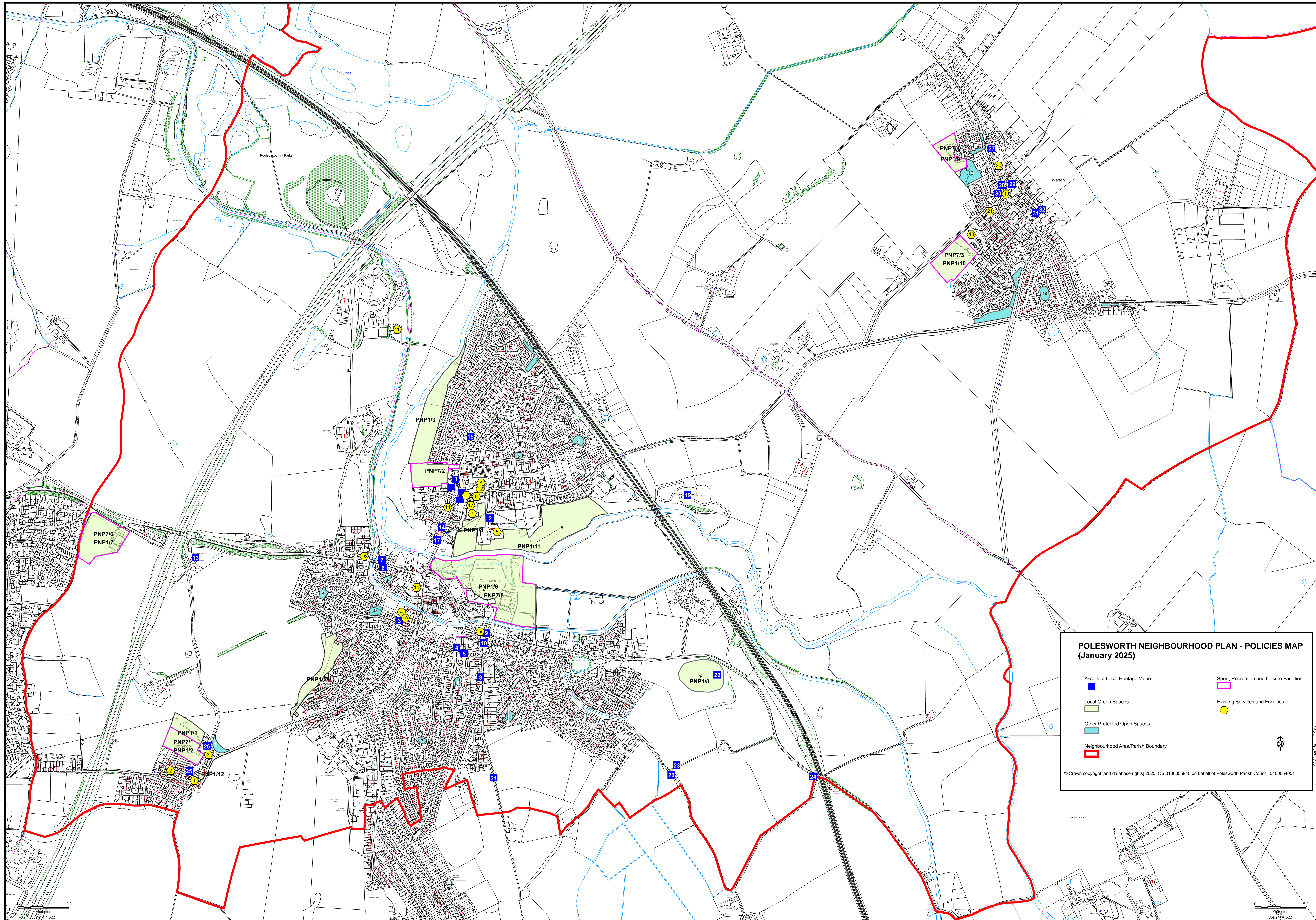
Sustainable Development: Development which meets the needs of the present, without compromising the ability of future generations to meet their own needs.

Topography: The gradient and variations in height within a landscape.

Wildlife corridors: Areas of habitat that connect wildlife populations.



POLESWORTH PARISH NEIGHBOURHOOD PLAN



POLESWORTH NEIGHBOURHOOD PLAN - POLICIES MAP (January 2025)

Assets of Local Heritage Value	Sport, Recreation and Leisure Facilities
Local Green Spaces	Existing Services and Facilities
Other Protected Open Spaces	
Neighbourhood Area/Parish Boundary	

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Agenda Item No 6

Planning and Development Board

3 February 2025

Planning Applications

Report of the Head of Development Control

1 Subject

- 1.1 Town and Country Planning Act 1990 – applications presented for determination.

2 Purpose of Report

- 2.1 This report presents for the Board decision, a number of planning, listed building, advertisement, proposals, together with proposals for the works to, or the felling of trees covered by a Preservation Order and other miscellaneous items.
- 2.2 Minerals and Waste applications are determined by the County Council. Developments by Government Bodies and Statutory Undertakers are also determined by others. The recommendations in these cases are consultation responses to those bodies.
- 2.3 The proposals presented for decision are set out in the index at the front of the attached report.
- 2.4 Significant Applications are presented first, followed in succession by General Development Applications; the Council's own development proposals; and finally Minerals and Waste Disposal Applications.

3 Implications

- 3.1 Should there be any implications in respect of:

Finance; Crime and Disorder; Sustainability; Human Rights Act; or other relevant legislation, associated with a particular application then that issue will be covered either in the body of the report, or if raised at the meeting, in discussion.

4 Site Visits

- 4.1 Members are encouraged to view sites in advance of the Board Meeting. Most can be seen from public land. They should however not enter private land. If they would like to see the plans whilst on site, then they should always contact the Case Officer who will accompany them. Formal site visits can only be agreed by the Board and reasons for the request for such a visit need to be given.
- 4.2 Members are reminded of the "Planning Protocol for Members and Officers dealing with Planning Matters", in respect of Site Visits, whether they see a site alone, or as part of a Board visit.

5 **Availability**

- 5.1 The report is made available to press and public at least five working days before the meeting is held in accordance with statutory requirements. It is also possible to view the papers on the Council's web site: www.northwarks.gov.uk.
- 5.2 The next meeting at which planning applications will be considered following this meeting, is due to be held on Monday, 3 March 2025 at 6.30pm in the Council Chamber

6 **Public Speaking**

- 6.1 Information relating to public speaking at Planning and Development Board meetings can be found at:
https://www.northwarks.gov.uk/info/20117/meetings_and_minutes/1275/speaking_and_questions_at_meetings/3.

Planning Applications – Index

Item No	Application No	Page No	Description	General / Significant
6/a	PAP/2023/0386	1	<p>The Rectory, Rectory Farm Estate, Main Road, Baxterley, Atherstone, CV9 2LW</p> <p>Retrospective consent for horse & pony livery, replacement stables buildings and paddock fencing</p>	General
6/b	PAP/2024/0577	12	<p>Land North Of Park Lane Farm, Park Lane, Astley,</p> <p>Proposed extension to the consented Astley Gorse Solar Farm (PAP/2021/0651) to include ground mounted solar PV panels, ancillary infrastructure and equipment, landscaping and access arrangement</p>	General
6/c	PAP/2024/0575	25	<p>Land Adjacent to Coleshill Manor, Off South Drive, Coleshill, B46 1DF</p> <p>Variation of planning conditions 2, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13, 14, 17 and 20 attached to planning permission PAP/2019/0701 dated 11 August 2020 [which grants full planning permission for the erection and operation of a landmark structure, with associated visitor centre and public open space (D2), together with ancillary essential development including dedicated car parking, landscaping, access road and services provisions (mixed use including D1, A1, A3, A4 and B1 facilities) to operate as a national memorial and to create a significant public art architectural feature] to reflect design amendments to scheme and associated works</p>	
6/d	PAP/2024/0582	50	<p>Land 230 Metres West Of Marston Fields Farm, Kingsbury Road, Lea Marston, Warwickshire,</p> <p>Installation of a Battery Energy Storage System (BESS) plus ancillary infrastructure and equipment, landscaping, biodiversity improvements and access</p>	

6/e	PAP/2024/0586	60	<p>Land 400 Metres West Of Camp Farm, Knowle Hill, Hurley, Warwickshire,</p> <p>The installation of a solar farm of up to 49.9 MW of generating capacity, comprising the installation of solar photovoltaic panels and associated infrastructure including substation, cabling, inverter and transformer substations, spare part container, associated battery storage, access tracks, fencing, security cameras, landscape planting, areas for Biodiversity Net Gain and associated works</p>	
6/f	PAP/2024/0453	73	<p>Lynwyn, Botts Green Lane, Over Whitacre</p> <p>Regularisation of the existing incidental outbuilding and replace roof structure to existing garages and store with higher roof structure</p>	
6/g	PAP/2018/0686	84	<p>Kingsbury Hall, Coventry Road, Kingsbury</p> <p>Hybrid planning application comprising: i) Full planning application for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 Use Classes; Outline planning application (all matters reserved except access) for a high dependency care centre (Use Class C2), assisted living accommodation (Use Class C2) and dwellings for the over-55's (Use Class C3),</p>	
6/h	PAP/2024/0546	176	<p>Wood End Recreation Ground, Smith Street, Wood End</p> <p>Notification for tree works to TPO protected Oak tree to the rear of 45 to 47 Pinewood Avenue</p>	
6/i	CON/2025/0003	179	<p>A46 Walsgrave Junction, Coventry</p> <p>Application for a Development Consent Order to upgrade the existing A46 Walsgrave Junction to the east of Coventry</p>	

6/j	PAP/2024/0513 and PAP/2024/0514	185	Trent House, 102 Long Street, Atherstone, CV9 1AN Planning and Listed Building applications for the demolition of existing outbuildings for the provision of six new build dwellings along with change of use of existing Listed commercial premises for the provision of fourteen flats	
6/k	PAP/2022/0423	250	Land to the south of Watling Street, Caldecote, CV10 0TS Outline planning permission for extension to MIRA Technology Park to comprise employment use (Class B2), associated office and service uses (Class E (g)), storage (Class B8), new spine road, car parking, landscaping and enabling work	
6/l	PAP/2023/0071	326	Land 800 metres south of Park House Farm, Meriden Road, Fillongley Construction of a temporary Solar Farm, to include the installation of ground-mounted solar panel together with associated works, equipment and necessary infrastructure	

General Development Applications

(6/a) Application No: PAP/2023/0386

The Rectory, Rectory Farm Estate, Main Road, Baxterley, Atherstone, CV9 2LW

Retrospective consent for horse & pony livery, replacement stables buildings and paddock fencing, for

Mr and Mrs Hart

1. Introduction

1.1 This application is referred to the Board as the recommendation does not align with the response from the Warwickshire County Council as Highway Authority.

2. The Site

2.1 This site extends to almost 12 hectares of land on the south side of Main Road in Baxterley a little to the west of the main village and concentrated around a cluster of residential properties at The Rectory. The site can be seen as two “parcels” – one and by far the largest extends south and west of these houses, whereas the second and much smaller one is to the east. They are separated by an existing access serving the larger parcel, land beyond and the houses. There is a second access off Main Road serving the second parcel.

2.2 The overall location is shown on **Appendix A**.

2.3 The smaller parcel of land comprises a block of some 9/10 stables and a car parking area.

2.4 The larger parcel is a flat open area which has been divided up into a series of much smaller paddocks together with a menage and two buildings – stables and a hay store – accessed by a new replacement crushed stone track.

3. Background

3.1 Planning permission was granted in 2013 for the use of the smaller parcel of land referred to above for an extension to an existing stable building and retention of a new access, fences and gravel hard-standings. This permission was retrospective and subsequently a number of conditions were discharged. The access referred to was later amended with the Highway Authority’s support and it is now the access that is in place. This 2013 permission was conditioned for the private use by the applicant alone and not for any commercial purpose. Flood lighting was also prevented by condition.

3.2 Recent enforcement investigations revealed that the stables had been enlarged again and that they were in use for “livery” purposes. It would appear from the evidence gained that the livery use commenced soon after the date of the 2013 planning permission and thus may well benefit from a lawful use. Additionally, the larger parcel of land as mentioned above was in use in connection with that livery use and a new block of stables together with a new hay store had been erected as replacement

buildings. Much of this parcel has also been divided up through new wooden fences and the new replacement track added.

3.3 The current application has been submitted in order to seek retrospective permission for retention of the above.

4. The Proposals

4.1 This is mainly a retrospective application to regularise the commercial livery of some of the existing stables on the site, together with the retention of the two replacement buildings for private use and the erection of post and rail fencing separating individual paddocks and the track. It also includes the construction of a new retaining garden wall along the access road off Main Road.

4.2 The attached plan at **Appendix B** illustrates these features – the two new buildings, the fencing and the location of the proposed wall. The division of the land for paddocks is shown on the larger parcel along with the track is at **Appendix C**.

4.3 A drawing of the new stable building is at **Appendix D** and one of the new hay-store is at Appendix E.

4.4 The extended stables from the original 2013 permission is at Appendix F

5. Development Plan

The North Warwickshire Local Plan 2021 - LP16 (Natural Environment); LP29 (Development Considerations). LP30 (Built Form) and LP34 (Parking)

6. Other Relevant Material Considerations

National Planning Policy Framework 2024 – (the “NPPF”)

7. Consultations

Environmental Health Officer – No comments.

Warwickshire County Council as Highway Authority – It objects as the livery use may well increase use of the existing access, thus requiring improvements.

8. Representations

Baxterley Parish Council – No response received.

A local resident objects referring to:

- flood lighting.
- loss of privacy and noise pollution.
- surface water flooding from the original access road.
- animal welfare and cross contamination.

9. Observations

9.1 The site is not in the Green Belt and outside of any settlement. The principle of equine use and associated buildings and infrastructure is thus appropriate in this rural location.

9.2 Dealing first with the replacement buildings, then these are on the same footprint as the former structures and in terms of use they are like for like. The size of both of them is not materially greater than the former buildings and they have been constructed in appropriate materials – timber cladding with green metal roof sheeting. Similarly, the wooden paddock fencing is appropriate as is the new track. The representations do not refer to these buildings. As such there is no objection to their retention.

9.3 There is neither an objection to the proposed new wall. This in fact is a small retaining wall to be built into the existing green bank here so as to improve stability and also to improve drainage as the ground water from the bank does discharge onto the access here.

9.4 The 2013 permission increased the number of stables from 4 to 7 on the smaller parcel of land and these were initially used for the private use of the then owner of the property. Some “renting” out of the stables occurred shortly afterwards, but these ceased when the current owner acquired the site. However, a livery use was then established using the seven stables. The buildings were further extended but for hay stores and tack rooms and the car park extended so as to provide ten spaces.

9.5 There is no objection to the further building works here or to the extended car park. Similarly, there is no objection in principle to the livery use in this rural area. Added weight is given to this conclusion because of the evidence collected by enforcement officers suggesting that a livery use here may well be lawful, meeting the ten-year time requirement. The evidence is letters from people who have day-to-day knowledge of the use of the site since 2014. The main issues are the potential impacts. The site and a lot of the surrounding land is already in equestrian use and neighbouring properties also have stables. Additionally, a public right of way passes through the site. It is not considered that the current proposal – which seeks retention – materially causes noise or disturbance beyond that which would be reasonably associated with the predominance of equestrian activity in the immediate and surrounding area.

9.6 There is an objection from the Highway Authority based on potential intensification of use of the existing access to the smaller parcel of land. However, this has been designed and implemented based on there being seven stables here and the car parking provision has been provided which also includes space for horse boxes. Private use of seven stables will generate daily traffic, particularly as staff were known to have been employed. A livery use will also lead to daily attendance, but this is very unlikely to involve the daily use of trailers or horse boxes, which is the main concern of the Highway Authority. Moreover, the proposal does not include increasing the number of stables or horses at the site, and planning conditions can be imposed to limit the use. Additionally, there is a “fall-back” position here of the very likely lawful use of the land for livery purposes. It is in all of these circumstances, that it is considered that the concerns of the Highway Authority, although understood, should not attract full weight given the content of the NPPF on potential highway refusals – there has to be a “unacceptable impact on highway safety”, or the residual impact on the local road

network, after mitigation, has be “severe”. Moreover, planning conditions can be imposed.

9.7 By ensuring that the livery stables are limited to the original 2013 stable block and that they use the previously approved entrance and car park, would separate the livery use from the private stables elsewhere on the site. The paddocks to be used for livery are also clearly identified on the “use” plan and there is a ‘pedestrian’ access from the livery stables to the paddocks.

RECOMMENDATION

That planning permission be **GRANTED** subject to the following conditions:

1. The development hereby approved shall not be carried out otherwise than in accordance with the plan numbered 77201, 77202, 77203, 77204, 77205 and 77207, together with the Supporting Planning Statement, all as received by the Local Planning Authority on 16 August 2024.

REASON

To ensure that the development is carried out strictly in accordance with the approved plans.

2. The new retaining wall alongside the access road shall be constructed in semi-engineering brickwork that follows the slope of the access road, with a brick coping and incorporate drainage to minimise localised surface water flooding.

REASON

In the interests of the amenities of the area and the building concerned.

3. Only the stables and paddocks identified as Livery on the plan numbered 77206 shall be used for commercial livery purposes and no other stable or paddock shall be used for this purpose at any time.

REASON

In the interest of amenity of the site and of adjacent neighbours and to limit the extent of the commercial livery on the site.

4. Only the stables identified on the plan numbered 77205 shall be used for commercial livery. There shall be a maximum of four separate owners of the livery stables. The vehicles associated with the livery shall only park in the associated car park, and shall not park on any other part of the site.

REASON

To prevent intensification of the use and in the interest of highway safety.

5. No external lighting, other than the provision of downlight, low energy LED lighting installed on the stable block shall be paced or erected on the site without details first having been submitted to and approved in writing by the Local Planning Authority. The low level lighting shall only be operational between 1600 and 1900 hours on any one day..

REASON

In the interest of amenity and to protect the dark skies characteristic of the rural location.

6. There shall be no vehicular access made to the livery stables between the hours of 2100 and 0700 Monday to Sunday inclusive.

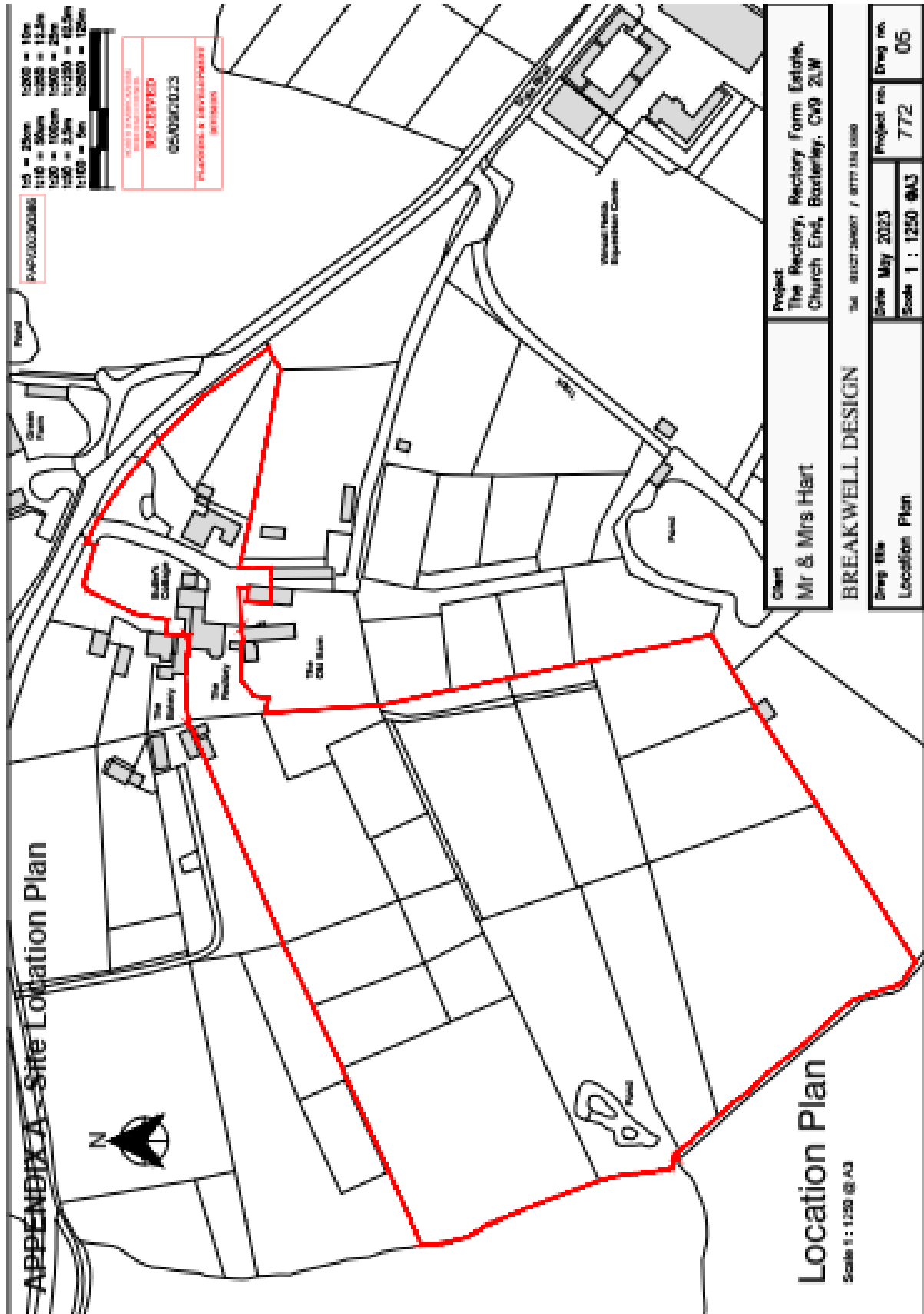
REASON

In the interest of the amenity of neighbours.

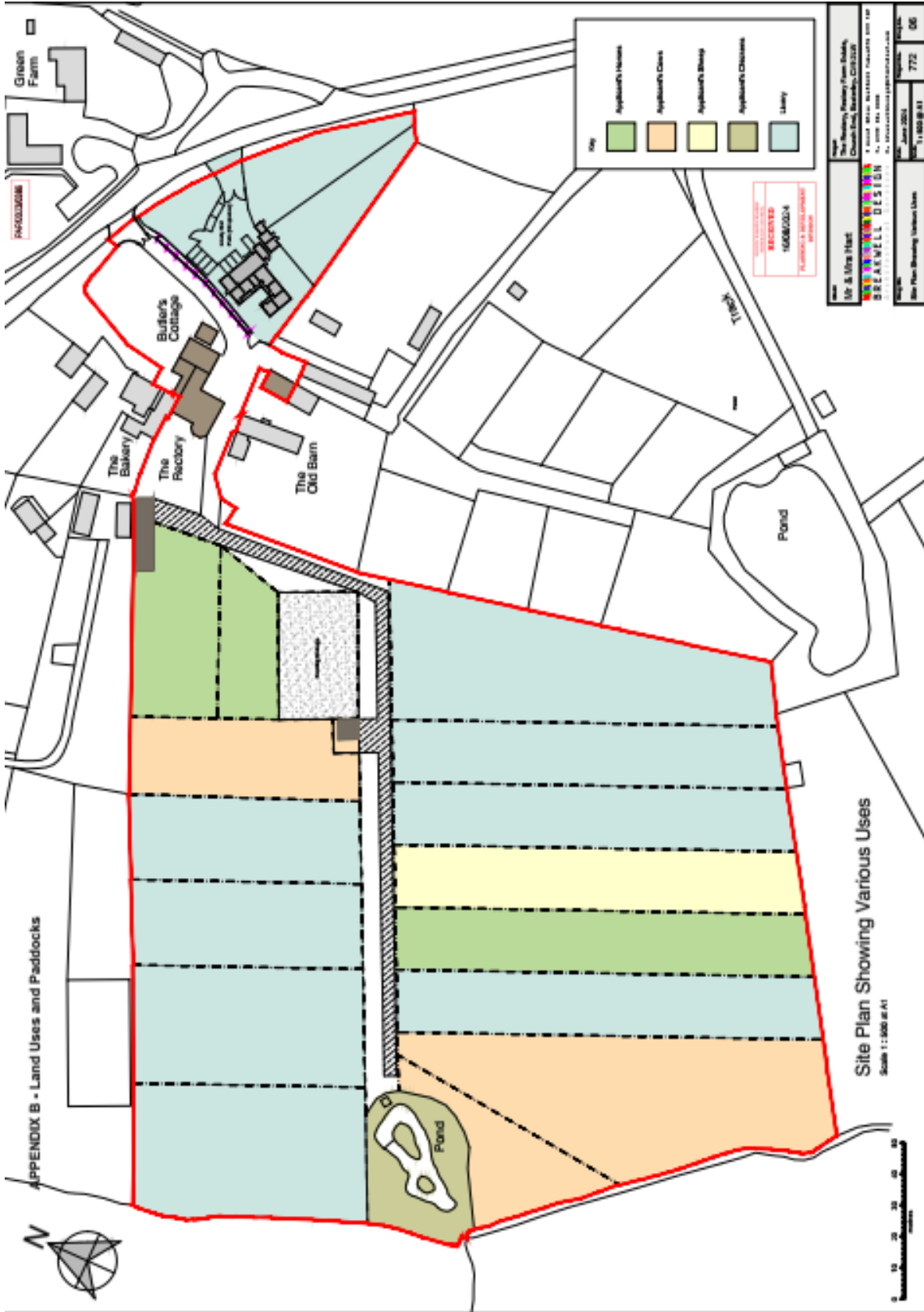
Notes

1. This permission does not convey any legal or civil right to undertake works that affect land or premises outside of the applicant's control. Care should be taken upon commencement and during the course of building operations to ensure that no part of the development, including the foundations, eaves and roof overhang will encroach on, under or over adjoining land without the consent of the adjoining land owner. This planning permission does not authorise the carrying out of any works on neighbouring land, or access onto it, without the consent of the owners of that land. You would be advised to contact them prior to the commencement of work.
2. The developer is reminded that the Control of Pollution Act 1974 restricts the carrying out of construction activities that are likely to cause nuisance or disturbance to others to be limited to the hours of 08:00 to 18:00 Monday to Friday and 08:00 to 13:00 on Saturdays, with no working of this type permitted on Sundays or Bank Holidays. The Control of Pollution Act 1974 is enforced by Environmental Health.
3. A public footpath passes close to the site. Care should be taken, particularly during construction works, to ensure that this route is kept open at all times. This permission does not authorise the diversion of any public footpath in the area of the application site. Before any construction works across the line of the footpath are commenced, steps must be taken to secure the diversion of the footpath and to ensure that such a route is passable before the old route is obstructed. The Assistant Director (Regulatory) can advise in this matter.
4. In dealing with this application, the Local Planning Authority has worked with the applicant in a positive and proactive manner through suggesting amendments to improve the quality of the proposal. As such it is considered that the Council has implemented the requirement set out in paragraph 39 of the National Planning Policy Framework.

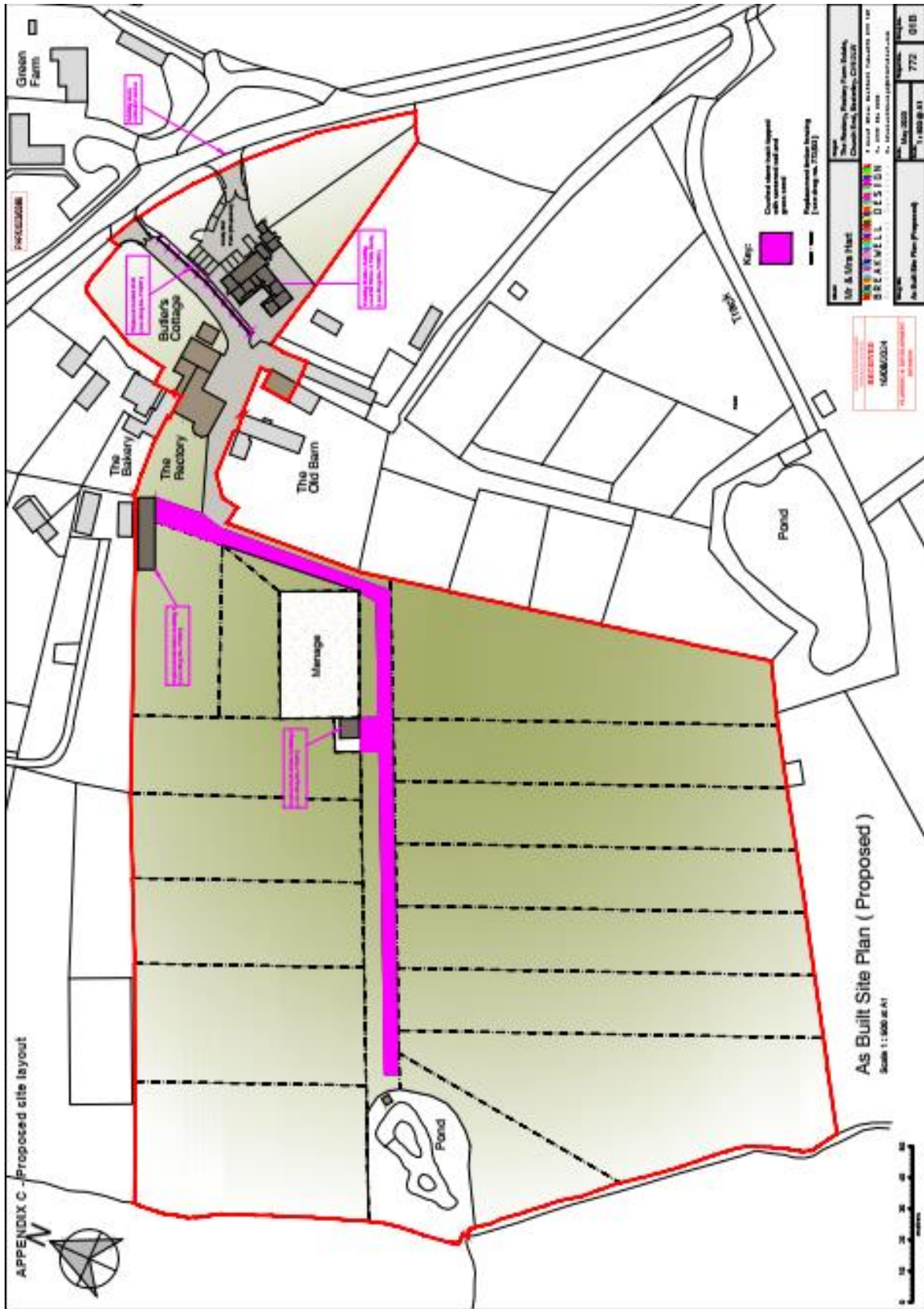
APPENDIX A – Site Location Plan

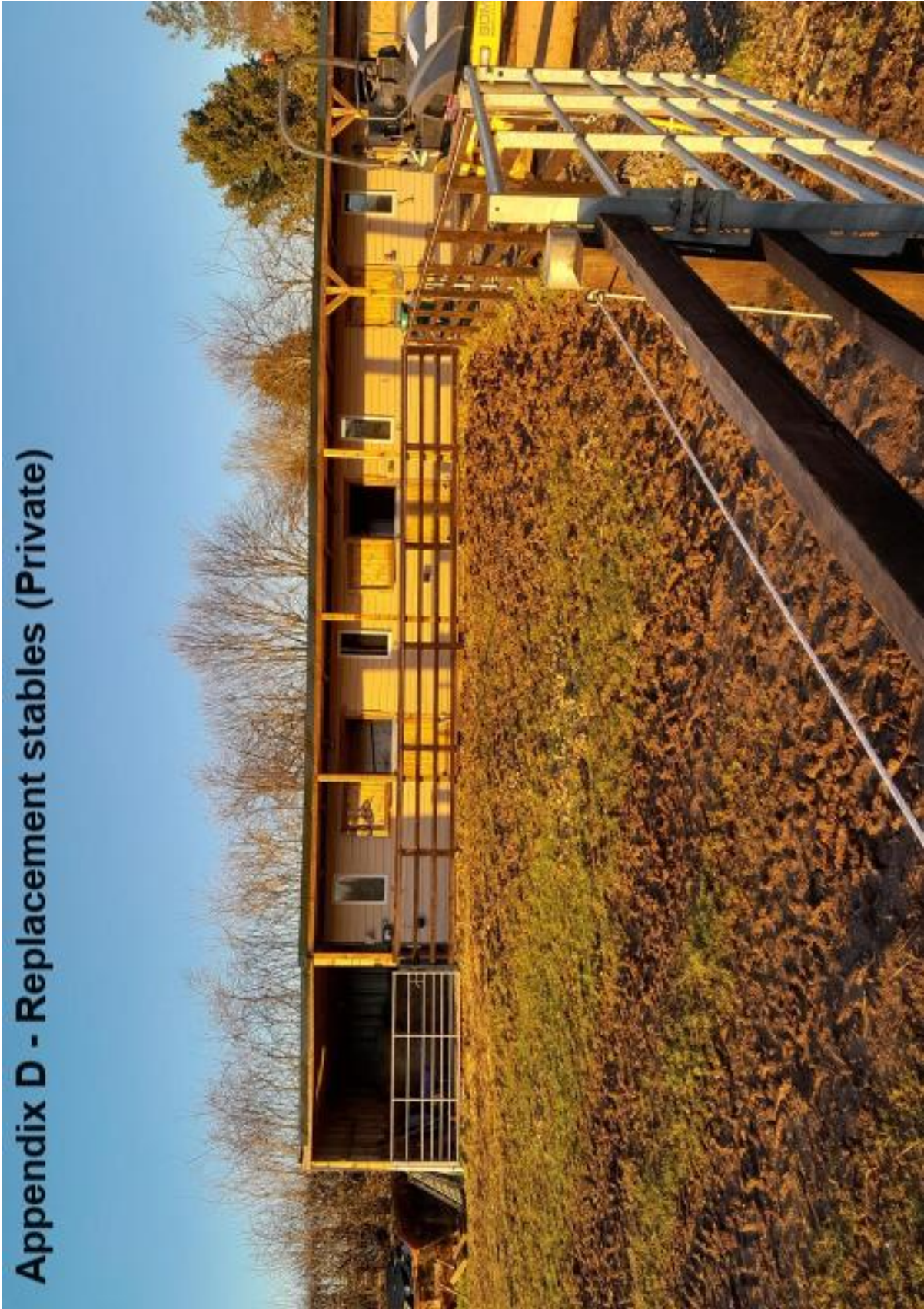


APPENDIX B – Land Uses and Paddocks



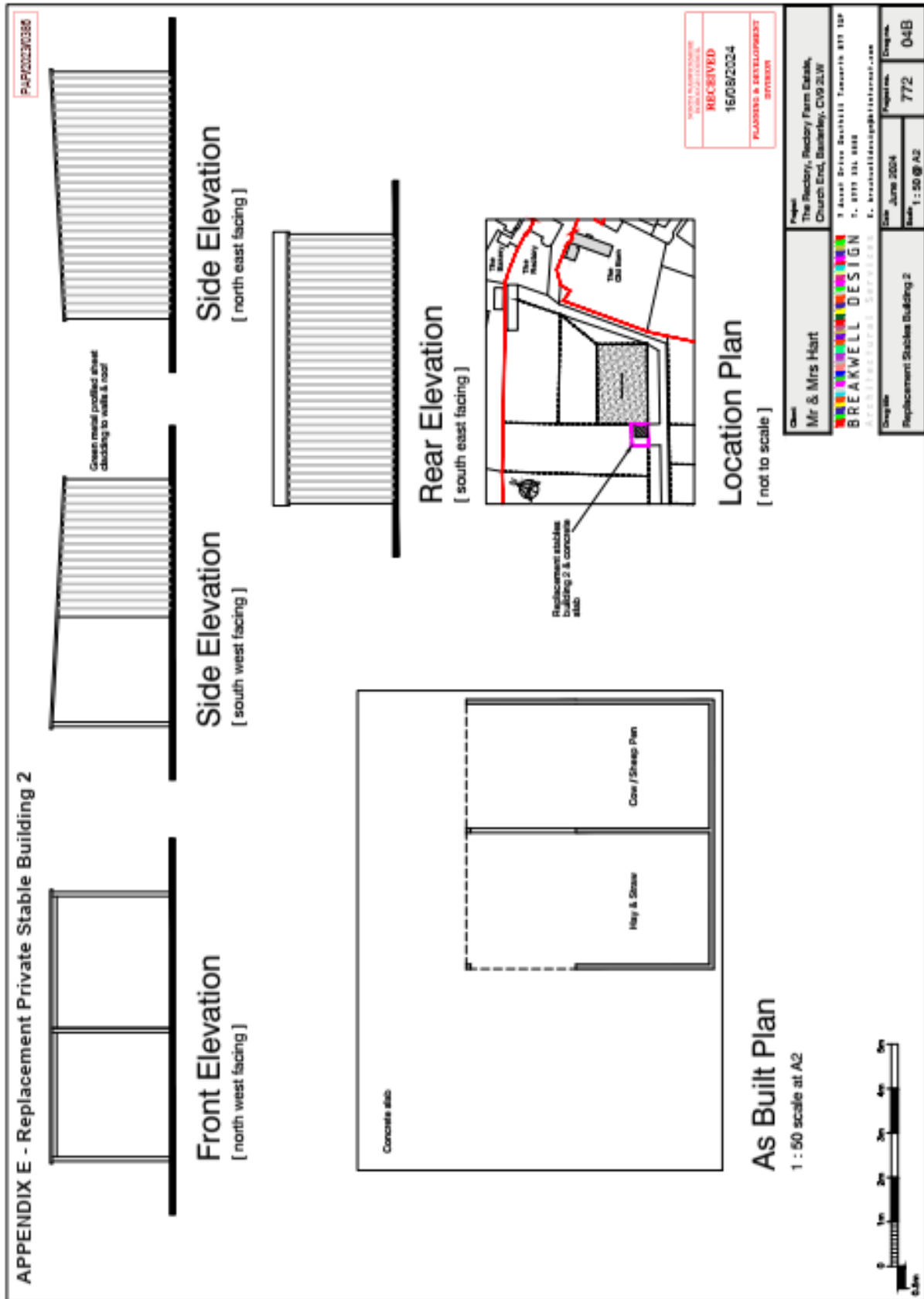
APPENDIX C – Proposed Site Layout



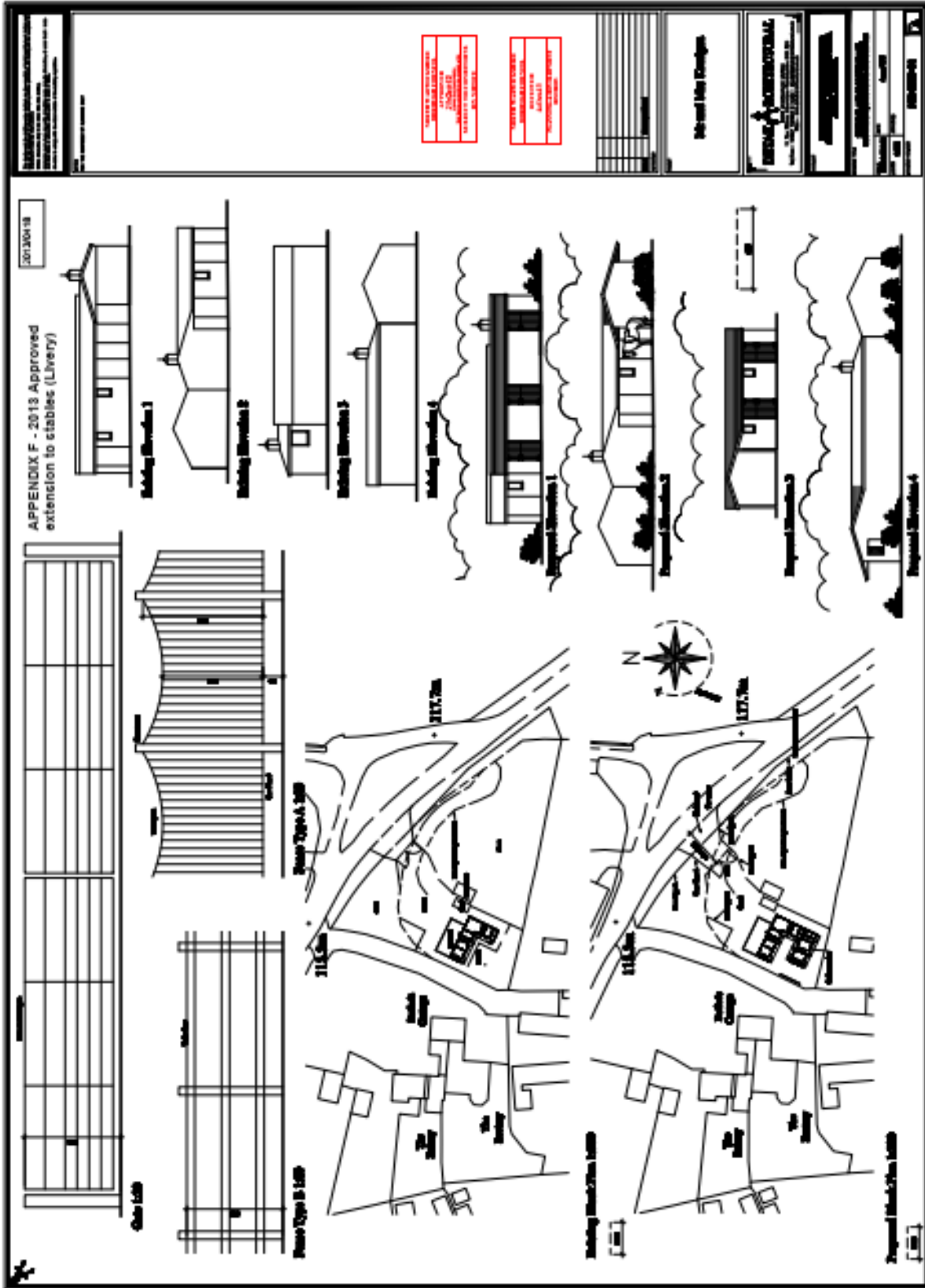


Appendix D - Replacement stables (Private)

APPENDIX E – Replacement Private Stable Building 2



APPENDIX F – 2013 Approved extension to stables (now used as Livery)



General Development Applications

(6/b) Application No: PAP/2024/0577

Land North Of Park Lane Farm, Park Lane, Astley,

Proposed extension to the consented Astley Gorse Solar Farm (PAP/2021/0651) to include ground mounted solar PV panels, ancillary infrastructure and equipment, landscaping and access arrangements, for

- AGE Solar Limited

1. Introduction

- 1.1 The receipt of this application is reported to the Board for information and a determination report will be brought to the Board in due course.
- 1.2 As the development is inappropriate development in the Green Belt, the Board is advised that should it be minded to support the proposal, the matter would need to be referred to the Secretary of State under the 2024 Direction as a consequence of it being "Green Belt" development as defined by that Direction.
- 1.3 An Environmental Impact Screening Opinion concluded that the proposal would not need an accompanying Environmental Statement, as it was not likely to result in significant environmental effects.

2. The Site

- 2.1 The site is 33.5 hectares in extent comprising four arable fields to the east of the built-up edge of New Arley beyond three woodlands known as Astley Gorse, Gorse Spinney and Gorse Wood. The fields are bounded by well-defined existing hedgerows and ditches with isolated hedgerow trees together with small clumps of trees set around two ponds within the centre of two of the fields. There is open agricultural land to the east extending to Nuthurst Lane, as well as to the south extending to Park Lane. The surrounding land has an open rural setting. The site slopes slightly towards the south-east aligning with the general topography here giving a height difference of around 27 metres over the site.
- 2.2 The built-up edge of New Arley at Sycamore Crescent is around 140 metres from the western boundary and Astley is some 170 metres from the south-east boundary. There is collection of properties at Hill Top in Arley, 300 metres to the north-west and two private residential properties at Church Farm off Nuthurst Lane some 250 metres to the east and at Fitzroy Farm some 260 metres to the east also off this Lane. The nearest dwellings to the south are scattered residences along Park Lane some 900 metres distant.
- 2.3 Overhead electricity cables cross the southern portion of the site.

2.4 A public footpath the M342 is routed through the centre of the site running from Astley up to Gorse Spinney and into Arley. Another footpath runs alongside the western side of Astley Gorse – the M341.

2.5 A location plan is at **Appendix A**.

3. The Proposals

3.1 As described above, this is for a solar farm comprising solar PV panels and its associated infrastructure to be present for a 40-year period. The area covered by the panels would amount to just over 70% of the application site and they would generate some 30MW of electricity - said to supply some 7000 homes. The panels would face south and they would be some 2.9 metres off ground level at their higher edge, have a distance of 5.75 metres between each row and be fixed to the ground by pole-driven posts. Associated infrastructure would include four inverter/transformer stations – housed within metal containers which would sit on a concrete pad and measure 6 by 2.5 metres with a height of 3 metres. They would be located within the centre of the panel arrays. Each array would connect via underground cables to a private switchgear station at the southern end of the site. This would measure 2 by 2 metres and be 2.6 metres tall. This would then connect to the local electrical distribution network using the 33kv overhead lines within the site, via a DNO substation. This sub-station would be a brick and tile construction measuring 6.7 by 6.2 metres and 5.5 metres tall. A spares/maintenance storage building would also be needed, again comprising a steel container measuring 2 by 2.5 metres and 2.6 metres tall.

3.2 Two metre tall, deer proof fencing would be erected around the perimeter of the site comprising wooden fence poles and galvanised fences with gates. These would enclose the panel arrays in each field. CCTV cameras would be placed on poles at 4 metres off the ground, some 50 metres apart. No security lighting is proposed.

3.3 Construction traffic would utilise an existing farm track off Nuthurst Lane whose entrance is to be improved. This would lead to the south-western corner of the site where the DNO substation is to be located. Construction is expected to last for 30 weeks with operational working hours of 0800 to 1800 on weekdays and 0800 to 1300 on Saturdays. It is anticipated that during construction, three HGV movements would access the site each day – six two-way movements. Routing would be via Junction 3 of the M6, the A444 to Newton Road/Heath Road and Smorral Lane/Astley Lane.

3.4 Landscaping proposals include enhancing the existing field hedgerow boundaries and retention of existing trees together with additional structural planting.

3.5 The proposals are said to provide a 25% gain in habitat units, a 14% hedgerow gain and a 16% watercourse gain.

- 3.6 An overall layout plan is at **Appendix B** with **Appendices C to F** illustrating the proposed buildings and panels.
- 3.7 Several Documents also accompany the application.
- 3.8 A Noise Impact Assessment in respect of five Noise Sensitive Receptors (“NSR’s”), being residential property at the end of Sycamore Crescent in New Arley; two of the closest properties at Hill Top in New Arley at Church Farm and Fitzroy Farm on Nuthurst Lane has been submitted. Background noise levels were taken at these locations over a ten-day period with a general description being of road traffic, rustling trees, bird song as well as the use of the Gun Hill Recreation Ground. The predicted noise impact of the proposal in full operation has concluded that there would be no impact at night or day times and the proposed development would thus conform to British Standards as well as to the requirements as set out in the NPPF.
- 3.9 A Glint and Glare Assessment has been undertaken. This looked at ground-based receptors such as roads, rail and residential dwellings within a kilometre distance from the site as well as aviation assets at Birmingham and Coventry. The conclusion is that without the existing hedgerow that runs along the site’s eastern boundary being infilled, strengthened and allowed to grow to three metres, there would be four residential receptors that would perceive an impact - these are at properties in Astley that face Nuthurst Lane and occupiers at Fitzroy Farm. However, there would be no impacts for road users and none affecting air travel.
- 3.10 An Arboricultural Survey found that some 70 of the combined 113 individual trees, groups of trees, hedgerows and wooded areas on and around the site were of high and moderate quality – some 60%. There are no Ancient Woodlands on or adjacent to the site and neither are there Veteran trees present or any trees protected by Order. No trees are in fact proposed for removal, however small lengths of hedgerow will require removal in order to implement the development. The Assessment concludes that the overall impact would be minimal with proposed new planting mitigating any minor loss.
- 3.11 An Agricultural Land Classification shows that it comprises of 15% Grade Two land, 23% of Grade 3a and 58% Grade 3b and the remainder being classed as non-agricultural land –i.e. the ponds and woodlands. It also outlines the benefit of allowing the soils to improve through being allowed to “rest”. In this case the fields would be grazed. It concludes that being a reversible development on predominantly Grade 3b land (58%), the proposal would not significantly harm national agricultural interests and thus align with NPPF guidance.
- 3.12 An Ecological Impact Assessment is submitted. It identifies the presence of a European Site at Ensors Pool some 4.4km from the site and an SSSI at Hoar Park Wood some 3.7 km from the site, but no impacts are considered likely due to separation distances and the very limited transboundary effects of solar farm operations. There are two Local Wildlife sites within a kilometre of the site – The

Ansley Cutting and Dafferns Wood – with potential wildlife sites within the same distance – the closest being Astley Castle and Astley Pool. Much of the site itself comprises arable land for cereal and non-cereal crops with negligible ecological value. The most valuable areas are the hedgerows and the ponds with their perimeter trees. The ponds have been investigated, but no traces of Great Crested Newts were found. No badger setts were found on the site, but badger activity was noted. The hedgerows provide opportunities for bat foraging, but no roosts were found on site. The overall assessment is that the ecological value of the site is low and of local value. Proposals to raise the bio-diversity value include 0.5km of new hedgerows; 3 hectares of species rich grassland at the site margins and the creation of 29 hectares of pastural grassland under the panel arrays. It is said that these measures would give a 25% gain in habitat units and a 14% hedgerow gain.

- 3.13 A Flood Risk Assessment shows that the whole site is in Flood Zone One – the one at lowest fluvial flooding risk. Small watercourses cross or bound the site flowing south-eastwards to join a larger water course which at some 0.75km from the site is in Flood Zone 2, but that land is some 10 metres lower than the site and the Assessment discounts this in its conclusions. The Environment Agency's surface water flooding maps show that the majority of the site has a very low risk from surface water but parts of the eastern portion of the site have a low risk with the access track having a higher risk. Any incidents are considered to relate to the boundary watercourses and the low flood risk depths are very low – between 150 to 300mm. As the panels are 0.8 metres above ground they will remain above these levels. The inverters are to be located outside of these areas. However, the DNO substation has to be located close to the point of connection to the overhead lines. The building and its compound would thus be raised around 300mm above the estimated surface water levels. Because of the infrequent need to visit the site and the fact that the access track would not be accessed by the public, the impact of any surface water flooding here is considered to be at low risk. The proposed development is considered to lead to a reduction in run-off rates because of the absence of ploughing and soil compaction, with the grassland under the arrays reducing infiltration acting as "sponge". Additionally, a number of swales are proposed along the downslope boundaries throughout the site; a gravel-filled trench would be provided around the DNO compound; the inverters would stand on granular sub-bases and all maintenance tracks will not be hard-surfaced.
- 3.14 A Heritage Assessment concludes that there is an overall low potential for below ground archaeological remains dating from before the medieval period, but a medium potential for archaeological remains from medieval times probably being either woodland or agricultural in character, but of low importance in exploring changes in the landscape during the medieval period. There is however a higher potential for below ground remains relating to post-medieval agriculture and a cluster of former dwellings in the south-east corner correlating to historic mapping for the location of Wood Cottages and for the remains of Dukes Farm which bordered the southern boundary. These remains are already recorded and thus there is likely to be no further potential for below ground remains.

- 3.15 There are no above ground designated heritage assets within the site. However, there are eight designated assets beyond the site comprising three Grade 2 star listed buildings, three grade 2 Listed Buildings, a single Ancient Monument and a Registered Park and Garden. Five of these are nucleated around the scheduled Astley Castle moated site, fish-ponds, and garden remains including the Church, the stable block, the gatehouse, curtain walls and Astley Lodge a little apart from this complex. The Registered Park is the Arbury Estate some distance to the east and there is a small sandstone monument known as the Duke of Suffolk's Monument some way to the south of the site. The applicant's assessment concludes that there would be no direct impact on the fabric of any of these assets and that any impacts on their settings would be less than substantial because of separation distances, intervening topography and vegetation as well as proposed landscaping.
- 3.16 A Landscape and Visual Impact Assessment has also been submitted. This describes the general setting is one of a generally flat open agricultural and rural nature, with significant perimeter woodlands set on a low south-east slope with a degree of traffic disturbance from the local road network. Built development includes the modern farm buildings at Fitzroy Farm and the dwelling at Church Farm a little further to the north with some parts of Astley evident beyond intervening hedgerows and trees. The Assessment therefore concludes that overall, the site and its surroundings does display compliance with the relevant Character Area described in the North Warwickshire Landscape Assessment as the "Church End to Corley – Arden Hills and Valleys". In visual terms the report concludes that there is limited public visibility, mainly from footpath and road users and that footpath users would be most affected. In overall landscape impact terms, the Assessment concludes that the change to the landscape will be reversible and planting would improve mitigation, such that there would slight to moderate adverse harm to the overall landscape character. In respect of the visual harm the overall conclusion after mitigation planting is that the impact would also be slight to moderate because of the location of the footpath through the site, but that after decommissioning the impact would be neutral.
- 3.17 A Green Belt Evaluation first looks at the impact of the proposal on the openness of the Green Belt. It is concluded that there will be some visual and spatial harm, but that because the development is reversible and can be mitigated through increased planting, the overall impact on openness is relatively neutral. It then looks at whether there is any conflict with the five purposes of including land within the Green Belt. Its overall conclusion is that it does not, but that there would be temporary conflict with the purpose that seeks to "safeguard the countryside from encroachment". The Assessment concludes that the proposal, through the introduction of new structures and buildings would amount to inappropriate development and that this, although limited, would still have to carry substantial weight. The applicant refers to potential other harms as being of limited weight evidenced by the conclusions arrived at from the above Assessments. On the other side of the planning balance, he identifies a number of planning considerations – the urgent requirement for renewable energy as

expressed through national energy policy; the need for energy security, the use of best available technology, the temporary and reversible life-span of the development, bio-diversity net gain, soil regeneration and farm diversification. He argues that the cumulative weight of these matters “clearly” outweighs the combined harms.

- 3.18 A Statement of Community Involvement describes the applicant’s approach to pre-application public consultation. It identifies a public exhibition held in Astley in September 2024; a postal notification to some 479 residential properties and 25 local businesses, posters in Astley and Arley and references on the Astley Parish Council website. There were 14 responses to the feedback and online survey forms. It is said that 12 were in favour and 2 objected. Matters raised by these returns and as expressed verbally at the exhibition related to construction traffic, site security, landscape impacts and whether it is an appropriate use of land. The proposal illustrated at pre-application stage was subsequently reduced in size as a consequence of this pre-application response. The submitted scheme as described in this report is smaller by some 6.5 hectares by removing panels from the field immediately north-east of the present site adjacent to Church Farm.
- 3.19 A Planning Statement is submitted which draws together the conclusions reached above and places them into a planning policy context referring to the Development Plan as well as to the NPPF and to National Energy Policy.

4. Background

- 4.1 Members will be aware that planning permission was granted in 2022 for the Astley Gorse solar farm immediately to the south-west of this current site using the same vehicular access onto Nuthurst Lane. Its planning reference is PAP/2021/0651. That site extended to 40 hectares and is anticipated to generate some 21MW of electricity, enough for 5100 houses.
- 4.2 The current proposal is described in much of the above documentation, as an extension to this previous permission which has not as yet been taken up.
- 4.3 Clarification with the applicant confirms that this present proposal will operate as a separate development with its own infrastructure and a different point of connection. It will however share the access track and its improvements onto Nuthurst Lane. It too, would be constructed and become operational, if permission is granted, after completion of the already consented scheme. It is described as being an “extension” because of its proximity to that consented scheme.
- 4.4 The applicant has been requested to provide a Cumulative Impact Assessment in regard of the consented site in addition to the documents outlined above.
- 4.5 The Plan at **Appendix G** illustrates the two sites together.

5. Development Plan

The North Warwickshire Local Plan 2021 – LP1 (Sustainable Development); LP3 (Green Belt), LP13 (Rural Employment), LP14 (Landscape), LP15 (Historic Environment), LP16 (Natural Environment), LP29 (Development Considerations), LP30 (Built Form), LP33 (Water Management) and LP35 (Renewable Energy)

6. Other Material Planning Considerations

The National Planning Policy Framework 2024 – (the “NNPF”)

National Planning Practice Guidance – (the “NPPG”)

Climate Change Act 2008 and the 2019 Addendum

UK Solar PV Strategy 2014

Clean Growth Strategy 2017

Energy Security Strategy 2022

UK 25 Year Environment Plan 2018

National Planning Statement for Renewable Energy – EN3 – November 2023

The North Warwickshire Landscape Character Assessment 2010

7. Observations

7.1 Members will be familiar with the planning issues involved with this type of application - it is the seventh application that has had to be determined. The key issues will be assessments of the potential landscape and visual impacts as well as understanding the impact on the openness of the Green Belt and whether it conflicts with the purposes of including land within it. As in previous cases the use of agricultural land will need to be assessed as well as whether there are likely to be any flooding or traffic consequences.

7.2 However, in this case there is the added need to assess the cumulative impacts arising from an implementation of both the 2022 permission and the current application. This will in the main revolve around Green Belt, landscape and visual assessments. Additionally, the applicant should be requested to look wider and assess the cumulative impacts of the developments already permitted and the outstanding cases in this part of the Borough.

7.3 It is advised that as with the other cases, the Board should visit the site.

Recommendation

That the Board notes receipt of the application and visits the site prior to its determination.

A1

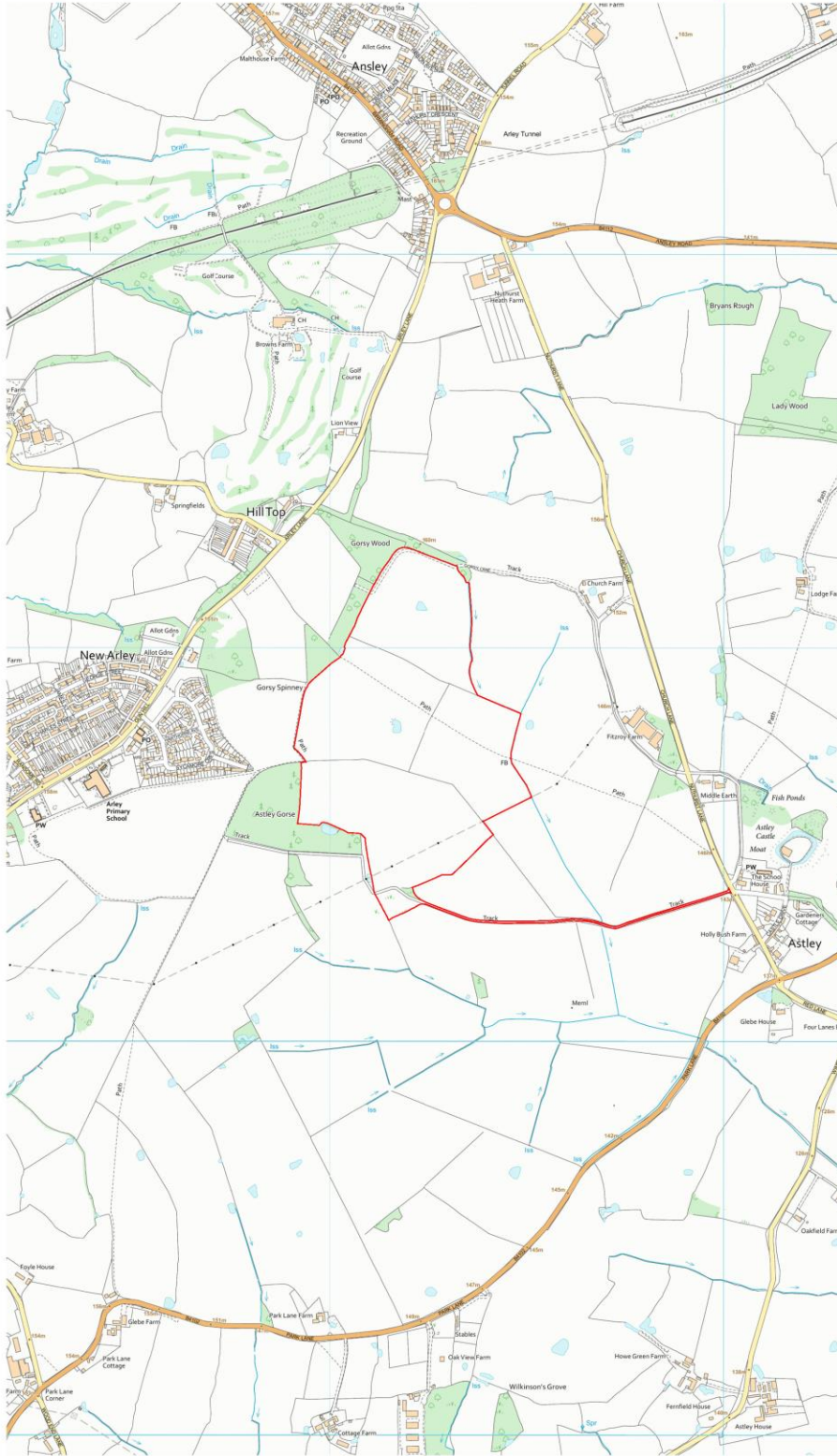
PAP/2024/0577

APPENDIX A

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Revision	Date	Revision Name	Drawn	Checked
01	15.08.24	First Issue	EM	SB
02	08.10.24	Planning Application Boundary	EM	SB
03	01.12.24	Approved	EM	SB
04	01.12.24	Project Name Amended	EM	SB

LEGEND: PLANNING APPLICATION BOUNDARY



NORTH WARWICKSHIRE
BOROUGH COUNCIL
RECEIVED
16/12/2024
PLANNING & DEVELOPMENT
DIVISION



Project: **Astley Gorse Solar Farm Extension**
North Warwickshire

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Status: **PLANNING**

Drawing Title:
Astley Gorse Extension - Site Location Plan

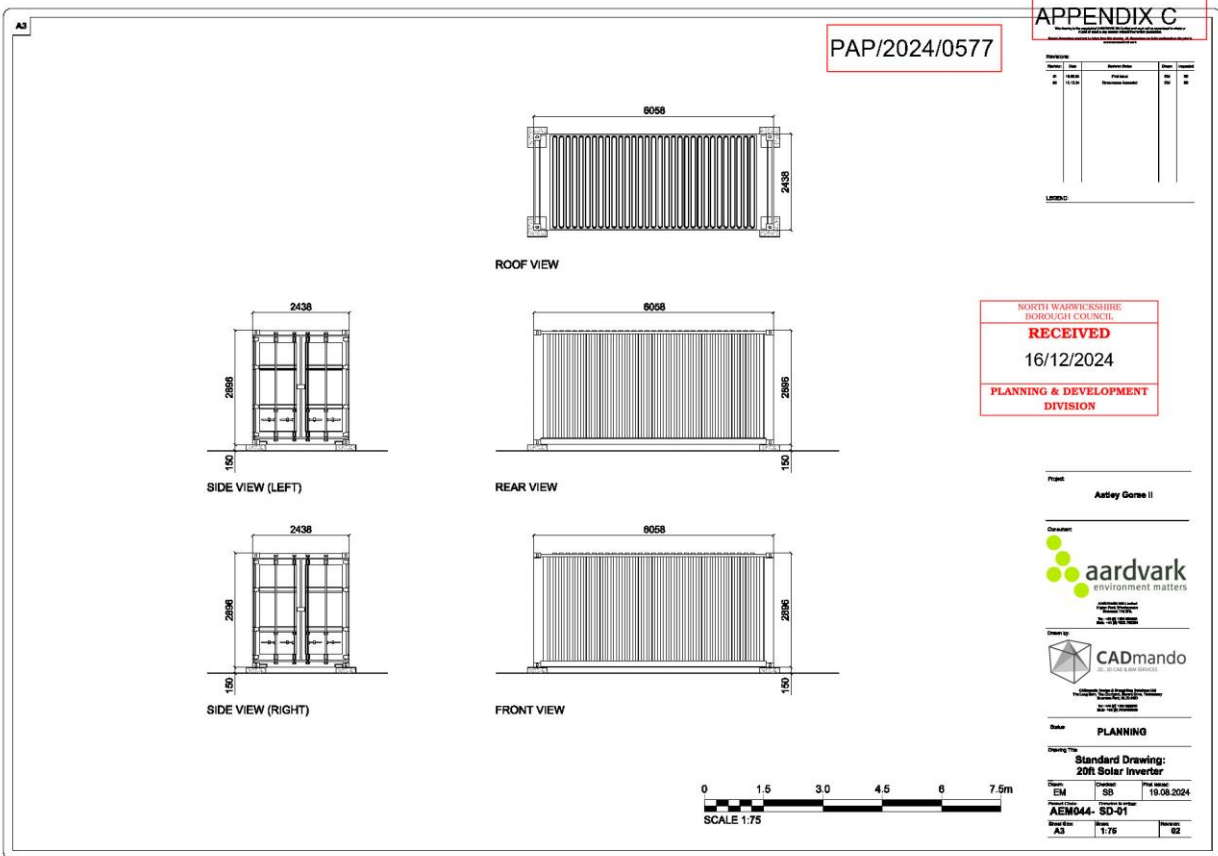
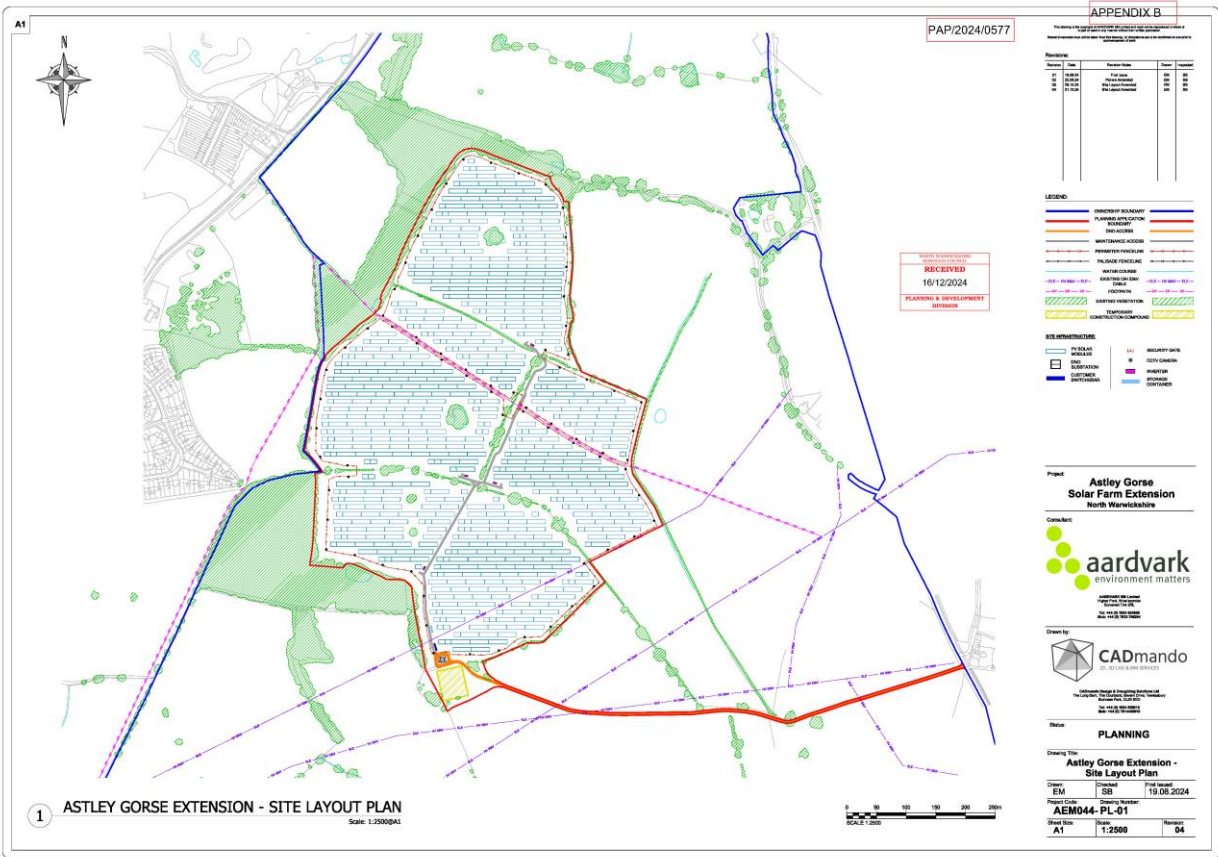
Drawn: EM Checked: SB First issued: 15.08.2024

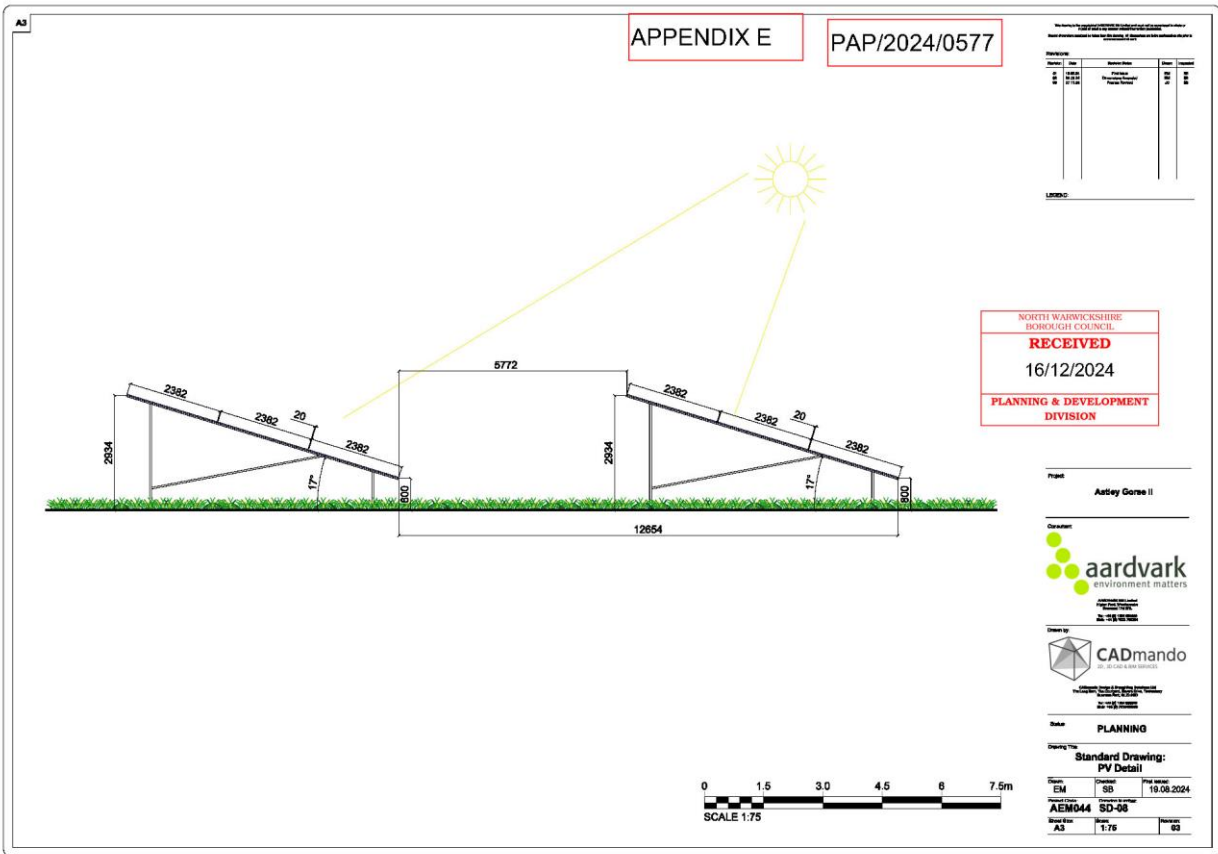
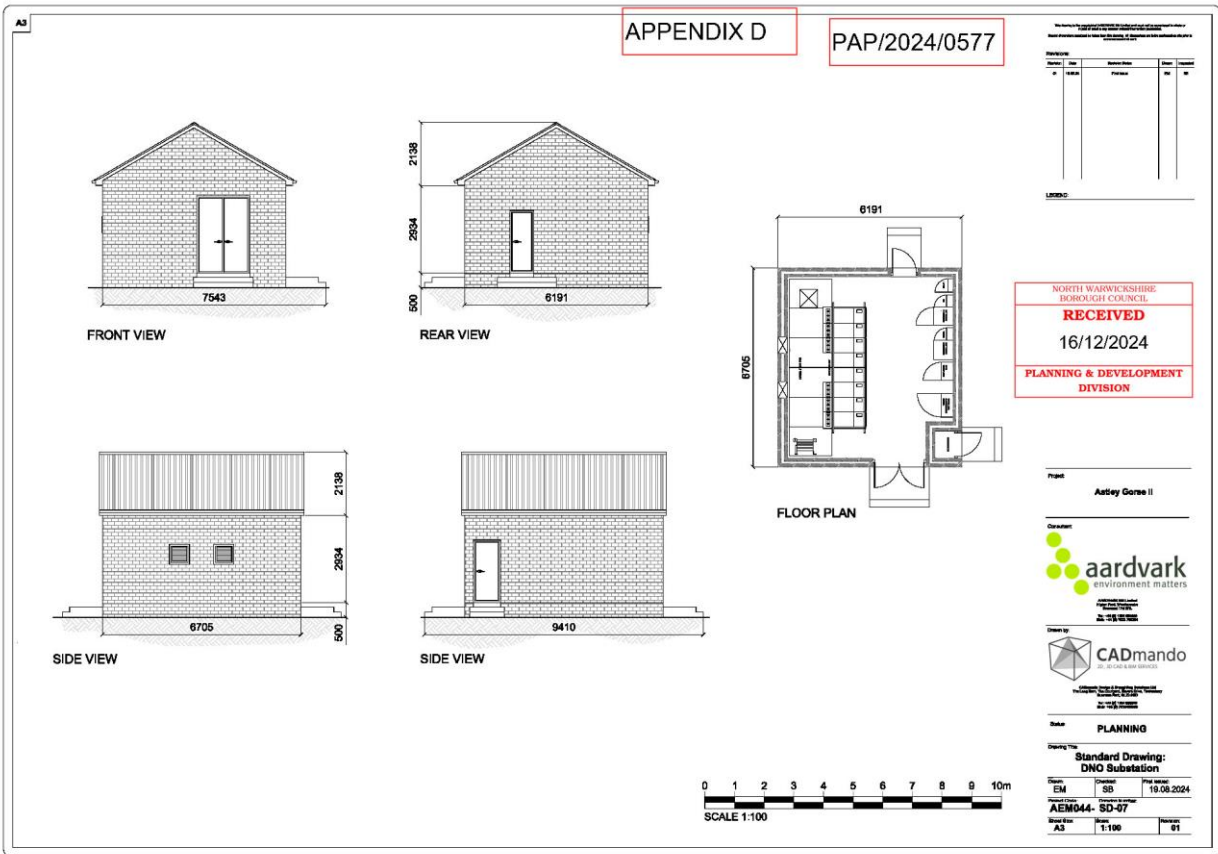
Project Code: AEM044-SP-01

Sheet Size: A1 Scale: 1:5000 Revision: 03

1 ASTLEY GORSE EXTENSION - SITE LOCATION PLAN
Scale: 1:5000@A1







A3

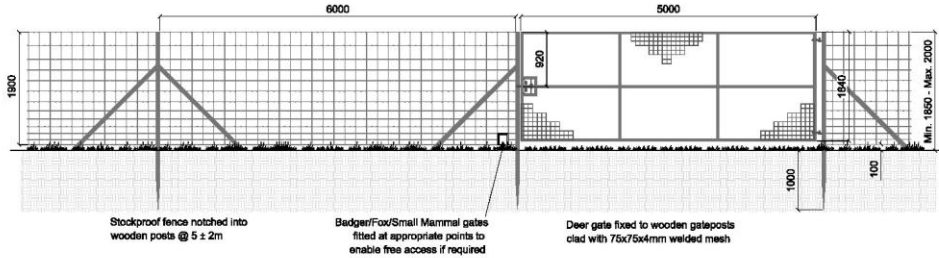
APPENDIX F

PAP/2024/0577

NO.	DATE	DESCRIPTION	BY	CHKD

UNBDC

NORTH WARWICKSHIRE
BOROUGH COUNCIL
RECEIVED
16/12/2024
PLANNING & DEVELOPMENT
DIVISION



Project: **Asley Gorse II**



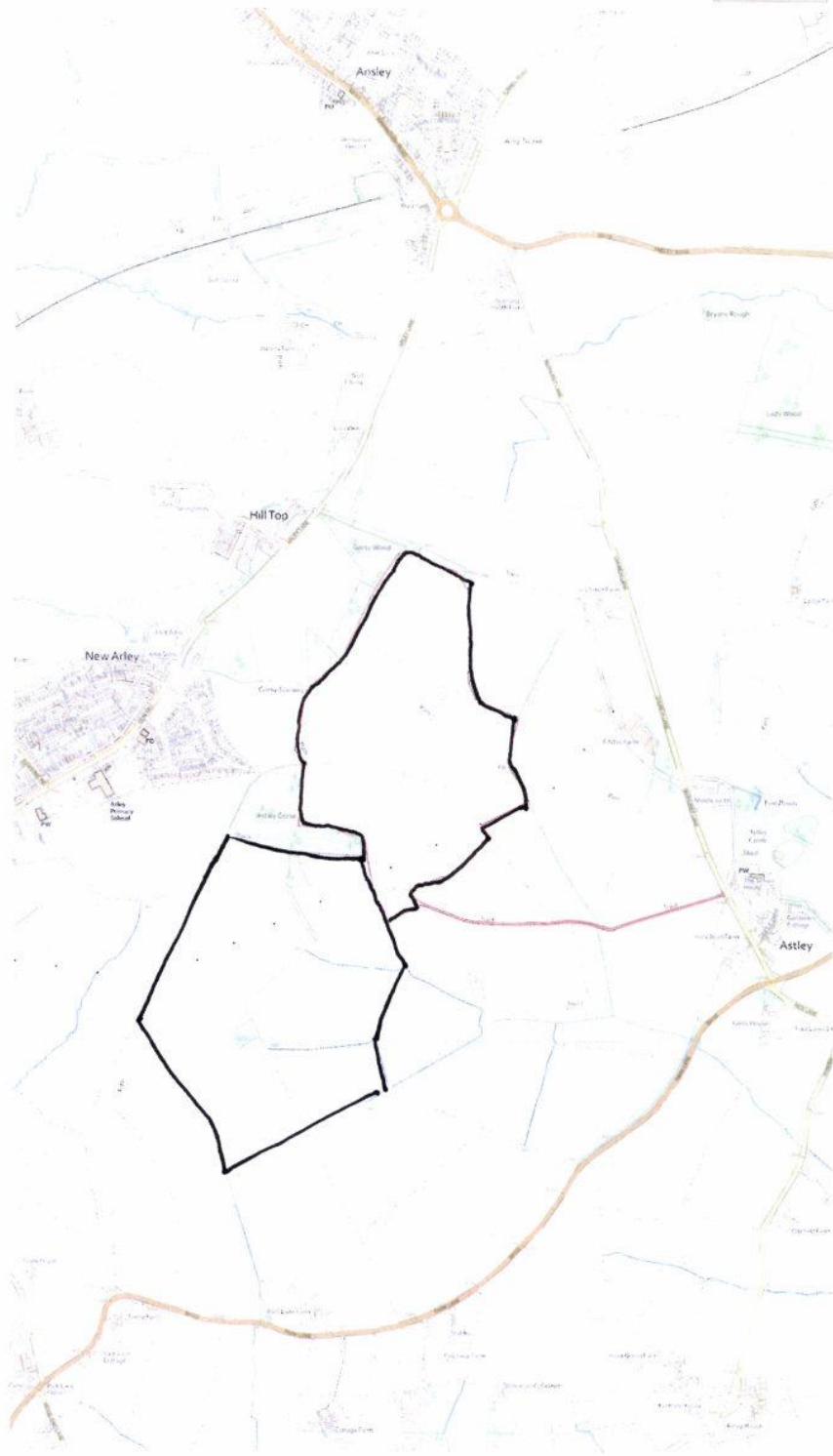
Date: **PLANNING**

Drawing Title: **Standard Drawing: Deer Fence & Gate**

Drawn	Checked	Print Date
EM	SB	19.08.2024
AEM044-SD-02		
Sheet No:	Scale:	Revision:
A3	1:50	01

A1

PAP/2024/0577



Category	Code	Description	Area (ha)	Notes
Site	1	Astley Gorse Extension	100.00	
Other	2	Other land	100.00	
Total			200.00	

1:5000

PLANNING APPLICATION

19/12/2024

PLANNING & DEVELOPMENT DIVISION



Project: Astley Gorse Solar Farm Extension
North Warwickshire



PLANNING

Astley Gorse Extension - Site Location Plan

Drawn: EM	Checked: SB	Date issued: 15.08.2024
Project Code: AEM044-SP-01		
Sheet: A1	Scale: 1:5000	Version: 03

1 **ASTLEY GORSE EXTENSION - SITE LOCATION PLAN**
Scale: 1:5000(A1)



General Development Applications

(6/c) Application No: PAP/2024/0575

Land Adjacent to Coleshill Manor, Off South Drive, Coleshill, B46 1DF

Variation of planning conditions 2, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13, 14, 17 and 20 attached to planning permission PAP/2019/0701 dated 11 August 2020 [which grants full planning permission for the erection and operation of a landmark structure, with associated visitor centre and public open space (D2), together with ancillary essential development including dedicated car parking, landscaping, access road and services provisions (mixed use including D1, A1, A3, A4 and B1 facilities) to operate as a national memorial and to create a significant public art architectural feature] to reflect design amendments to scheme and associated works, for

- Eternal Wall of Answered Prayer C/O Agent

1. Introduction

- 1.1 The original planning permission for this development was granted in August 2020 and since then pre-commencement conditions have been discharged. The applicant has undertaken a review of the proposal in light of some of the technical challenges that have emerged since 2020. The changes in this current application are the outcome of that review.
- 1.2 It is significant that these proposed amendments do not affect the actual landmark structure itself – its design, location or scale. In short, they relate to a different arrangement for the visitor centre. The approved scheme had this incorporated into the base of the structure. The proposed variation is to have it as a detached building.
- 1.3 The application is reported to the Board in view of the national significance of the development.
- 1.4 At the time of preparing this report, no consultation responses or other representations had been received. A verbal update will be given at the meeting.

2. The Site

- 2.1 The application lies between the M6 Motorway and Coleshill Manor, south of Water Orton and west of Coleshill. It is accessed from South Drive off of the roundabout on the B4114 Birmingham Road. Substantial HS2 works are underway in this area.
- 2.2 The Location Plan is at **Appendix A**.

3. Background

- 3.1 The approved 2020 site layout is at **Appendix B** and the elevations are at **Appendix C**.
- 3.2 Phase One of the development has been completed and this comprised the construction of the access road, with bio-diversity enhancements and new tree planting alongside.

4. The Proposals

4.1 The proposed amendments in summary are:

- i) The separation of the Monument from the visitor centre and site amenities. Originally, they comprised a single entity. It is now proposed that the Monument would be a stand-alone sculptural form, with the visitor facilities provided in a new structure, to be delivered on a phased basis. The initial Visitor Centre would be a new separate small rectangular building (“A”) with the main centre following on (“B”). This is to be a low curved profiled building shaped like a “boomerang”. Both buildings would be retained on the site, but the initial centre would be re-purposed as a dedicated prayer room.
- ii) Changes to the approved phasing – Phase One is now complete. Phase Two would comprise the Monument itself, the landscaping and parking areas together with the initial Visitor Centre referred to above as (“A”) and a new substation and maintenance building (see (iv) below). Phase Three would follow after first use – the main visitor centre (“B” above) and additional tree planting.
- iii) Amendments to the materials to be used for the Monument with the use of pre-cast tensioned concrete segments with a projecting “brick” pattern on the outer surface, rather than individual bricks – but still retaining its white finish.
- iv) The Introduction of a substation and maintenance building.
- v) Various changes to the layout and design of the landscaping, parking and access arrangements and
- vi) Consequential changes to the wording of conditions.

4.2 A fuller account of these changes is at **Appendix D**.

4.3 The proposed layout is at **Appendix E**.

4.4 The proposed elevations of the initial visitor centre building (“A”) are at **Appendix F**.

4.5 The proposed layout and elevations of the main centre (“B”) are at **Appendix G**.

5. **Development Plan**

The North Warwickshire Local Plan 2021 –LP1 (Sustainable Development); LP3 (Green Belt); LP11 (Economic Regeneration), LP14 (Landscape), LP21 (Services and Facilities), LP29 (Development Considerations) and LP30 (Built Form)
The Coleshill Neighbourhood Plan 2017 – ENP6

6. **Other Material Planning Considerations**

The National Planning Policy Framework 2024 – (the “NPPF”)

National Planning Practice Guidance

The North Warwickshire Landscape Character Assessment 2010

7. **Observations**

a) **Introduction**

7.1 The principle of this development has been accepted through the 2020 grant of planning permission and its commencement. This current application seeks amendments, but does not deviate from the principle and purpose of the approved scheme. The amendments retain the central landmark structure exactly as approved. The permission included an associated visitor centre and public open space. This is to be retained with no change to the permitted uses and neither is there to be an increase in overall floor space. The changes affect the design of the built form. It is the assessment of that built form that comprises the basis of this report.

b) **Green Belt**

7.2 The development was dealt with as being inappropriate in the Green Belt in 2020, but the Council considered that there were very special circumstances that clearly outweighed both Green Belt harm as well as other harms, such that it could support the proposal. The issue now is whether the proposed varied built form would change the outcome of the final planning balance that led to the 2020 approval. In other words, are the weights to be attributed to any harms arising, greater or lesser than that considered in 2020.

7.3 The separation of the visitor centre from the main structure, as separate two stand-alone buildings will lead to both a spatial and visual change to the openness of the Green Belt here over the approved scheme. There would be no change in activity levels and the new buildings are to be permanent. Additionally, there would be further conflicts with the purposes of including land within the Green Belt than those previously identified. It is thus a matter of assessing the spatial and visual changes on the openness of the Green Belt hereabouts.

7.4 There would be a greater loss of openness on both spatial and visual grounds given that the two buildings would be “stand-alone” structures. Notwithstanding that floor space is not increased, they would be constructed on land that was “open” under the 2020 permission. As a consequence, the proposed varied built form would still be inappropriate development as before. However, the degree of additional actual harm over that already approved would not be material. This is because of the single storey nature of the amendments, their location within a site that is to see a major change to openness with the implementation of the approved landmark structure, the being alongside another approved outdoor recreational development – the outdoor surfing centre – and the completion of the HS2 viaducts clearly visible from the site. Such an immaterial loss of openness would not change the original outcome of the final planning balance, in that the considerations put forward by the applicant at that stage, would still clearly outweigh the combined level of harm, to amount to very special circumstances.

c) Other Matters

7.5 The design and appearance of the main new buildings are appropriate to the site – low in height, curvilinear in form to match the lines of the landmark structure and with materials which do not aim at competing with the structure, leaving that as the dominant feature. It will thus blend more easily into the newly landscaped setting. Out of interest, it also replicates the form of the surfing centre’s visitor centre.

7.6 There would be negligible change in the overall character of the landscape here given the changes to come about by this structure and the surfing centre. Similarly, there would be no increased harm to the nearby heritage asset of Coleshill Manor.

7.7 The application is accompanied by an updated Bio-Diversity Assessment which shows that the changes would still add both habitat and hedgerow gains over the already approved scheme.

Recommendation

That, subject to no objections being received that cannot be overcome by the imposition of planning conditions, planning permission be granted subject to the following conditions. In the event of an objection remaining, the matter be referred back to the Board.

1. The development to which this permission relates must be begun not later than the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, and to prevent an accumulation of unimplemented planning permissions.

Defining conditions

- Standard plan numbers EWVC/AHR/B1/00/DR/A/08200/PO2S4, 08301/PO2S4, 08401/PO2S4, EWVC/AHR/B2/XX/DR/A/08210/P2, 08310/P2, 08410/P2; EWVC/AHR/XX/XX/DR/A/08002/PO3S4, 08003/PO3S4, 08004/PO3S4, 08005/PO1S4, 08111/PO2S4, 08112/PO3/S4, 08121/PO4/S4, 08412/P3S4; BEA/23/052/07/PO7 and 09/PO5; 332210771/STC/HGN/ZZ/DR/CH/01PO7, 02PO6, 03/PO6, 04/PO6 and 05/PO5; the External Lighting Strategy prepared by DWP dated 6/11/24

REASON

To ensure that the development is carried out strictly in accordance with the approved plans.

Pre-Commencement Conditions

- The development hereby approved shall be implemented in accordance with the Written Scheme of Investigation approved under the reference DOC/2022/0075 dated 14/9/22.

REASON

In the interests of understanding the heritage assets of the site.

- The development hereby approved shall be implemented in accordance with the post-excavation analysis, report production and confirmation of archive deposit, approved under reference DOC/2023/0048 dated 4/8/23.

REASON

In the interests of understanding the heritage assets of the site

- The development hereby approved shall be implemented in accordance with the Archaeological Mitigation Strategy approved under reference DOC/2023/0048 dated 4/8/23.

REASON

In the interests of understanding the heritage assets of the site

- No phase of the development shall commence on site until a detailed surface water drainage scheme for the site based on sustainable drainage principles and an assessment of the hydrological context of the development has been submitted to and approved in writing by the Local Planning Authority. Only the approved scheme shall then be installed on the site. Phase One of the development shall be implemented in accordance with the surface water drainage scheme approved under reference DOC/2023/0064 dated 11/8/23.

REASON

In the interests of reducing the risk of flooding.

7. No phase of the development shall commence on site until a detailed foul water drainage scheme has first been submitted to and approved in writing by the Local Planning Authority. Only the approved scheme shall then be installed on site. Phase One of the development shall be implemented in accordance with the foul water drainage scheme approved under reference DOC/2023/0064 dated 11/8/23.

REASON

In the interests of reducing the risks of flooding of pollution.

8. The development hereby approved shall be implemented in accordance with the Phase One Ground Conditions Assessment approved under reference DOC/2023/0058 dated 7/7/23.

REASON

In the interests of reducing the risk of pollution.

9. If during construction, contamination not previously identified on the site is identified, then no further development shall take place on site until further remediation measures are agreed in writing by the Local Planning Authority. Continuation of the development shall only proceed in accordance with any approved remediation measures.

REASON

In the interests of reducing the risks of pollution.

10. The development hereby approved shall be implemented in accordance with the Construction Management Plan approved under reference DOC/2023/0053 unless otherwise agreed in writing by the Local Planning Authority.

REASON

In the interests of the amenities of the area and for highway safety reasons.

11. The development hereby approved shall be implemented in accordance with the Construction Environmental Management Statement approved under reference DOC/2023/0055 dated 24/5/23 unless otherwise agreed in writing by the Local Planning Authority.

REASON

In the interests of protecting wildlife and in particular any protected species.

12. Within six months of the commencement of development on site, a detailed Landscape and Ecological Management Plan shall be submitted to the Local Planning Authority. This Plan shall include details of all new planting and specifications for its maintenance; details of the species to be introduced, their sourcing, details of habitat enhancement/creation and all maintenance management measures such as native species planting; wildflower grassland creation, woodland and hedgerow creation/enhancement, and provision of new habitats for protected and notable species. The Plan as may be approved in writing by the Local Planning Authority shall be adhered to at all times.

REASON

In the interests of securing a bio-diversity gain over the whole site

13. Details of the facing, roofing (including sedum) and surfacing materials and boundary treatments shall be submitted to and approved in writing by the Local Planning Authority prior to their installation. Only the approved materials and treatments shall then be used on site.

REASON

In the interests of the visual amenities of the area.

14. Details of the external light fittings or columns (including the building, car parking, landscaping, monument and any obstruction warning lighting) shall be submitted to and approved in writing by the Local Planning Authority prior to their installation. Only the approved details shall then be installed on site. In particular, the details and specifications should show how they reduce the impact of lighting on bat roosts and foraging areas.

REASON

In the interests of the visual amenities of the areas well as to minimise impacts on bio-diversity and in particular on bats.

Pre-Occupation Conditions

15. There shall be no public use of the site as hereby approved until details of electric vehicle charging points to be installed in the car parking areas have first been submitted to and approved in writing by the Local Planning Authority.

REASON

In the interests of promoting sustainable development.

16. There shall be no public use of the site as hereby approved until a scheme for the provision of adequate water supplies and fire hydrants necessary for fire-fighting purposes at the site has first been submitted to and approved in writing by the Local Planning Authority. Only the approved scheme shall then be installed on site.

REASON

In the interests of public safety

17. There shall be no public use of the site per phase for the purposes hereby approved until the written confirmation has been received from the Local Planning Authority that the measures under conditions (6) and (7) have been fully installed.

REASON

In the interests of promoting sustainable development.

18. There shall be no public use of the site for the purposes hereby approved until a Habitat Management Plan for the remaining Coleshill Park Belt Local Wildlife Site has first been submitted to and approved in writing by the Local Planning Authority. The approved Plan shall be adhered to at all times. The Plan shall include:

- a) A description and evaluation of the features to be managed
- b) Ecological trends/or constraints on site that might influence management
- c) The aims and objectives for management
- d) Appropriate management options for achieving these aims and objectives
- e) Prescriptions for management actions
- f) Preparation of a work schedule (including a five year project register; an annual work plan and the means by which the plan will be rolled forward annually
- g) Personnel responsible for the implementation of the Plan
- h) Legal arrangements to ensure its delivery for a minimum of 30 years
- i) Monitoring and remedial/contingencies measures triggered by monitoring

REASON

In the interests of enhancing and maintaining the ecological value of an existing natural asset.

19. There shall be no public use of the site for the purposes hereby approved until a detailed maintenance plan written in accordance with CIRIA C753, for the maintenance and management of the approved surface water drainage system over the lifetime of the approved development, has first been submitted to and approved in writing by the Local Planning Authority. The requirements of the plan shall be adhered to at all times.:

REASON

In order to reduce the risk of flooding.

20. There shall be no public use of the site for the purposes hereby approved until a detailed Crime Prevention Strategy has first been submitted to and approved in writing by the Local Planning Authority. This shall be based on the December 2024 paper submitted at the time of the application but should show that the advice and guidance from the Police and Security Forces has been actively engaged and included.

REASON

In order to comply with the NPPF and the Development Plan.

21. No part of the development hereby approved shall be brought into public use until the car and vehicle parking areas shown on the approved plan have first been provided and completed in full on site to the written satisfaction of the Local Planning Authority.

REASON

In the interests of highway safety so as to prevent on-street parking

22. No part of the development hereby approved shall be open to the public, until Heads of Terms for a Community Partnership Group have first been submitted to and approved in writing by the Local Planning Authority. Those Heads of Terms shall describe the setting up of such a Group, its aims and objectives, its constitution and the criteria to be used in the funding of local charitable projects within the Coleshill area and be broadly consistent with those submitted to the Council under Document reference "" Community Partnership Group: Heads of Terms (Turley)"" dated 30 June 2020 and thereafter shall be fully implemented in accordance with the agree Heads of Terms.

REASON

In recognition of the local social benefits that would arise from the development.

23. No part of the development hereby approved shall be open to the public, until Heads of Terms for a Social Housing Commitment have first been submitted to and approved in writing by the Local Planning Authority. Those Heads of Terms shall describe the aims and objectives under such a Commitment and the criteria used to ascribe contributions towards the social housing in North Warwickshire and broadly be consistent with those submitted to the Council under Document reference ""Local Social Housing Commitment: Heads of Terms (Turley)"" dated 30 June 2020, and thereafter shall be fully implemented in accordance with the agreed Heads of Terms.

REASON

In recognition of the local social benefits that would arise from the development

24. No part of the development hereby approved shall be open to the public, until Heads of Terms for off-site highway works to the Birmingham and Stonebridge Roads in order to improve the connectivity for pedestrians and cyclists between Coleshill and the site have first been agreed in writing by the Local Planning Authority. Those Heads of Terms shall include the programme for implementation of these works and the mechanisms for their delivery and broadly be consistent with those submitted to the Council under Document Reference ""Footway/Cycle contribution: Heads of Terms (Turley)"" dated 23 June 2020 and thereafter shall be fully implemented in accordance with the agreed Heads of Terms.

REASON

In the interests of mitigating the highway impact of the proposals and in order to promote sustainable development.

INFORMATIVES

1. The Local Planning Authority has met the requirements of the NPPF in this case through seeking resolution of the technical issues arising and in seeking evidence to address the final planning balance.
2. Public Footpaths numbered M54, M57 and M58 should remain unobstructed at all times
3. The details to be submitted under condition (6) above shall :
 - Demonstrate that the surface water drainage systems are designed in accordance with ""he SUDS Manual"" CIRIA Report C753 through the submission of plans and cross sections of all SUDS features.
 - Limit the discharge rate generated by all rainfall events up to and including the 100 year plus 40% (allowance for climate change) critical rain storm to the Qbar Greenfield runoff rate of 4.3 l/sec.
 - Demonstrate the provisions of surface water run-off attenuation storage are provided in accordance with the requirements specified in ""Science Report SC030219 Rainfall Runoff Management for Developments""

- Demonstrate detailed designs (plans, network details and calculations of the surface water drainage scheme including details of all attenuation and outfall arrangements. Calculations should demonstrate the performance of the designed system for a range of return periods and storm durations inclusive of the 1 in 1 year, 1 in 30 year and 1 in 100 year plus climate change return periods. The calculations should be supported by a plan of the drainage network with all manholes and pipes labelled accordingly.
4. Any works within the channel of an Ordinary Watercourse will likely require Land Drainage Consent prior to construction from Warwickshire County Council as the Lead Local Flood Authority. This includes for example, any outfall structures and proposed culverts.
 5. Severn Trent Water advises that there is a public sewer located within the application site. Public sewers have statutory protection by virtue of the Water Industry Act 1991 as amended by the Water Act 2003 and you must not build close to, directly over or divert a public sewer without consent. Further advice can be obtained from Severn Trent Water Ltd.
 6. There is an Esso Petroleum Ltd Pipeline close to the site. Attention is drawn to its document ""Special Requirements for Safe Working"" and the covenants contained in the Deed of Grant.

APPENDIX C

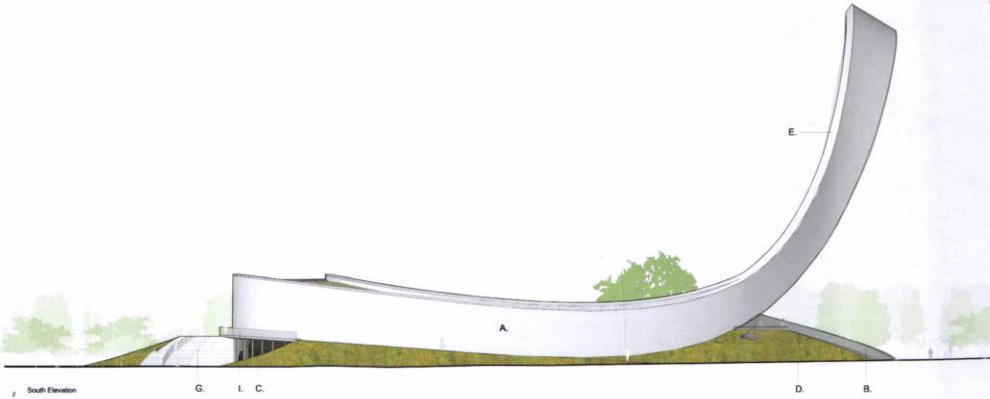
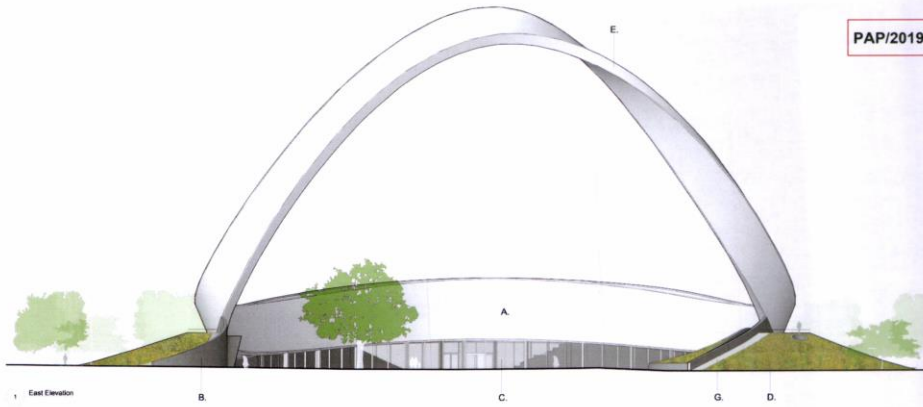
PAP/2019/0701

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Notes

Key

- A. Brick Headers
- B. Graphite Concrete
- C. Aluminium Glazing
- D. Planted Bunds
- E. Concrete Coping & Edging
- F. Green Roof
- G. Pre-Cast Concrete Steps
- H. Single Ply Roof
- I. Glass Balustrade



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20/12/2019
PLANNING & DEVELOPMENT DIVISION

Rev. Date Description DWG

Project The Wall of Answered Prayer

Issue PLANNING

Drawing Title Proposed East & South Elevation

Drawn Checked Date Scale

MB PB DEC 2019 1:200@A1

Drawing Code

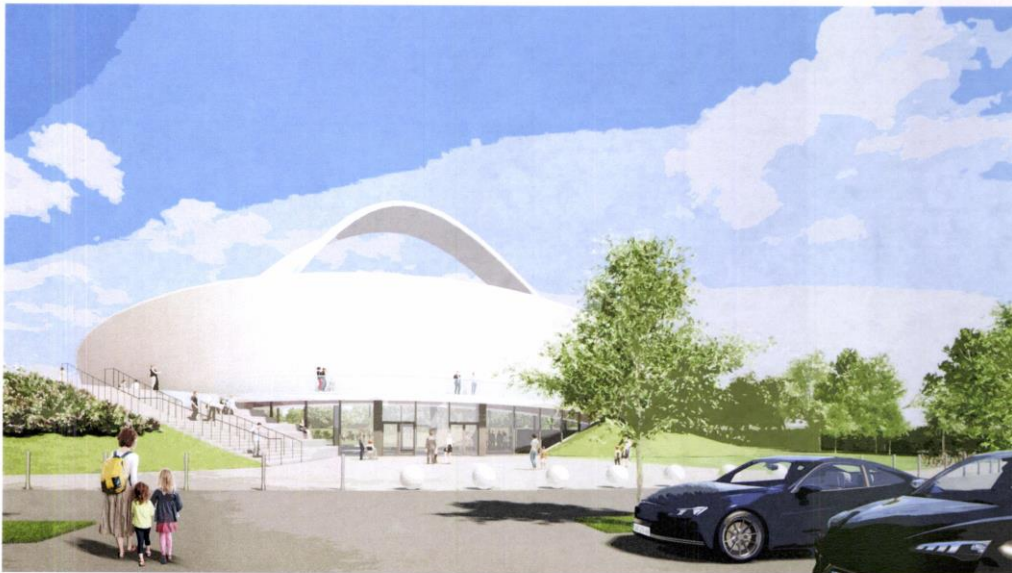
Project Originator Rev. No. Type Issue Number No.

P712 - SNUG - XX - XX - DR - A - 0431

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Notes

PAP/2019/0701

Rev. Date Description DWG

Project The Wall of Answered Prayer

Issue PLANNING

Drawing Title Artistic Impression 01

Drawn Checked Date Scale

MB PB DEC 2019 NTS@A3

Drawing Code

Project Originator Rev. No. Type Issue Number No.

P712 - SNUG - XX - XX - DR - A - 0431

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PAP/2019/0701

Rev. Date Description

Project: The Wall of Answered Prayer

Status: PLANNING

Drawing No: Proposed CD1

Drawn: MB Date: DEC 2019 Scale: NT3@A3

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4. Proposed Amendments

- 4.1 This section describes the proposed amendments to the development from the original planning permission. It should be read in conjunction with the supporting application plans and documents, including the Design and Access Statement Addendums, prepared by AHR and SNUG, respectively.
- 4.2 Both a physical model and video fly-through model of the scheme, prepared by AHR, are available at request.

Summary of Proposed Amendments

- 4.3 The proposed amendments sought through this application are required to reflect the ongoing evolution of the delivery of the scheme, following further detailed design, ensuring the technical, operational and funding mechanisms are aligned. The changes have been subject to pre-application discussions with NWBC and have been agreed to be minor in the context of the scheme as a whole – as such, these proposed amendments are submitted pursuant to Section 73 of the Town and Country Planning Act 1990 (as amended).
- 4.4 These can be summarised as follows and further detail on each provided in this Section, and included on the submitted plans:
- Revisions to the phasing of the scheme (as established via the approved CMP):
 - The separation of the Monument and the visitor amenities – where previously the Monument and Visitor Centre comprised a single entity, it is proposed that the Monument will now be a standalone, pure sculptural form, with visitor facilities provided within standalone buildings, to be delivered on a phased basis. The initial Visitor Centre A will be delivered alongside the Monument, itself (Phase 2), and a larger “boomerang” Visitor Centre B will be delivered within Phase 3;
 - Amendments to the materiality of the Monument, in accordance with technicality and maintenance procedures;
 - Introduction of substation and maintenance building enclosure to support operations on site;
 - Various amendments to the layout and design of the landscaping, drainage features, parking and access arrangements, lighting and environs; and
 - Associated amendments to the wording of conditions.

Phasing Approach

- 4.5 Through the discharge of Condition 10 (Construction Management Plan) (ref: DOC/2023/0053), the associated phasing plans for the scheme were approved. These set out the high-level phasing of the development, in line with the condition

requirements, with all necessary works anticipated to be undertaken over 3 no. phases as indicated within the diagrammatic plans:

- Phase 1 - 12m of access road taken up to the entrance to the coach park which will initially be the site compound. This will include suitable welfare facilities for the construction of Phase 2, including but not limited to staff welfare, material storage, operative parking, and facilities for keeping the site clean, including wheel wash facilities;
- Phase 2 - the interim visitor centre, the initial car park including coach park and the monument with associated paths and bunds; and
- Phase 3 - the approved full visitor centre with all permanent visitor facilities, full extent of car park and circular landscape feature (The interim visitor centre will be removed).

4.6 Phase 1 has now been completed to enable the implementation of the planning permission.

4.7 This application now seeks to amend the phasing of the scheme (which will ultimately be regularised through the re-discharge of Condition 10), to comprise the following:

- Phase 1 - 12m of access road taken up to the entrance to the coach park which will initially be the site compound. This will include suitable welfare facilities for the construction of Phase 2, including but not limited to staff welfare, material storage, operative parking, and facilities for keeping the site clean, including wheel wash facilities [complete];
- Phase 2 (To be completed for first public use)
 - (i) Phase 2A – Utilities (including the Substation and Maintenance Area);
 - (ii) Phase 2B – Monument;
 - (iii) Phase 2C – Visitor Centre A;
 - (iv) Phase 2D – Landscaping and Car Parks;

Noting that each of the sub-phases may come forward independently or alongside each other. The sub-division enables relevant conditions to be part-discharged for each respective element of the scheme.

- Phase 3 (To be completed following first public use)
 - (i) Phase 3A – Visitor Centre B;
- Phase 3B – Landscaping (Additional Trees) – this may comprise sponsored/funded/memorial trees as the Site embeds itself as a space of reflection and prayer.

Separation of the Monument and Visitor Amenities

- 4.8 The concept for the Monument is a 51.5m “Mobius Strip,” which comprises a one-sided non-orientable surface, creating a continuous twisting ribbon without a beginning or end. As set out within the Design and Access Statement Addendum, prepared by SNUG, this driving conceptual form has continued to inform the design development of the Monument throughout the life of the project. As part of the original planning permission, a visitor centre was integrated within the form of the Monument.
- 4.9 As part of a review of the construction and design; the phasing strategy; and to ensure that the relevant facilities are available on-site from the first day that the scheme is open to public use, the approach to the Monument and Visitor Centre has been revised so that the Monument will now be a standalone, pure, sculptural form; and the 1,500 sq. m floorspace for the previously integrated Visitor Centre will now be separated between Visitor Centre A, located to the north of the site (part of Phase 2), and Visitor Centre B, which will follow in Phase 3, in line with the funding mechanisms for delivery.

Visitor Centre A

- 4.10 Visitor Centre A comprises a 1-storey building, measuring 17.6m x 8.5m x 3.71m, with circa 150 sq. m of floorspace, including a flexible space to enable the approved uses and educational benefits to come forward within the initial phase of opening, as well as essential facilities such as toilets, staff welfare facilities/server space and kitchen. There is an external seating area adjacent to the building.



Figure 1: Visualisation of Visitor Centre A (as illustrated within the Design and Access Statement Addendum, prepared by AHR)

- 4.11 The Visitor Centre is carefully situated within the main pedestrian thoroughfare between the main car parking area, and overflow car parking area, adjacent to Visitor Centre B (as described below), ensuring key views to the Monument are maintained. In terms of materiality, panelled Viroc cladding (in earth tone red), aluminium cladding and rainwater goods (in olive grey) and glazing are the primary materials proposed, creating a simple, consistent façade rhythm in natural tones, with the same principle applied to Visitor Centre B to ensure unity across the scheme. A sedum roof is proposed. Any relevant consents for signage will be secured separately.

- 4.12 It is the intention that, following Visitor B coming forward in Phase 3, Visitor Centre A will become a dedicated prayer room, on-site.

Visitor Centre B

- 4.13 Visitor Centre B, similarly, comprises a 1-storey building, which has been comprehensively designed so that this builds upon the principles established within the original planning permission, extracting the previously integrated “curved boomerang,” serving to form a gateway between the entrance to the site/car park and the Monument and gardens. A central open access has been created, so to lead visitors from the car parking and pedestrian thoroughfare areas through to the Monument and public space for reflection.



Figure 2: Visualisation of entrance to Visitor Centre B, also illustrating legibility of standalone Monument (as taken from Design and Access Statement Addendum, prepared by AHR)

- 4.14 Visitor Centre B is organised into two halves, and enables flexible use of the space, dependent on visitor numbers, types of visitors and specific days/activities. Overall, circa 1,000 sq. m floorspace is proposed, inclusive of ancillary retail, exhibition space, café, education, prayer and additional facilities. The intended café and exhibition spaces have been designed to have views through to the Monument and also towards the car parking areas for transparency and security throughout the site.
- 4.15 In terms of materiality, the conceptual vision for the building is that the walls are of the ground (made of earth/clay) and the roof is green, so when viewed from overhead, the building is limited in visibility so that the focus is the Monument. The building, itself, therefore, comprises panelled Viroc cladding (in earth tone red), aluminium cladding and rainwater goods (olive grey) and glazing as the primary materials. The roof has been specifically designed in the context of the surrounding environment so that this is curved along both dimensions, enabling the sedum roof to be visually read.
- 4.16 Air source heat pumps are also proposed at Visitor Centre B as part of the revised sustainability and energy strategy, which are appropriately screened through additional planters surrounding the building.

- 4.17 Further details on the design and materiality of both Visitor Centres can be found within the Design and Access Statement Addendum, prepared by AHR, and associated plans and bay studies.



Figure 3: Visualisation depicting relationship between Visitor Centre A and Visitor Centre B (taken from the Design and Access Statement Addendum, prepared by AHR)

Materiality of the Monument

- 4.18 The concept of the Monument is to powerfully and respectfully present the testimony of 1 million answered prayers represented by 1 million visible “bricks,” in an engaging and accessible way, which stimulates, inspires and moves visitors in the overall space of reflection.
- 4.19 The materiality of the Monument was previously agreed via the part-discharge of Condition 13 (ref. DOC/2022/0050). This application seeks to revise this approach (prior to the re-discharge of this Condition in due course), which, following detailed design work, raised concerns that post-tensioning / weathering may not have fulfilled the highest-quality standard sought by the Applicant.
- 4.20 It is, therefore, proposed that the structure is formed from white pre-cast post-tensioned concrete segments, with the projecting “brick” pattern cast into the outer surface. It is this surface that forms the primary medium for conveying the database of answered prayers, with this achieved through the use of a random pattern of projections, which cast shadows and catch the light differently as the Mobius Strip twists and the weather/daylight evolve. This enables a dynamic, always changing surface, with each “brick” (and thus prayer) remaining distinctive.
- 4.21 An Obstruction Warning Light (“OWL”) System is also proposed as integral to the Monument design and materiality. The Performance Specification for the proposed lighting (circa 2 lights) is submitted with this application, and it is anticipated that further detail will come forward for agreement in line with the current external lighting condition attached to the permission

- 4.22 Further details on the materiality and maintenance of the Monument can be found within the Design and Access Statement Addendum, prepared by SNUG, and will be supplemented by a re-discharge of Condition 13 in due course.

Landscaping, Access and Environs

- 4.23 Following the updated approach to the Visitor Centre strategy, and as further detailed design has been undertaken to develop the vision for the scheme, various amendments to the layout and design of the landscaping, drainage features, parking and access arrangements, lighting and environs are proposed.

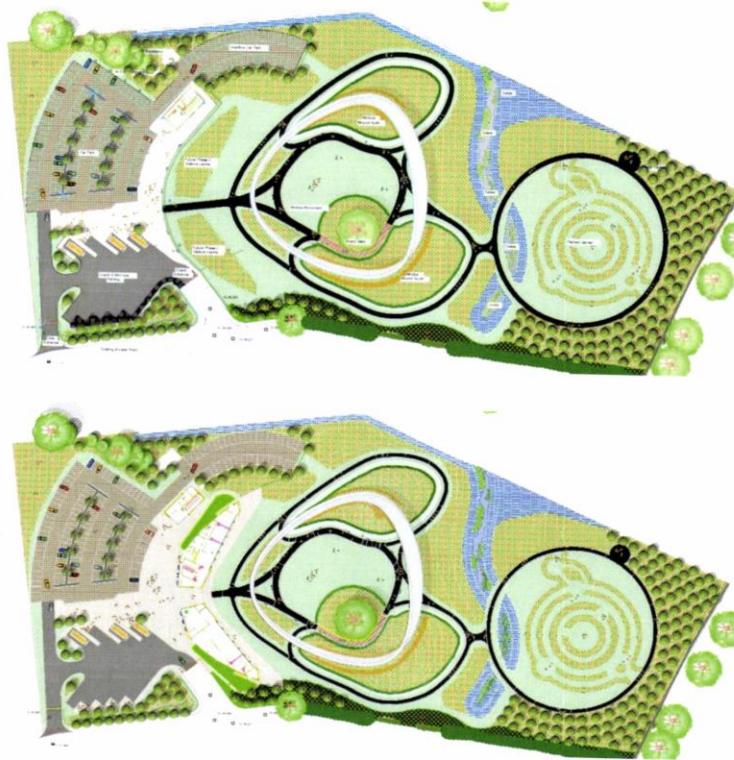


Figure 4: Hard and Soft Landscaping Plans prepared for Phase 2 (above) with Visitor Centre A only and Phase 3 (below) with both Visitor Centre A and B (prepared by BEA Landscape Design)

- 4.24 The principle of the proposed scheme landscaping will be retained to be an integral and complementary to the Monument to enhance the visitor experience. This includes the retention of existing trees and hedgerow, as previously identified; use of native

buffer planting; wildflower and ornamental grass areas; specimen tree planting and ornamental plant beds.

- 4.25 The main amendments to the revised landscaping scheme include updates resulting from the introduction of Visitor Centre A and B, including pedestrianised areas, seating arrangements and screening (as depicted in **Figure 4**); the introduction of the sustainable drainage system with the creation of a swale across the site and the creation of a small balancing pond by the car park entrance; amendments to the design and function of the ornamental planting with the paths replaced with mown grass paths cut through areas of wildflower planting, taking the form of a Maze, to ensure a natural appearance.
- 4.26 Further details of the amendments to the landscaping scheme, inclusive of tree amendments (and increase in quantum) and planting arrangements, are illustrated within the accompanying landscaping plans, prepared by BEA Landscape Design, as well as the Design and Access Statement Addendum, prepared by AHR.
- 4.27 This also includes the introduction of substation and maintenance building enclosure, including for the refuse store for Visitor Centre A. The building is to be located set back from Visitor Centre A at the north of the site, adjacent to the overflow parking area and screened by tree planting, to ensure that it is able to support the scheme operationally, whilst also having limited visibility. As illustrated within plan (ref: EWVC-AHR-XX-XX-DR-A-08412), The maintenance shed and substation has been carefully designed so that the standard substation is appropriately screened, which then extends around the maintenance and refuse storage areas, with naturally-appearing timber cladding vertical slats and olive grey details, creating legibility to Visitor Centre A and B materiality.

Parking and Accessibility

- 4.28 As part of the comprehensive review of the scheme, an opportunity has arisen for an amendment to the vehicle parking layout to minimise pedestrian and vehicle cross-over as much as possible. This, therefore, includes further alignment to the access road, including the introduction of a bellmouth; revision to the layout of the parking; amended routing for cars and coaches; a layby to allow minibus passengers to board and alight near the Visitor Centre; ensuring sufficient access for refuse and access to the substation/maintenance building and defining a clear pedestrian and visual route through the centre of the parking area with a view of the Monument paramount.
- 4.29 Minimal amendments to the distribution of parking across the scheme is included below, and set out in further detail within the Transport / Highways Technical Note, prepared by PJA.

Table 4.1: Breakdown of the parking provision, as prepared by PJA

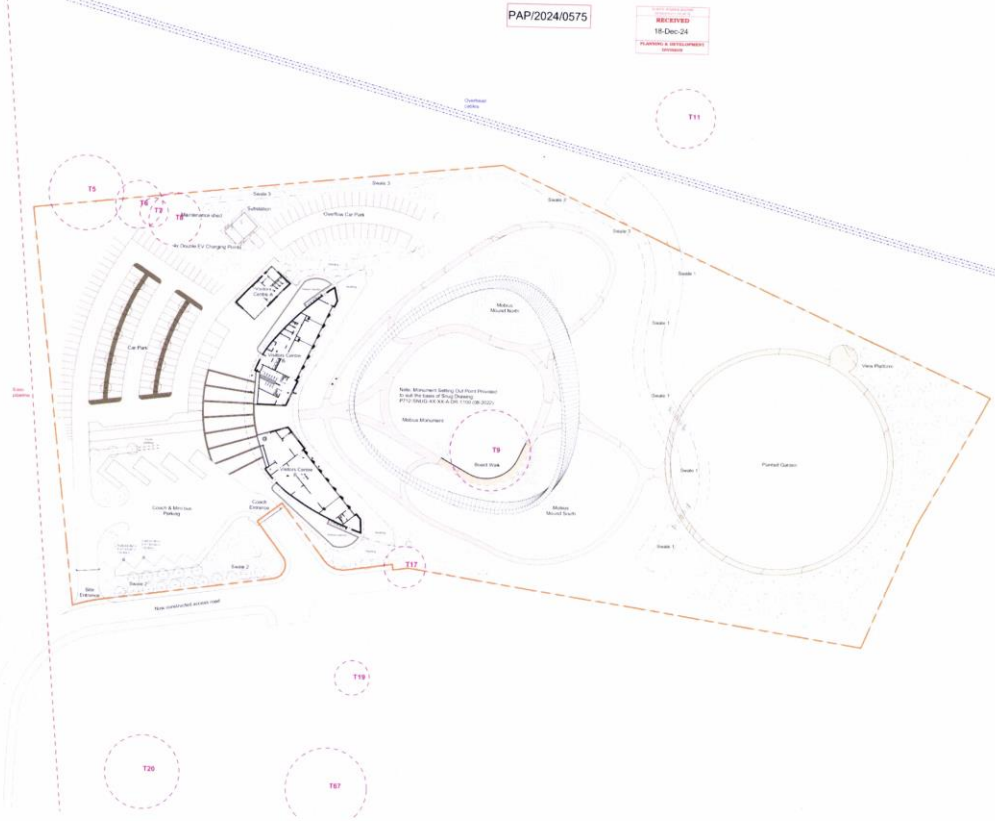
	Approved	Proposed
Cycle Parking	20	20 (+0)
Disabled Car Parking	3	3 (+0)
EV Car Parking	5	8 (+3)
Motorcycle Parking	5	6 (+1)
Minibus Parking	3	3 (+0)
Coach Parking	10	9 (-1)
Standard Visitor Car Parking	95	92 (-3), reflecting the increase in EV parking
Standard Staff Car Parking	10	10 (+0)
Overflow Car Parking	40	40 (+0)

- 4.30 A series of plans accompany this application which show the Access Road to the site (outside of Eternal Wall of Answered Prayer demise), as now constructed. Full detail of the Access Road Plans has been subject to agreement with Warwickshire County Council Highways and it is requested that these drawings are included within the approved drawing list for completeness.

Variation to Conditions

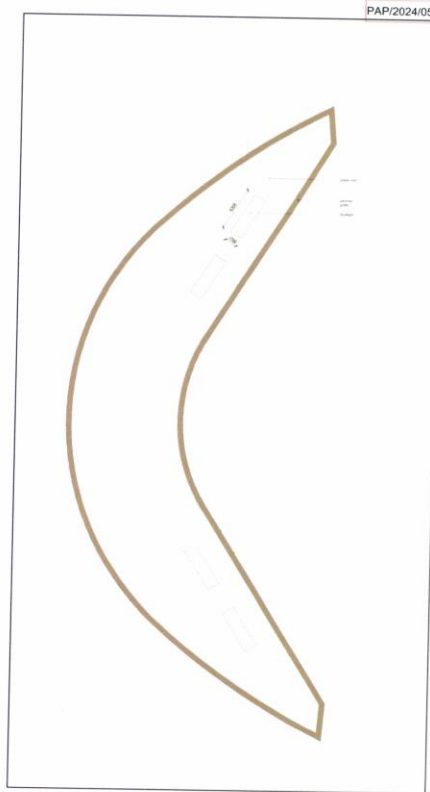
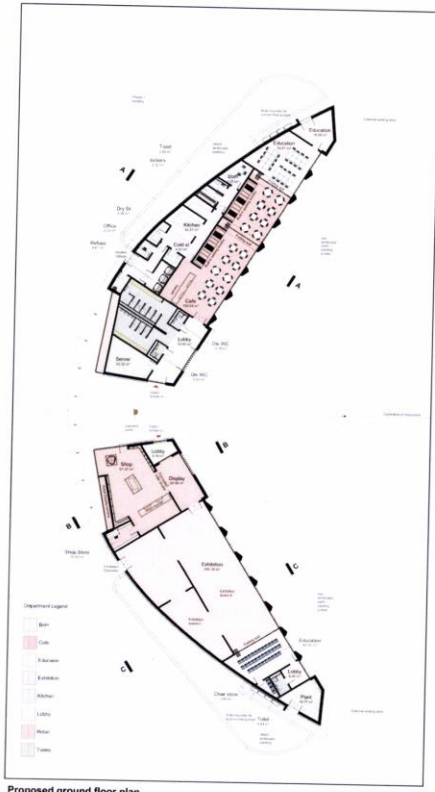
- 4.31 The principal amendment to the planning permission is the variation of Condition 2 ("Approved Plans"), in order to incorporate the proposed design and landscaping updates. This includes the substitution and introduction of plans, as identified within **Appendix 3**.
- 4.32 In addition to the above, updates to the wording of wider conditions within the permission are sought to enable the proposed amendments to be formally regularised through the Section 73 application. These sought alterations to the condition wording are included in **Appendix 4** in full.
- 4.33 As set out within this Statement, there have been various conditions which have been partially or fully discharged since the original full planning permission was granted, as well as approved non-material amendments. In order to ensure the permission, if granted, reflects the latest position in respect of non-material amendments and discharge of conditions, consequential amendments to a number of conditions will be required.
- 4.34 It is anticipated that the final wording of any conditions sought to be varied will be discussed and agreed with Officers during the determination of the application, and so to reflect the status of these at the time of the permission, as granted.

APPENDIX E



APPENDIX F





PAP/2024/0575

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PLANNING & DEVELOPMENT
SERVICES

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SCALE 1:200

- Department Legend
- 01 - Ball
 - 02 - Cafe
 - 03 - Exhibition
 - 04 - Kitchen
 - 05 - Lobby
 - 06 - Office
 - 07 - Toilet

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2023 08653 000 1:200 04/1

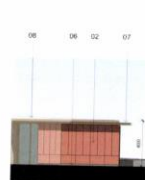
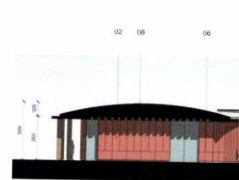
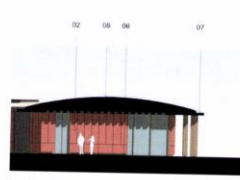
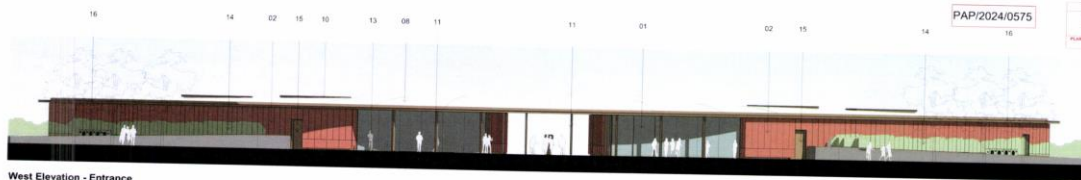
ERVIC/ARH/02 XX DR A/02/20 PJ

AR

External Wall of Assessment Project

External Wall Visitor Centre

Proposed plans (Visitor Centre B)



- KEY
- 01 Composite windows and doors - PPC Aluminium framed Colour: RAL 7032 Olive grey
 - 02 Wall Cladding - Vinyl, Colour: Red
 - 03 PPC Aluminium Rainwater goods
 - 04 Square edged rectangular hopper Colour: RAL 7032 Olive grey
 - 05 Powder coated aluminium cladding panel with feet of anodised primers. Working to be confirmed by client Colour: RAL 7032 Olive grey
 - 06 Recycled PPC insulation starting to be incorporated at base 150mm high Colour: RAL 7032 Olive grey
 - 07 Aluminium soffits and eaves with a decorative polyester powder coated finish. Channel profile to edge Colour: RAL 7032 Olive grey
 - 08 Green roof
 - 09 Vertical slats - Vinyl, Colour: Red
 - 10 Rooflight
 - 11 Feature PPC base columns forming building colonnade Colour: RAL 7032 Olive grey
 - 12 Play machine
 - 13 Exhibition display window
 - 14 Raised anodised aluminium plant bed
 - 15 PPC insulated aluminium door (Gate face) Colour: RAL 7032 Olive grey
 - 16 Wall mounted Air Source heat pumps, screened behind raised landscaping

SCALE 1:100

2023 08653 000 1:100 04/1

2023 08653 000 1:100 04/1

ERVIC/ARH/02 XX DR A/04/20 PJ

AR

External Wall of Assessment Project

External Wall Visitor Centre

External Wall (Visitor Centre B)



General Development Applications

(6/d) Application No: PAP/2024/0582

Land West of Marston Fields Farm, Kingsbury Road, Lea Marston

Application for the installation of a Battery Energy Storage System (BESS) plus ancillary infrastructure and equipment, landscaping, biodiversity improvements and access for

PACE Wedge Energy Ltd

1. Introduction

1.1 The receipt of this application is reported to the Board for information in advance of a full determination report.

2. The Site

2.1 This is a long rectangular parcel of land – 4.8 hectares in area – running north/south from the A4097 Kingsbury Road to the access track known as Seeney Lane, some 250 metres from the western edge of the Marston Camping and Caravan Site and a similar distance north of the Lea Marston Hotel. It lies between the Marston Fields Fishing Ponds and the HS2 Compound. There are 132kv overhead electricity cables and pylons running alongside the length of the western boundary. Marston is the nearest residential area some 300 metres to the east.

2.2 The land is generally flat but slopes from west to east with a cross fall from north to south and has recently been undergoing construction work to carry out the creation of three further fishing ponds granted consent in 2022. This has now ceased pending the outcome of this current application.

2.3 A public footpath runs along Seeney Lane.

2.4 Location plans are at Appendix A and aerial Photograph is at Appendix B.

3. The Proposal

3.1 This seeks to use the site to accommodate battery storage of up to 99.8MW over a forty-year period. Its primary function is to provide standby electricity storage capacity for the local network at peak times through a connection to the overhead lines that run alongside the site.

3.2 The site layout in essence is a collection of battery units and inverters which would take the form of two rows of containers running north/south throughout the site – these would measure some 7 by 3 metres and be 3 metres tall. In all. There would be some 144 such containers. Additional ancillary structures would comprise switchgear, a DNO substation and a communication/radio tower. The

main operational compound would be at the southern end of the site where there is direct vehicular access onto the A4097, via the existing access into the Fishing Ponds Site. This would house the substation as well as the 32 metre tall connection tower to link to the nearby existing pylons. Perimeter fencing would be installed – two metre tall, deer fencing – with 20 CCTV cameras mounted on 4 metre poles at intervals around the site.

- 3.3 The proposed layout is at Appendix C.
- 3.4 Illustrations of the containers, other structures and the sub-station are at Appendices D to F.
- 3.5 Supporting Documentation has also been submitted.
- 3.6 A Noise Impact Assessment considers the impact of potential sound generation from the plant associated with this proposal with respect to existing background sound levels in the area. It identifies the closest residential properties as being some 100 metres to the west, set back from the road and within a wooded area, those to the north-east on Seeney Lane (400 metres distant) and the residential properties in the Old Kingsbury Road at Marston (300 metres distant) as well as the caravans on the site a little further to the east. It also recognises the houses between the Hotel and the A4097 on Haunch Lane (180 metres away). The ambient noise levels are influenced by road traffic noise – from the A4097 and the M42 to the east as well the traffic generated by the HS2 compound. The Assessment concludes that the proposal would not give rise to unacceptable day and night-time sound impacts.
- 3.7 A Preliminary Ecological Assessment finds that it has low significance as it not located within any national or local designated area, and neither are there such areas close-by. Moreover, it has poor connectivity to neighbouring land and presently it is changed to accommodate a permitted series of artificial fishing ponds. No traces of protected flora or fauna were found on the site. The alternative proposals now under consideration propose grassland and scrub around the perimeter of the site, particularly to connect with the open areas on three of the sides together with a 700-metre long, native species hedgerow along the northern and western boundaries and a new pond. New trees would be planted along the eastern boundary. It is said that this would provide an 11% habitat gain with the hedgerow units being completely new.
- 3.8 An Archaeological Assessment has been made and points out that the site has been heavily impacted by the earthworks for the construction of the fishing ponds and that the planning permission for that work should have covered the need for any evaluation. There are Scheduled Monuments close by and with no intervisibility and there being major new development between the site and any other assets there is no heritage harm caused.

- 3.9 A Flood Risk Assessment and surface water drainage strategy has been submitted. The site itself is in Flood Zone One – the least at risk of fluvial flooding. The Environment Agency and the Lead Local Flood Authority are neither said to have recorded historic surface water flooding on the site. The adjoining fishing ponds do not pose a risk to the site because of the existing ground levels – being at a lower level. Owing to the need for groundwater protection in the unlikely event of a fire, infiltration is not proposed as a means of surface water discharge. As a consequence, all of the tracks and compound areas would be lined with an impermeable geotextile grid to prevent infiltration. Flows would be directed to run-off to the adjoining fishery ponds – in the same ownership as the application site. To enable this there would be three “cut-off” ditches installed along the eastern site boundary with restricted discharge valves into the corresponding fishery pond. Additional storage capacity and to manage any contaminated flows such as fire-fighting run-off, would be provided to the west of these ditches which could then be cleared separately. This strategy is illustrated at Appendix G.
- 3.10 A Construction Traffic Management Plan says that the construction period would last for around six months and with working hours of 0800 to 1800 on weekdays and 0800 to 1300 on Saturdays. The average HGV movement is said to be three or four a day (6 or 8 two-way movements) but that it would be greater than this in the initial set-up” period – the first four to six weeks. Traffic routeing for all HGV movements would be to Junction 9 of the M42 Motorway. Once completed, the operational phase of the development is expected to generate minimal traffic.
- 3.11 A Landscape and Visual Impact Assessment describes the existing site as being a collection of earth bunds, pools of standing water and areas of disturbed land within an undulating landscape setting with higher land to the west. There are noticeable small woodland blocks this setting which is much altered by the HS2 compound to the west; the “artificial” appearance of the fishery to the east and the nearby golf course, hotel and caravan site. The site boundaries are generally a mix of post and wire fences, earth bunds and overgrown hedgerows. There are no protected or designated landscapes affecting the site or its setting. A number of viewpoints have been identified including residential property and by pedestrian users of Seeney Lane and drivers on the A4097. Because of the relatively “low” landscape base-line here the Assessment concludes that the proposal could be “absorbed” into the surrounding landscape without significant harm, particularly with the removal of the earth bunding and the proposed perimeter hedgerow planting. Beyond the immediate setting, most visual impacts are assessed as being limited. The greatest and most adverse impacts are a result of the tall tower. Footpath walkers and drivers on the A4097 would however experience transitory adverse visual impacts. The Assessment concludes by saying that the development is reversible.

- 3.12 A Green Belt Assessment acknowledges that this is inappropriate development in the Green Belt. In this particular case it is argued that the proposal would not materially conflict with the purposes of including land within the Green Belt - the development would not represent “unrestricted sprawl” of large built-up areas; the perception of there being an unbuilt-up gap and a separation between settlements would remain and that it would not encroach on the countryside. The point is also made that the development is temporary and reversible. The Assessment further continues that there would be a “slight overall cumulative reduction in openness”. Overall, it is said that the actual Green Belt harm would be limited.
- 3.13 An Alternative Site Assessment reviews the prospect of alternative sites which might avoid Green Belt land and land of good agricultural quality but to also look at previously developed land. The starting point for that search is the identification of a secure grid connection point which has capacity to enable a viable BESS development. Such a connection is a National Grid Substation around 1.7 km south the current site. A 5km area of search was then defined. Environmental constraints were then considered as well as topography and access. Additionally, land-owners are then approached. A review of the North Warwickshire, Birmingham City Council and Solihull Metropolitan Borough Councils’ brown-field land registers was also undertaken. Identified sites were either too small or within residential areas. Agricultural Land Classification Maps were also reviewed. The opportunity to find sites is thus filtered and in this case the majority of the land in the remaining search area outside of built-up areas is in the Green Belt.
- 3.14 A Design and Access Statement describes the site and how the various elements of the proposal can best be laid out and treated so as to minimise any visual impacts bearing in mind the “utilitarian” nature of the structures involved.
- 3.15 A Statement of Community Involvement describes the applicant’s pre-application consultations, which were focussed around an exhibition event held at the Lea Marston Hotel in September 2024, together with a web-site, letters delivered to 622 residential households and 56 businesses, contact with the Middleton, Kingsbury, Lea Marston and Curdworth Parish Councils. Fourteen people attended the exhibition – with the main comments being about fire safety and traffic impacts.
- 3.16 A Planning Statement draws all of the matters together and places them in the overall national and local planning policy context. The applicant acknowledges that the proposal is inappropriate development in the Green Belt and thus the benefits of the scheme have to clearly outweigh the cumulative weight of the Green Belt harm caused together with any other harms identified. The applicant considers that this is the case and has identified the following matters that in his view do outweigh that level of harm and thus provide the very special circumstances necessary to support the proposal – the need to increase renewable energy generation; the present climate emergency, the need to secure

energy security, the reversible nature of the proposal, and the bio-diversity net gain and residual landscape and visual enhancements.

4. Development Plan

The North Warwickshire Local Plan 2021 – LP1 (Sustainable Development); LP3 (Green Belt), LP13 (Rural Employment), LP14 (Landscape), LP15 (Historic Environment), LP16 (Natural Environment), LP29 (Development Considerations), LP30 (Built Form), LP33 (Water Management) and LP35 (Renewable Energy)

5. Other Material Planning Considerations

The National Planning Policy Framework 2024 – (the “NNPF”)

National Planning Practice Guidance – (the “NPPG”)

Noise Policy Statement for England 2010

Climate Change Act 2008 and the 2019 Addendum

UK Solar PV Strategy 2014

Clean Growth Strategy 2017

Energy Security Strategy 2022

National Battery Storage Strategy 2023

UK 25 Year Environment Plan 2018

National Planning Statement for Energy – EN1 - 2024

National Planning Statement for Renewable Energy – EN3 – November 2023

The North Warwickshire Landscape Character Assessment 2010

6. Observations

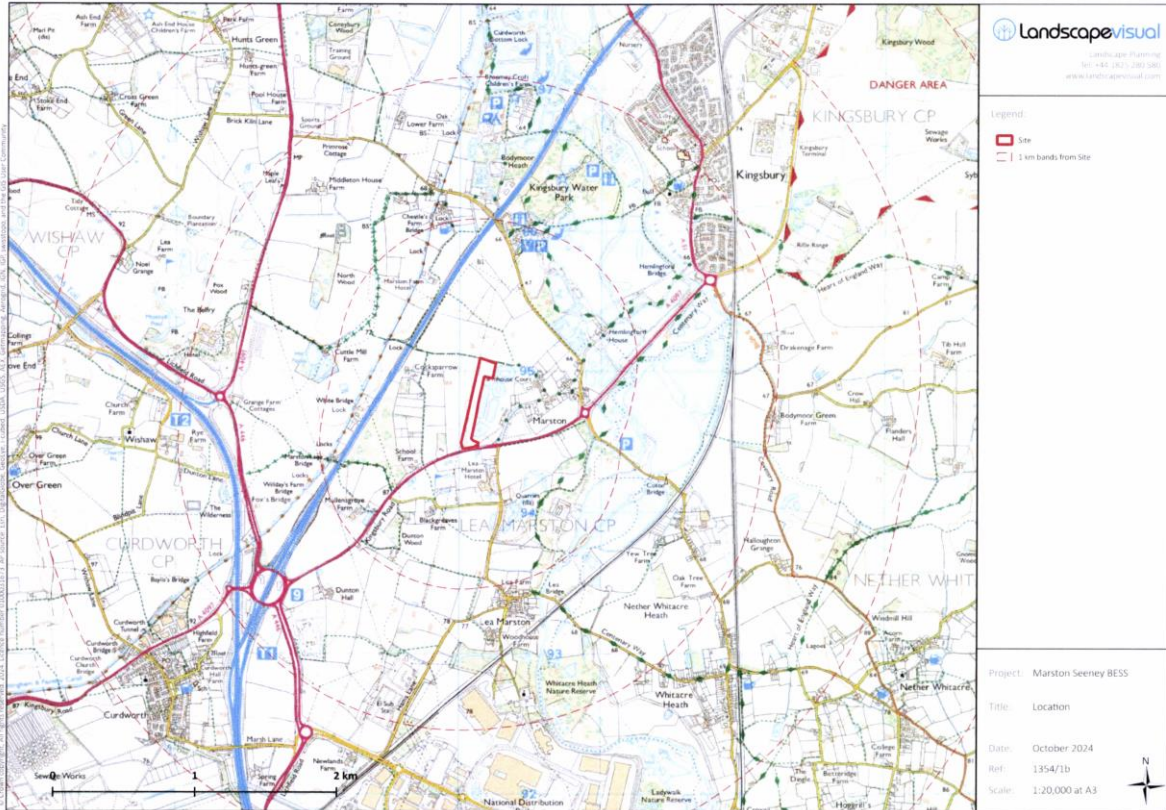
6.1 Members will be familiar with the planning issues involved with this type of application - others nearby have already been determined at Dunton Hall and east of Water Orton. The key issues will be assessments of the potential landscape and visual impacts as well as understanding the impact on the openness of the Green Belt and whether it conflicts with the purposes of including land within it. The likelihood be any flooding or traffic consequences will also need consideration. The final planning balance will assess the weight of the cumulative Green Belt and other harms against the benefits of the proposal as put forward by the applicant.

6.2 It is advised that as with the other cases, the Board should visit the site.

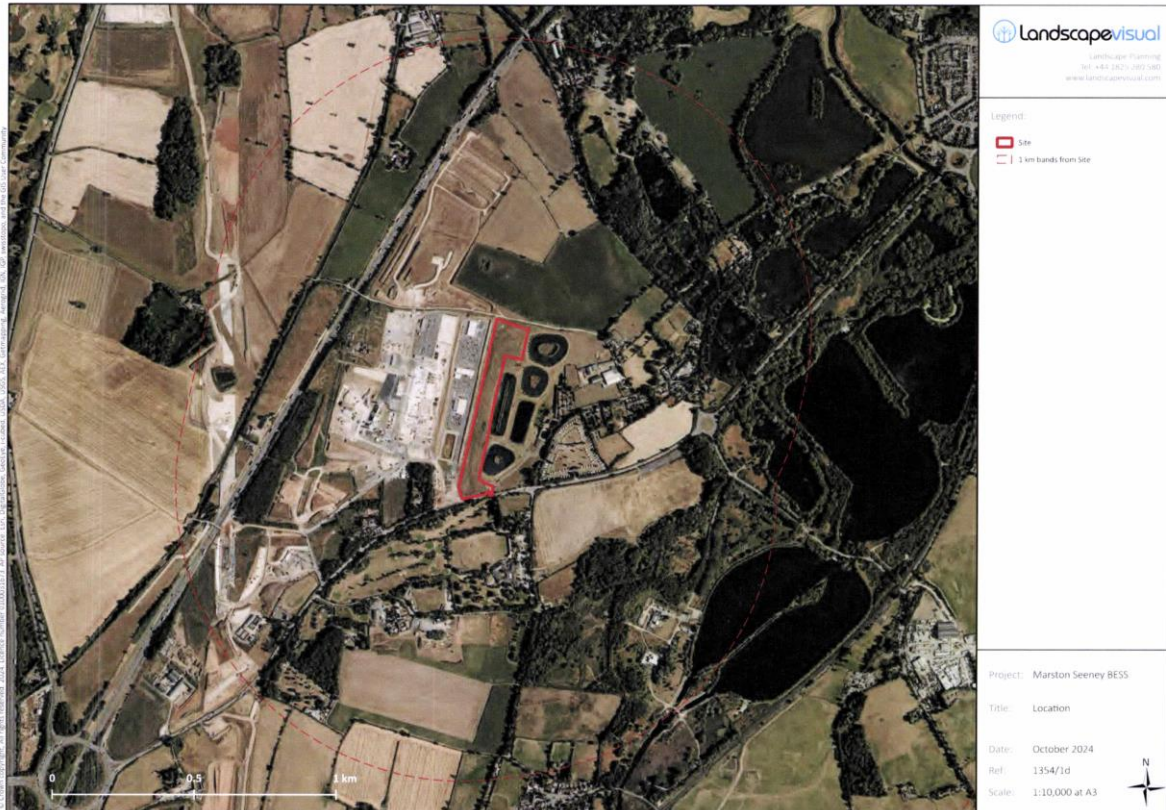
Recommendation

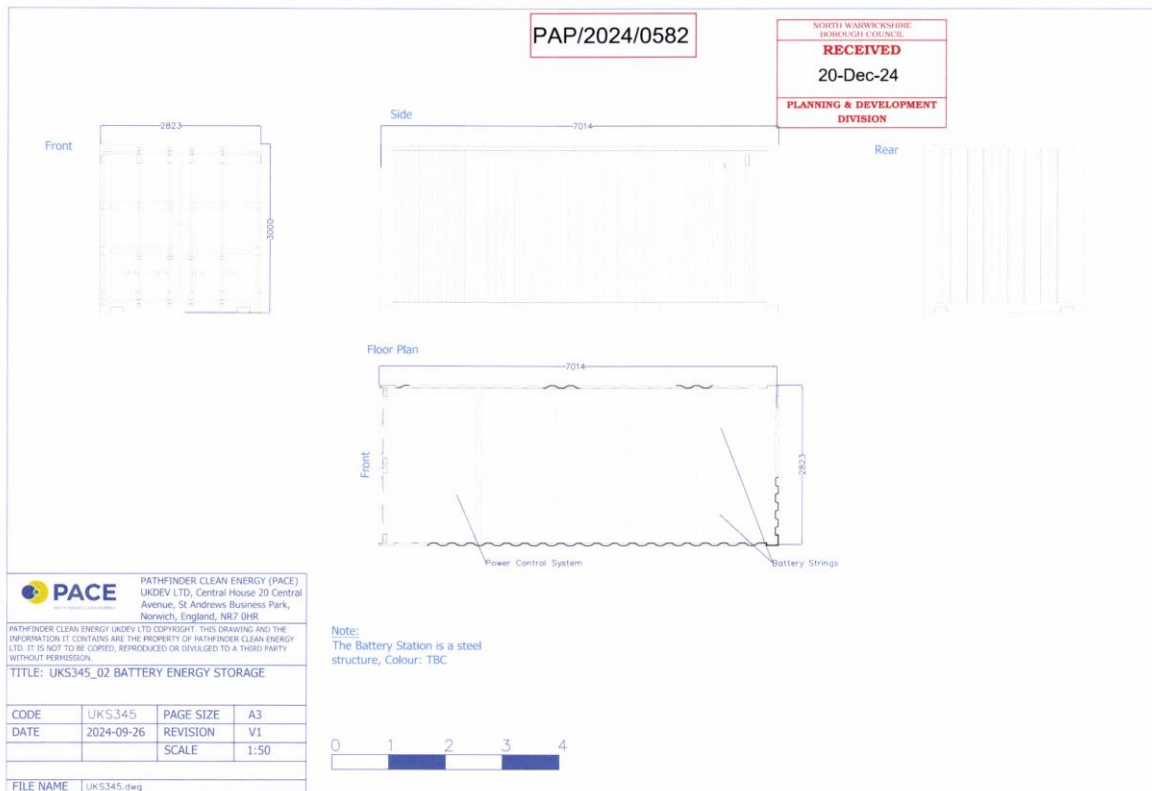
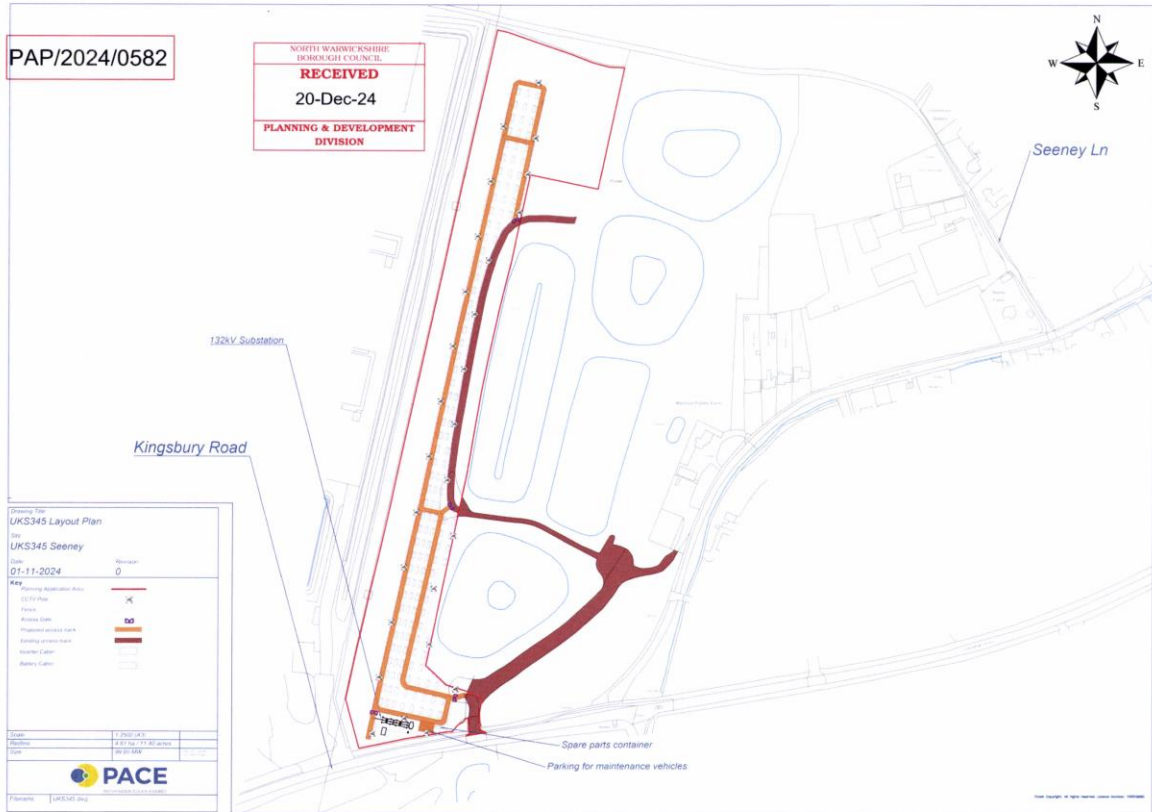
That receipt of the report is noted and that Members visit the site prior to determination of the application.

APPENDIX A



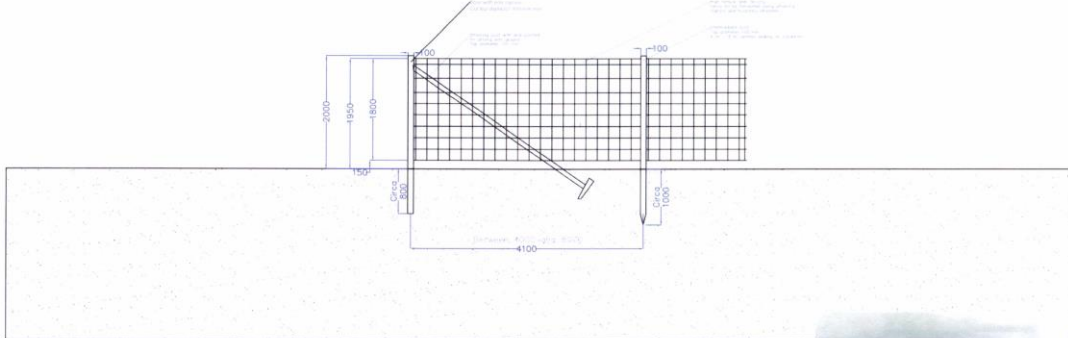
APPENDIX B





PAP/2024/0582

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20-Dec-24
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DIVISION



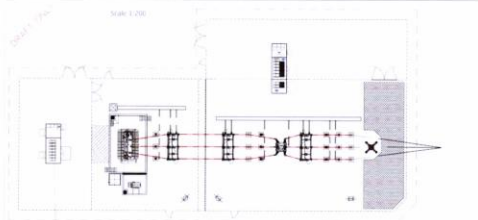
PACE PATHFINDER CLEAN ENERGY (PACE)
UKDEV LTD, Central House 20 Central
Avenue, St Andrews Business Park,
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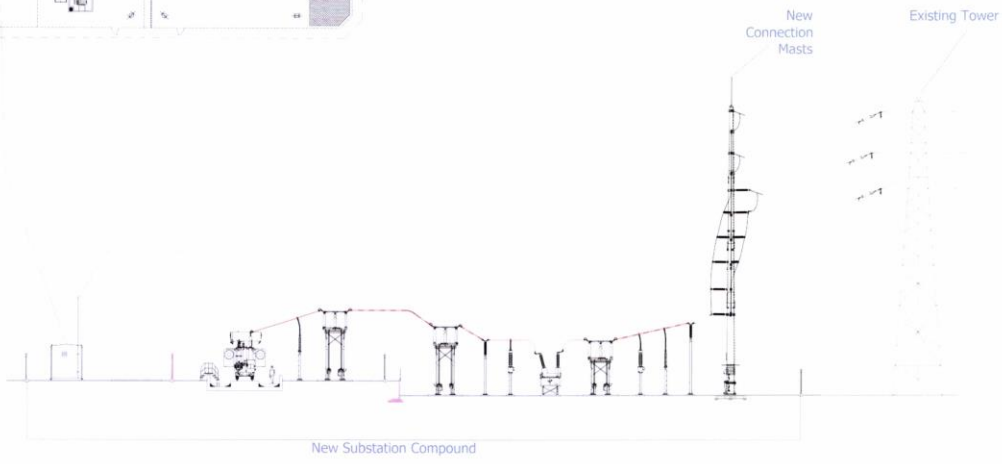
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CODE	UKS345	PAGE SIZE	A3
DATE	2024-09-26	REVISION	V1
		SCALE	1:50

FILE NAME | UKS345.dwg



PAP/2024/0582
20-Dec-24



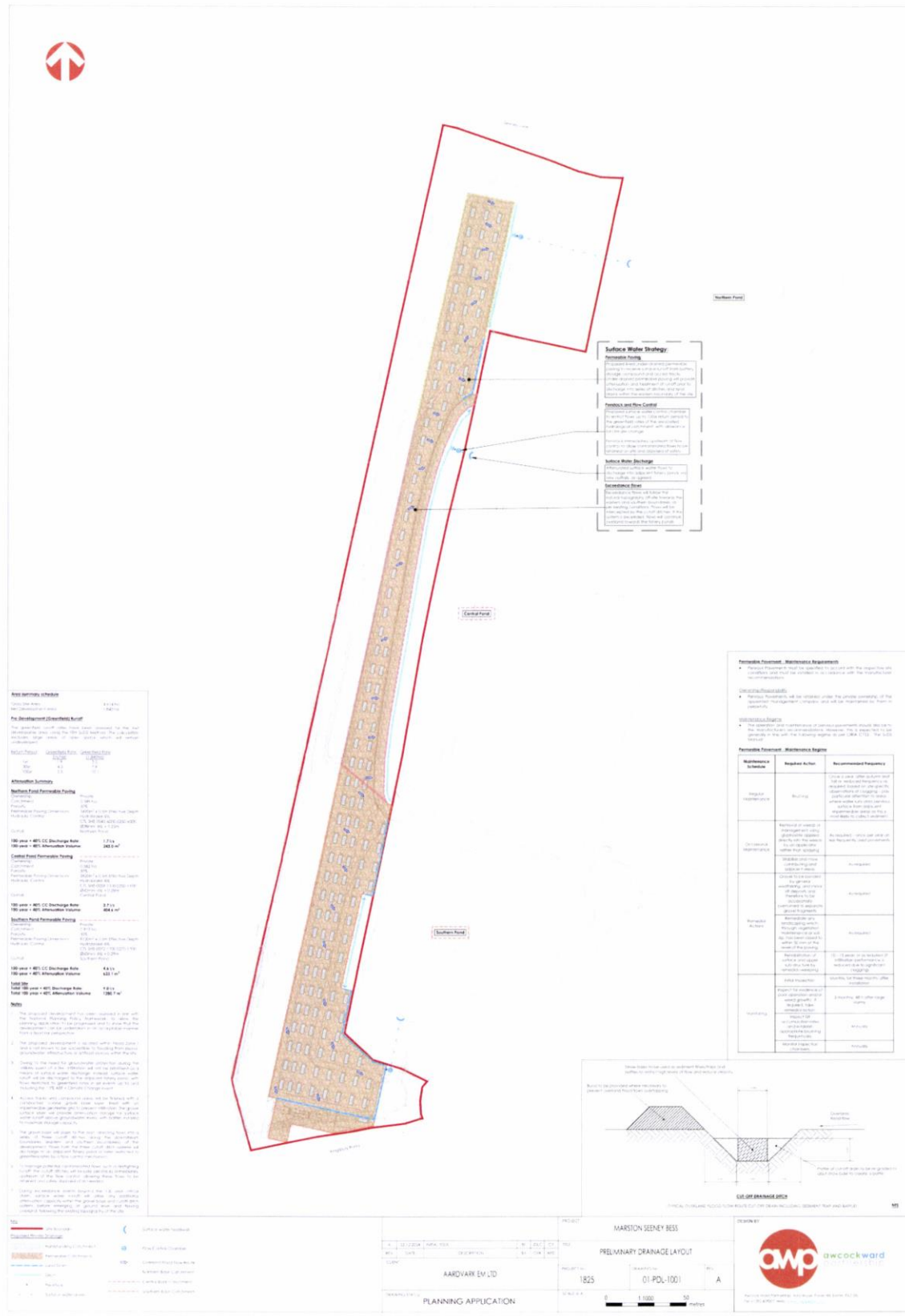
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TITLE: UKS345_06 Deer Fence Typical Arrangement

CODE	UKS345	PAGE SIZE	A3
DATE	2024-09-26	REVISION	V1
		SCALE	1:50

FILE NAME | UKS345.dwg



Surface Water Strategy

Permeable Paving
 Permeable paving is used to manage surface water runoff from the site. It allows water to infiltrate the ground, reducing the volume of water that needs to be treated. Permeable paving is used in the courtyard and on the roof of the building.

Feedback and Flow Control
 Feedback and flow control is used to manage the flow of water from the site. It is used to prevent flooding and to ensure that the water is discharged into the sewerage system at a controlled rate.

Surface Water Discharge
 Surface water discharge is used to manage the discharge of water from the site. It is used to ensure that the water is discharged into the sewerage system at a controlled rate.

Permeable Paving
 Permeable paving is used to manage surface water runoff from the site. It allows water to infiltrate the ground, reducing the volume of water that needs to be treated. Permeable paving is used in the courtyard and on the roof of the building.

Permissible Permeability Requirements

The permeability requirements for the site are as follows:

- Permeable Paving: 100% permeable
- Grassed Areas: 100% permeable
- Asphalt: 0% permeable
- Concrete: 0% permeable

Permeability Schedule	Proposed Action	Recommended Permeability
Grassed Areas	Grassed	100%
Permeable Paving	Permeable Paving	100%
Asphalt	Asphalt	0%
Concrete	Concrete	0%

Site Information

Site Name: [Redacted]
 Site Address: [Redacted]
 Site Area: [Redacted]

Site Description

The site is a long, narrow plot of land, approximately 100m long and 10m wide. It is currently a vacant lot. The site is bounded by [Redacted] to the north, [Redacted] to the south, [Redacted] to the east, and [Redacted] to the west.

Site History

The site has been vacant since [Redacted]. It was previously used as a [Redacted] site.

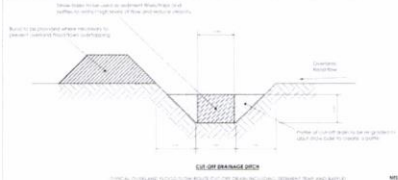
Site Access

The site is accessed via [Redacted] from the [Redacted] side of the plot.

Site Constraints

The site is subject to the following constraints:

- Boundary: The site is bounded by [Redacted] to the north, [Redacted] to the south, [Redacted] to the east, and [Redacted] to the west.
- Access: The site is accessed via [Redacted] from the [Redacted] side of the plot.
- Services: The site is served by [Redacted] services.



MARSTON SEENEY BESS

PRELIMINARY DRAINAGE LAYOUT

PROJECT NO: 1825 (01-PDL-100) A

DATE: 18/05/2024

SCALE: 1:100

CLIENT: AARDVARK EM LTD

PLANNING APPLICATION

awp awcockward

General Development Applications

(6/e) Application No: PAP/2024/0586

Land 400 Metres West Of Camp Farm, Knowle Hill, Hurley, Warwickshire,

The installation of a solar farm of up to 49.9 MW of generating capacity, comprising the installation of solar photovoltaic panels and associated infrastructure including substation, cabling, inverter and transformer substations, spare part container, associated battery storage, access tracks, fencing, security cameras, landscape planting, areas for Biodiversity Net Gain and associated works, for

- Ampyr Solar Europe

1. Introduction

- 1.1. The receipt of this application is reported to the Board for information and a determination report will be brought to the Board in due course.
- 1.1 As the applicant agrees that the development is inappropriate development in the Green Belt, the Board is advised that should it be minded to support the proposal, the matter would need to be referred to the Secretary of State under the 2024 Direction as a consequence of it being “Green Belt” development as defined by that Direction.
- 1.2 An Environmental Impact Screening Opinion concluded that the proposal would not need an accompanying Environmental Statement, as it was not likely to result in significant environmental effects.

2 The Site

- 2.1 This comprises 75 hectares of agricultural land to the west of Brick Kiln Lane at Hurley Common, north-east of the Coventry Road, north of Knowle Hill and east of the Kingsbury Rifle Range. Camp farm and its outbuildings abut the south-west corner of the site. The closest residential properties are at Camp Farm, together with frontage on the north side of Knowle Hill to the south (60 metres distant). There are also residential properties to the north off Brick Kiln Lane (250 metres distant from the panels). Other properties are to the south - Drakenage Farm, Tib Hall Farm and a collection of property at Bodymoor Green (respectively 400, 300 and 500 metres away). The southern edge of Kingsbury is 600 metres to the west and the Hurley Recreation Ground is 100 metres to the east on the other side of Brick Kiln Lane.
- 2.2 The site is in open countryside with the Rifle Range to the west as well as the Birmingham-Derby Rail line set on an embankment. The site itself slopes northeast/southwest in line with the general topography of the land and has a fall of around 30 metres. It presently comprises two large arable fields with some hedgerow remnants and trees dotted throughout the site. There are more

substantial hedgerows along the southern and south-eastern boundaries as well as along Brick Kiln Lane.

- 2.3 A public footpath – the T56 – crosses east/west over the site from Camp Farm to the southern edge of the Rifle Range and a second – the T55 - runs alongside the north-western boundary of the site adjoining the Rifle Range and running up to Old Rail Farm further to the north.
- 2.4 A general location map with the footpaths is at **Appendix A**.

3 The Proposals

- 3.1 This is for a solar PV array with an installed capacity of 49.9 MW, together with a battery storage area with a capacity of 50 MW. It is said that the site would generate enough electricity to power around 25,000 homes. It is proposed to arrange the panels so as to re-instate the historic field pattern thus adding in new hedgerow and tree planting along those former field boundaries and their margins. The typical height of the panels would be 2.8 metres and these would be fixed into the ground by poles piled into the land. Other infrastructure includes inverters, transformers, a private substation and cabling. The fourteen inverters are to be located within the centre of the panel arrays – each some 6 metres by 3 metres and 3 metres high. The Substation compound housing the switching gear and transformers would be some 50 metres by 12 metres with the tallest elements at six metres tall. It would be bounded by a 2.5 metre tall palisade fence. A brick and tile control building would be 25 metres by 7.5 metres and 5 metres to its ridge. The Battery Storage System will comprise some fourteen steel containers, each being 15 metres by 3 metres and 3 metres high. The Battery Storage System, the substation and the control building would all be located together in a compound towards the far south-western edge of the site.
- 3.2 A post and wire deer fence – two metres tall would be erected around the perimeter of the site with CCTV cameras mounted on 3 metre wooden poles at 50 to 100 metre intervals. A new construction and operational access for the site will be provided off Knowle Hill around 110 metres west of its junction with the access track that leads to Camp Farm. This would be six metres wide with a bell-mouth design. A secondary access from Camp Farm would also be used.
- 3.3 The footpath that runs through the centre of the site would be diverted around the southern perimeter of the site and this would be widened to 10metres so as to enable cycle access.
- 3.4 Landscape mitigation measures proposed include 3.2 km of new native hedgerows running along the southern boundary of the site and sub-dividing the existing large field at the western end of the site together with a 1.2 km long belt of woodland to the southern boundary. Further tree planting would take place alongside existing hedgerows and additionally the field to the west of Brick Kiln Lane and the site would become a native-species meadow suitable as mitigation

- for skylark displacement. A corridor of land within the site at its western end would become pasture that would be “wet meadowland”.
- 3.5 It is estimated that construction would take 16 to 20 weeks - with 10 HGV movements a day averaging over that period – and working hours being 0800 to 1800 on weekdays and 0800 to 1300 hours on Saturdays.
- 3.6 The proposed development is designed to operate for forty years, with decommissioning and return to agricultural land.
- 3.7 A plan illustrating the general layout as well as plans showing the various buildings and structures are at **Appendices B to H**.
- 3.8 A number of supporting documents have been submitted.
- 3.9 An Arboricultural Assessment found there to be 91 trees across the site of which 52 were of high and medium quality including three Veteran Trees. There are no trees protected by Order and there are no Ancient Woodlands on or adjoining the site, although the woodland within the Rifle Range and bounding its south-eastern side is identified as a priority habitat woodland. None of the high and medium quality trees are proposed for removal and the only hedgerow to be removed is that needed to construct the new access. The Assessment concludes that these removals will be significantly mitigated by the range and scale of the new planting.
- 3.10 A Glint and Glare Assessment looked at residential, road and rail receptors within a kilometre of the site’s boundary. Once mitigation takes place, the Assessment found that that there would be no adverse solar reflections at any of these receptors. Additionally, there would be no impact in respect of aviation. The Assessment stresses that mitigation is very necessary for those residential receptors at Camp Farm, Drakenage Farm and at the Hurley Recreation Ground – (PS: this Assessment was undertaken prior to the removal of panels from the field opposite the Ground) and for road receptors using Knowle Hill. The Assessment concludes that there would be no adverse impacts.
- 3.11 A Flood Risk Assessment shows that the site is wholly in Flood Zone One, where there is the least risk of fluvial flooding. A small drainage channel is present at the edge of the northwestern boundary which flows away from the site through the Rifle Range towards the River Tame to the west. There are other overgrown small drainage ditches on the eastern, southern and western boundaries. Water naturally infiltrates and overland flow is towards the west where there is the lowest land in a small drainage ditch which drains into a channel within the Rifle Range. After heavy rainfall there is often standing water within this ditch. Apart from this, the Assessment concludes that there is little flood risk, but that mitigation is needed to address the surface water events at the location identified. The applicant’s drainage strategy responds to this. All vulnerable plant (the Battery Storage and Substation compound) is located outside of the area most prone to this local flooding and there would be storage swales provided

around its perimeter with restricted discharge rates into a pipe to the ditch. Additionally, the swales here are to be designed so as to accommodate and deal with any pollution associated with fire water run-off. Permeable surfaces are to be provided to all access tracks and other areas where the inverters are to be located. The areas under and around the panels would be put over to pasture thus reducing infiltration. It was noted in para 3.4 above that the drainage ditch referred to here would become “wet meadow”. This is a direct consequence of the existing and surface water system and the proposed mitigation.

- 3.12 An Agricultural Land Assessment shows that the site 98% of the site is graded as 3b (moderate quality agricultural land) with the remainder being non-agricultural land.
- 3.13 An Ecological Assessment of the site shows that there are no designated sites within it, but that the Rifle Range is of local wildlife interest. The overall habitat value is low being arable land with limited hedgerow and tree cover and no traces of protected species were found on site or nearby. The Assessment concludes that the landscape mitigation measures proposed here will result in a beneficial impact in terms of hedgerow and tree re-instatement and enhancement. Additionally, the new “wet meadow” will be of value and the mitigation being proposed at the eastern end of the site with the skylark meadow will be sufficient to compensate the loss of displaced nesting areas. Overall, the proposals would result in a 47% increase in habitat units, a 214% increase in hedgerow units and a 15% watercourse gain.
- 3.14 A Noise Impact Assessment has looked at the potential noise impact on a number of perimeter residential properties as well as on the route of the proposed footpath diversion. This concludes that the only receptor that might experience increased noise levels is the residential property at Camp Farmhouse – the landowner’s property.
- 3.15 A Transport Statement identifies the existing access to the site as being through Camp Farm itself which would remain as a secondary access into the site. A new access off Knowle Hill is being proposed and it has been designed in line with the Highway Authority specifications for the speed limit on this road – 60mph. However, the greatest use will be over the limited construction period of up to 20 weeks with an average of 10 deliveries a day and a maximum of 45 a day. The operational period, post construction would see traffic generation fall to around one movement a day. The proposed route is via Brick Kiln Lane, Hurley Common and Wood End and Trinity Road to Junction 10 of the M42. This is because of the height restriction of the rail overbridge on the Coventry Road south of Kingsbury and the length and nature of the route from there to Coleshill and its motorway connections. Overall, the assessment concludes that the proposal would satisfy both national and local highway planning policy.
- 3.16 A Heritage Impact Assessment identifies that there are no Internationally designated sites or Registered Parks or Gardens within the site, or within three kilometres of its boundary. The Kingsbury Conservation Area is about 1.2 m

north-east of the site. Three Scheduled Ancient Monuments are within a three-kilometre boundary - the moated Drakenage Farm, the double moated site east of Baxterley Church and the medieval enclosure castle and post-medieval house at Kingsbury Hall. There are 50 Listed Buildings within three kilometres, of which three are Grade 2 star. An additional 25 non-designated assets are within a kilometre of the site, 17 of which are of archaeological interest.

- 3.17 The Assessment concludes that there would be no harm caused to the character of the Kingsbury Conservation Area or its setting, because of there being no intervisibility due to a combination of distance and screening from intervening development. The closest of the Monuments is Drakenage Farm. Its significance arises from its historic and archaeological interest being the retention of high status domestic medieval features within a wider medieval landscape. However, its setting has been much disturbed by later agricultural practices and new development – eg. the Range and the railway embankment. The proposal is said to protect views of the remaining setting through the landscape mitigation measures at the western end of the site. However, there could well be an impact in the construction period on that wider setting. The other two monuments are much further away and as with the Conservation Area are not considered to be affected by the proposals.
- 3.18 In respect of the Listed Buildings then there is no direct impact on their fabric or built form and thus it is an assessment of the impact on their setting that is the issue here. The Assessment deals with the assets closest to the site – Tamehurst House (on Coventry Road on the other side of the rail overbridge); Flanders Hall to the south of Knowle Hill, Atherstone House within Hurley and the Hurley and Wood End War Memorial, again in Hurley. The Assessment concludes that the setting of these assets would not be affected. Similarly, the assessment concludes that there would be no impact on the non-designated assets outside of the site. However, there are two within the site – a potential park bank being part of the earthwork remnants of a possible estate boundary in the medieval landscape and a marl pit used as a quarry for the construction of Camp Farm. These features would be removed by the development.
- 3.19 In respect of underground assets, the Assessment indicates that the site has been under agricultural use since at least the later medieval period, and it has been much affected more recently by hedge removal and ploughing. In terms of potential, the Assessment concludes that there is a low potential for unrecorded archaeology of prehistoric date, from the Roman period and post-medieval and modern periods. However, there is moderate interest in the medieval period given the monuments at Drakenage Farm and that Hurley was an established medieval settlement.
- 3.20 The Assessment concludes that overall, there would be some impact on the heritage assets here and that further targeted evaluation is needed, particularly in the Drakenage Farm area in order to establish the significance of those assets here as well as to establish a mitigation strategy.

- 3.21 A Landscape and Visual Impact Assessment describes the landscape setting of the site including the presence of residential settlements as well as the views into and around the site. The site is not in an area designated for its landscape quality. Its characteristics are best described by the North Warwickshire Landscape Character Assessment 2010 – the site being in the Wood End to Whitacre (Upper Tame Valley Uplands) Character Area. This identifies the main landscape features as being undulating farmland, small valleys and smaller irregular fields with good hedgerow structure and trees. These features are largely absent from the site which is indicative of the loss of landscape features and its diminished condition, resulting in a “featureless” site much affected through the removal of hedgerow field boundaries and agricultural intensification. It lies broadly on a west facing slope towards the River Tame with intervening topography and development limiting views from the Kingsbury Area, but there are open views westwards across the Tame Valley with an increase in the number and nature of urban influences. There is a small ridge running east/west across the site limiting views of the bulk of the site from Hurley Common. The removal of the easternmost field adjacent to Brick Kiln Lane substantially limits views from residential property here.
- 3.22 In landscape terms, there will be major to moderate landscape impacts within the site itself. However, the extensive landscape mitigation proposed for incorporation into the development will, the Assessment concludes, lead to a significant improvement in landscape condition and quality. Their impact will particularly lead to these adverse effects reducing rapidly with distance from the site, such that the overall residual impact on the landscape character is evaluated as being minor.
- 3.23 In visual terms the assessment concludes that there will be adverse impacts for footpath users – even with the diversion – from drivers using Knowle Hill and from properties on the more elevated ground to the south. However, these will all reduce as the landscape mitigation measures become established. Significantly, the removal of the eastern field at Brick Kiln Lane is a major benefit.
- 3.24 Overall, the Assessment concludes that the landscape and visual impacts will not be significant.
- 3.25 A Safety Management Plan has been submitted in order to address potential fire safety risks for the Battery Storage Area. This looks at the spacing and location of the individual units; the detection and suppression systems introduced and the availability on site of water supplies for fire-fighting. It recommends consultation with the HSE and the Fire and Rescue Service.
- 3.26 A Statement of Community Involvement describes the applicants’ pre-application consultation with the local community. This included a number of pre-consultation briefings including with the Kingsbury Parish Council and the Hurley Community Association. Over 2200 notifications were posted to individual properties and 70 to local businesses. A consultation/exhibition took place in Hurley Village Hall on 12 June 2024 at which 70 people attended; press releases were organised and a

dedicated website set up. Over the whole of the consultation, 64 responses were received, the great majority from local residents in Hurley. There was a high level of no support for the proposals referring in the main to landscape and visual impacts, concerns about wildlife and to its scale. The applicant says that as a consequence of the responses, he has directly removed solar panels from the north-eastern field that adjoins Brick Kiln Lane opposite the Recreation Ground and added more hedgerows and trees within the site.

- 3.27 A Planning Statement is submitted which draws together the conclusions reached above and places them into a planning policy context referring to the Development Plan as well as to the NPPF and to National Energy Policy. It also addresses the potential impact on the Green Belt.
- 3.28 The Statement acknowledges that the proposal should be treated as inappropriate development in the Green Belt. It concludes that there would be a limited spatial and visual impact on the openness of the Green Belt here adding that there would be negligible activity associated with the development after construction and that it would be de-commissioned and removed after forty years. Moreover, it concludes that, whilst the development would alter the appearance and character of the site, its limited life-span and additional landscape planting would mean that there would be no conflict with the third purpose of including land within the Green Belt, namely “safeguarding the countryside from encroachment”. The Statement thus concludes that there would at most, be limited harm to the openness of the Green Belt.
- 3.29 The Statement then identifies the planning considerations which are cumulatively said to clearly outweigh the total weight of any harms that have been identified. These are the recognised requirement for renewable energy generation; there is a confirmed point of connection to the National Grid at Lea Marston, the overall impact on openness and landscape character is minor, farm diversification and significant bio-diversity gain. These are said to outweigh the harm caused thus amounting to the very special circumstances necessary to support the proposal.

4 Development Plan

The North Warwickshire Local Plan 2021 – LP1 (Sustainable Development); LP3 (Green Belt), LP13 (Rural Employment), LP14 (Landscape), LP15 (Historic Environment), LP16 (Natural Environment), LP29 (Development Considerations), LP30 (Built Form), LP33 (Water Management) and LP35 (Renewable Energy)

5 Other Material Planning Considerations

The National Planning Policy Framework 2024 – (the “NPPF”)

National Planning Practice Guidance – (the “NPPG”)

Climate Change Act 2008 and the 2019 Addendum

UK Solar PV Strategy 2014

Clean Growth Strategy 2017

Energy Security Strategy 2022

UK 25 Year Environment Plan 2018

National Planning Statement for Energy – EN1

National Planning Statement for Renewable Energy Infrastructure – EN3

North Warwickshire Landscape Character Assessment 2010

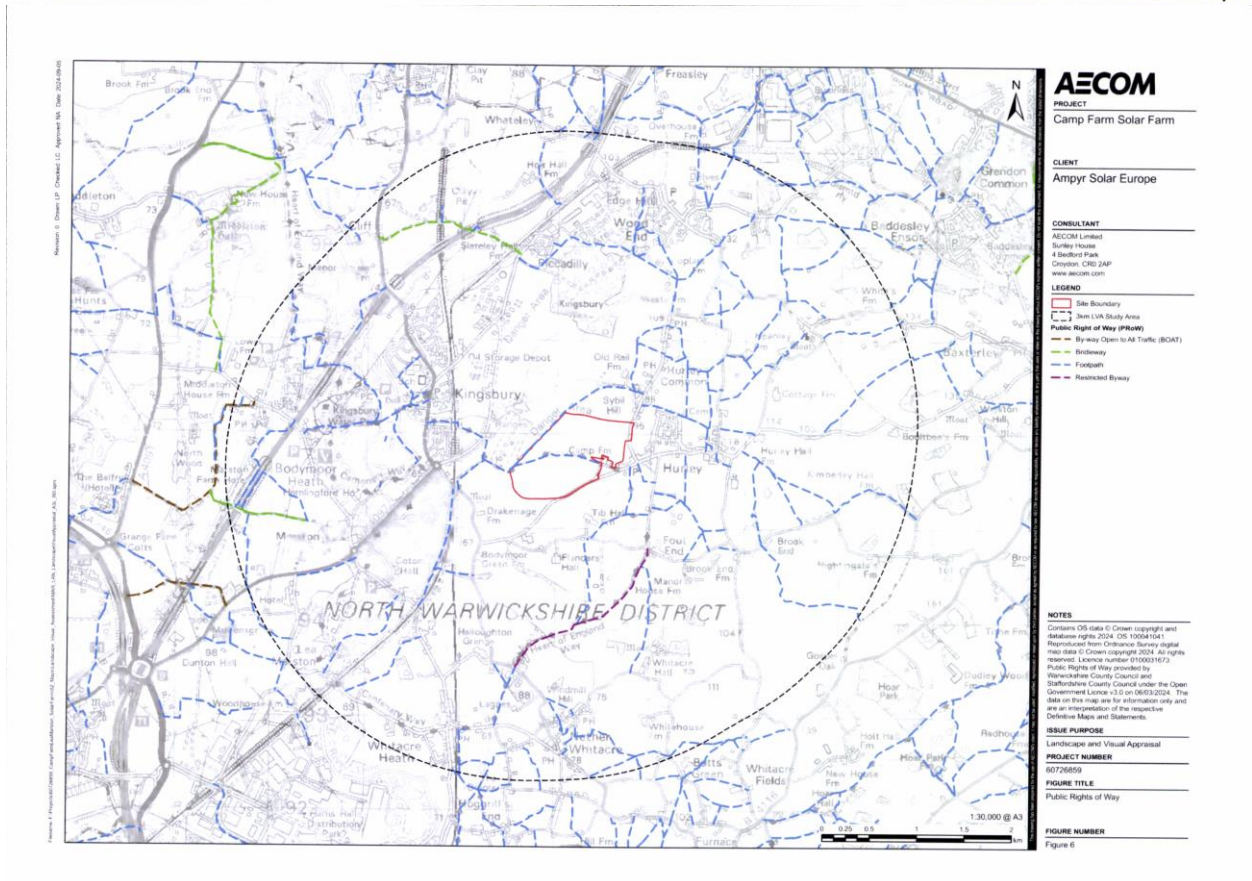
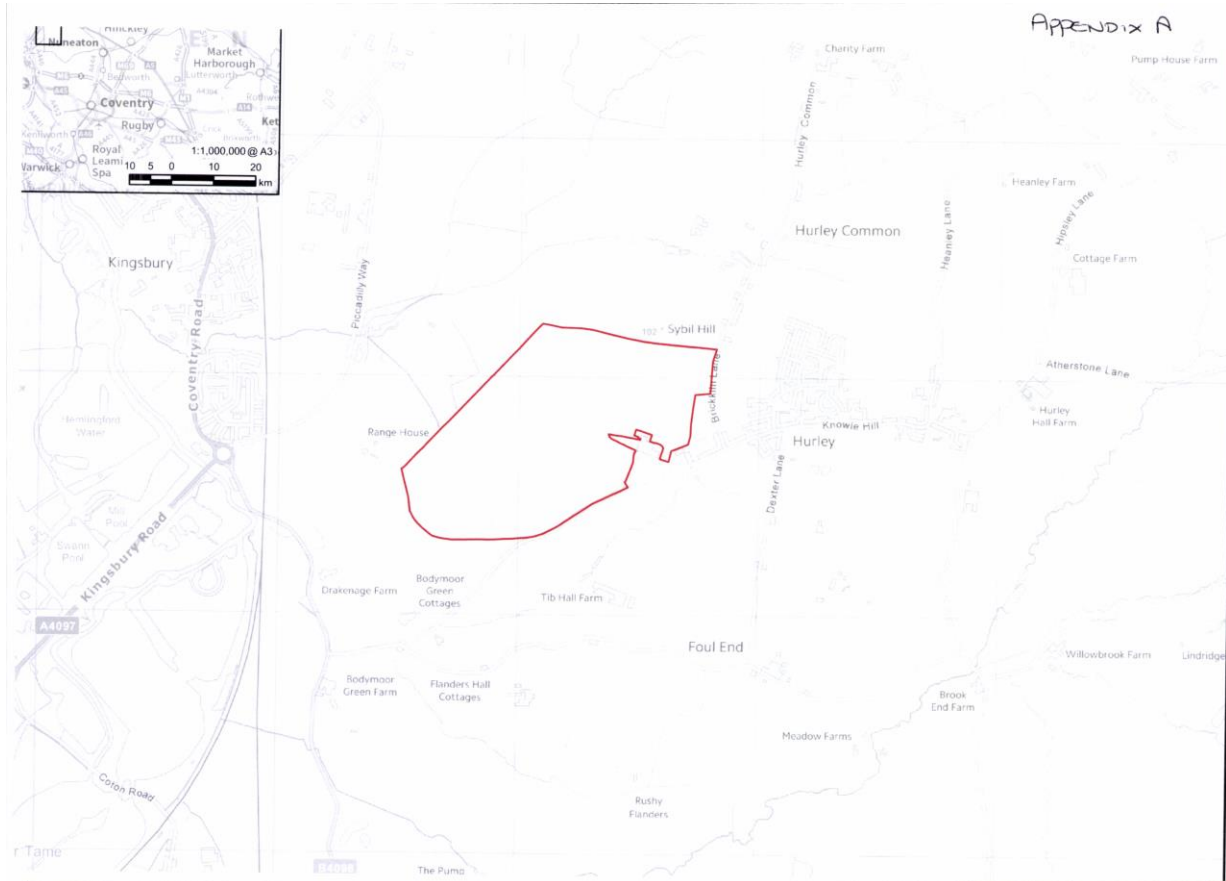
The Kingsbury Conservation Area Designation Report.

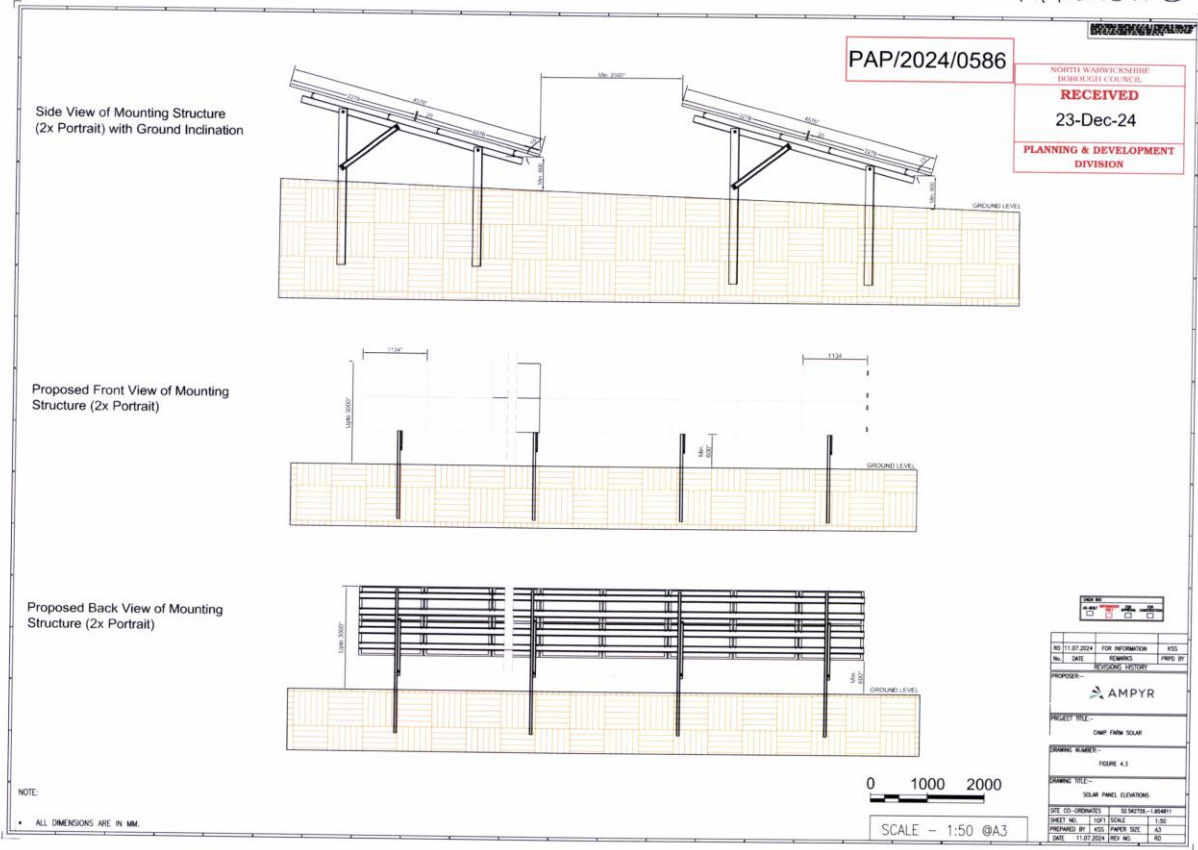
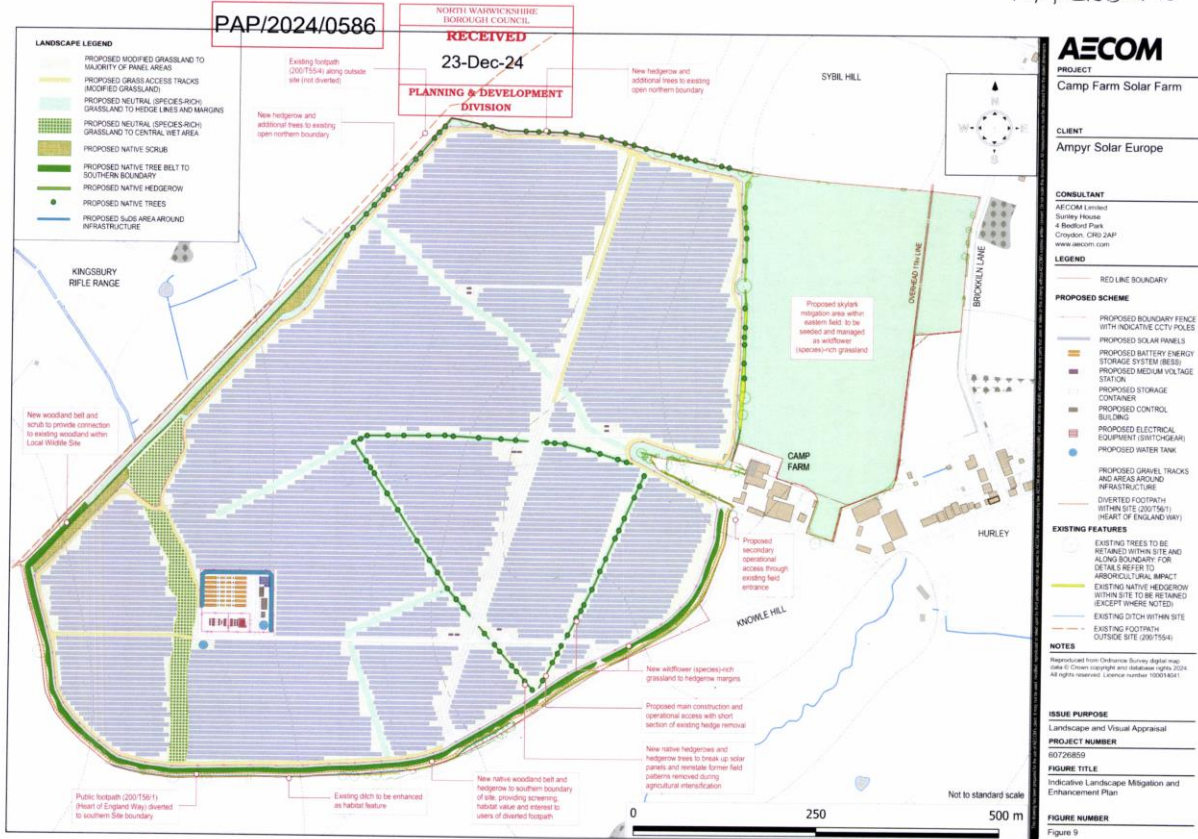
6 Observations

- 6.1 Members will be familiar with the planning issues involved with this type of application - it is the eighth application that has had to be determined. The key issues will be assessments of the potential landscape and visual impacts as well as understanding the impact on the openness of the Green Belt and whether it conflicts with the purposes of including land within it. As in previous cases the use of agricultural land will need to be assessed as well as whether there are likely to be any flooding, traffic or heritage consequences.
- 6.2 It is advised that as with the other cases, the Board should visit the site.

7 Recommendation

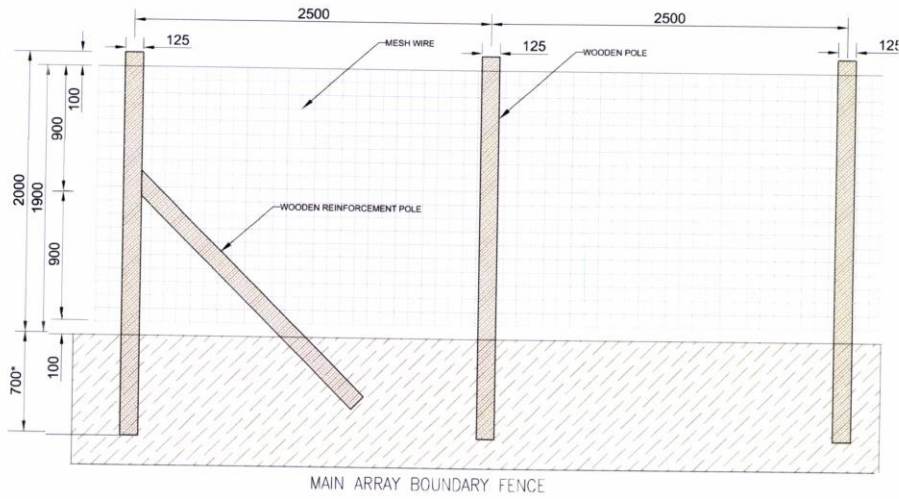
- 7.1 That the Board notes receipt of the application and visits the site prior to its determination.





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*NOTE:

- THE DEPTH OF FOUNDATION SHALL BE AS PER GEOTECH REPORT.
- ALL DIMENSIONS ARE IN MM.

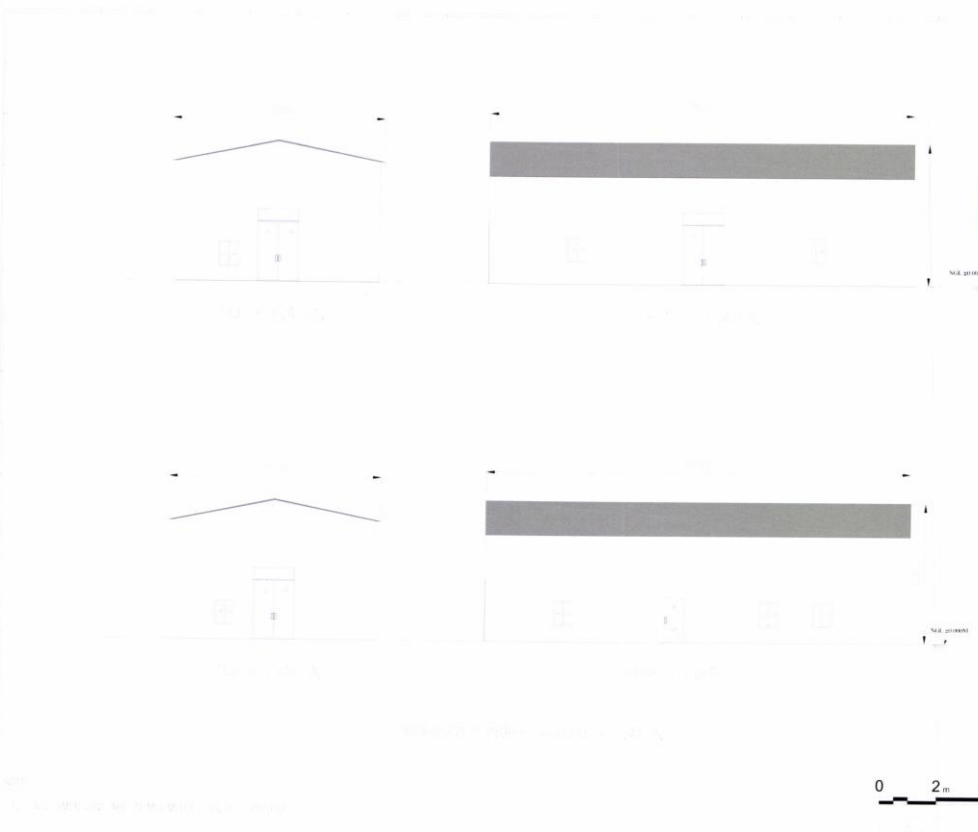


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PROPOSED	AMPYR		
PROJECT TITLE	CAMP TRIM SOLAR		
DRAWING NUMBER	FIGURE 4.4		
DRAWING TITLE	SOLAR ARRAY BOUNDARY FENCE		
SITE CO-ORDINATE	152 982729 - 1094811		
SCALE	1:20		
PREPARED BY	KSS (PAPER SIZE: A3)		
DATE	11.07.2024 (REV NO: 00)		

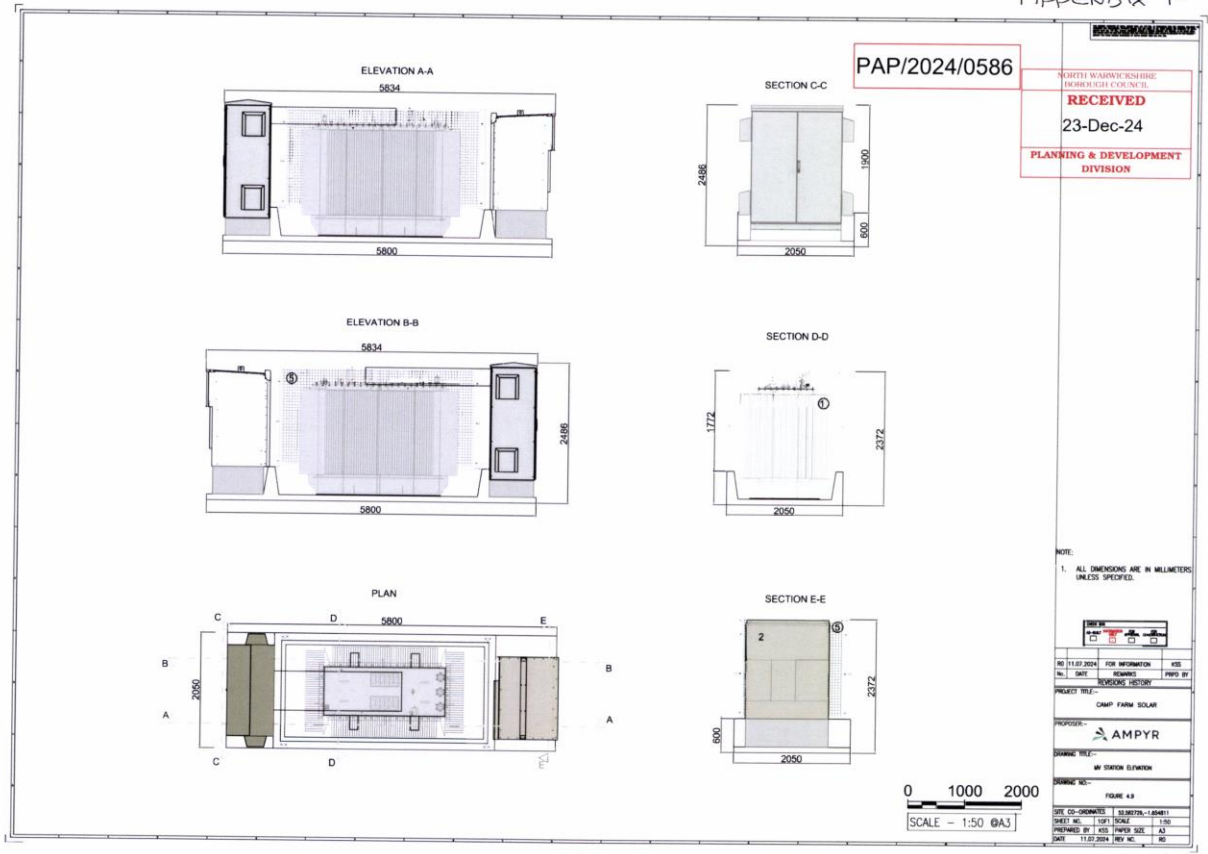
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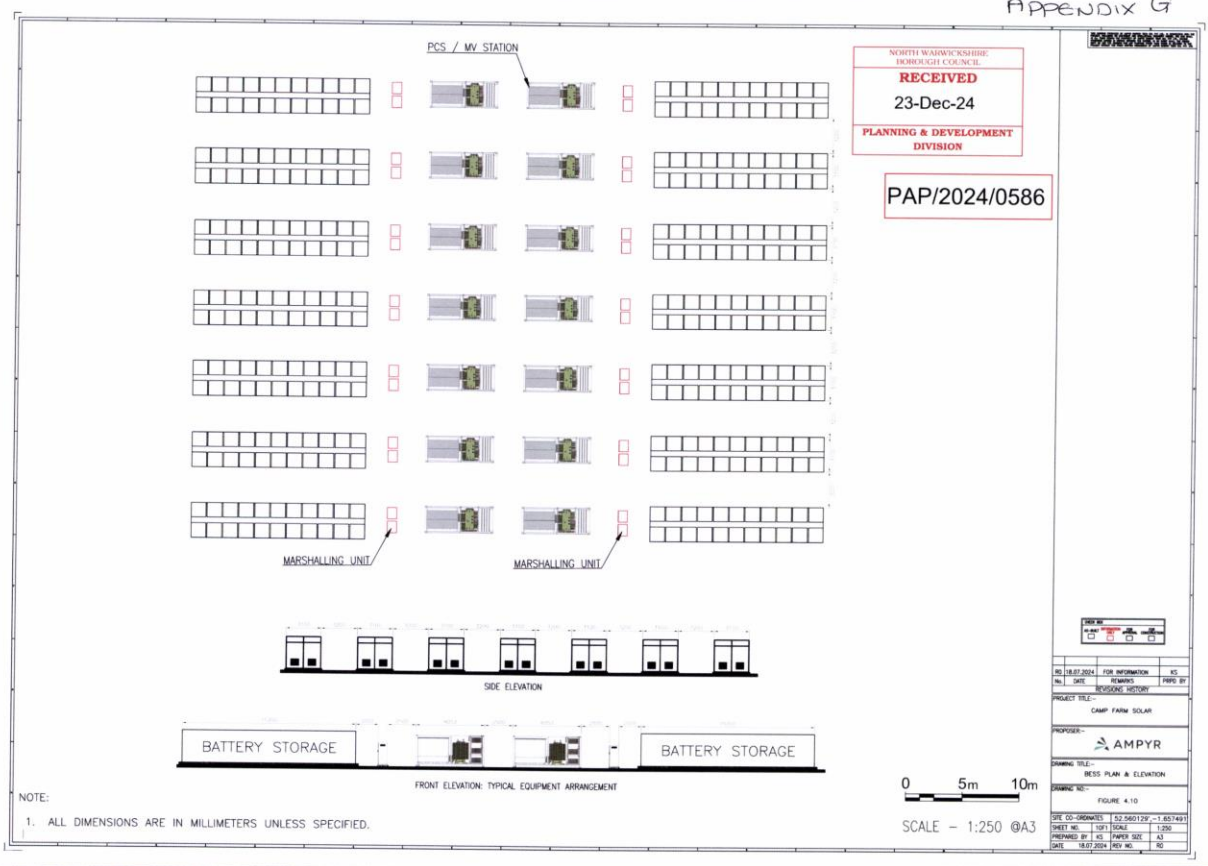


DATE	11.07.2024	FOR INFORMATION	KSS
NO.	124	REVISION	ISSUED BY
PROPOSED	AMPYR		
PROJECT TITLE	CAMP TRIM SOLAR		
DRAWING NUMBER	FIGURE 4.4		
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SITE CO-ORDINATE	152 982729 - 1094811		
SCALE	1:20		
PREPARED BY	KSS (PAPER SIZE: A3)		
DATE	11.07.2024 (REV NO: 00)		

APPENDIX F

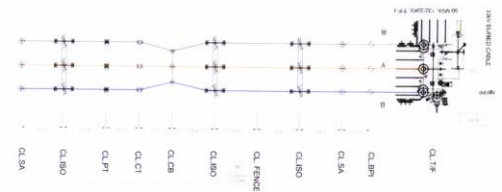


APPENDIX G

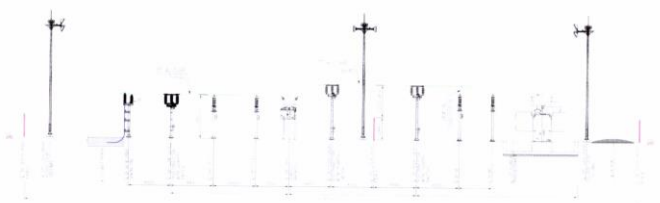


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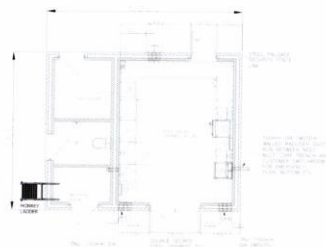
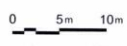
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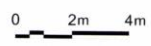
PLAN VIEW OF SWITCHYARD



PRELIMINARY SUBSTATION CROSS SECTION DETAILS
SECTION A-A



PLAN VIEW OF DNO CONTROL STATION



AMPYR

1. ROAD DESIGN SHALL BE AS PER THE GEOTECH STUDY & REGULATORY REQUIREMENTS.
2. ROAD DESIGN SHALL BE AS PER THE GEOTECH STUDY & REGULATORY REQUIREMENTS.

General Development Applications

(6/f) Application No: PAP/2024/0453

Lynwyn, Botts Green Lane, Over Whitacre, Coleshill, B46 2NY

Regularisation of the existing incidental outbuilding and replace roof structure to existing garages and store with higher roof structure, for

Mr Carlo Fontanella

1. Introduction

1.1 This application is referred to the Board because the recommendation includes the need for a Section 106 Agreement.

2. The Site

2.1 This is a large open site on the south side of Botts Green Lane, on the opposite side from the Listed Building at The Bothie, and east of Stonebank Cottage. There are no other nearby neighbours as the site is in open countryside. It consists of the existing dwellinghouse known as Lynwyn, a residential annexe which was converted from a previous detached garage and a five-bay garage outbuilding. Lynwyn and the annexe share a communal garden area with the garage, the subject of this application. Unusually the ground level of this shared garden is lower than the surrounding land along its southern boundary. The difference in height is around 3 metres as a consequence of what is understood to be a former stone quarry wall.

2.2 The location is shown on the attached plans at **Appendices A and B**

3. The Proposal

3.1 It is proposed to replace the roof structure over the existing garage outbuilding with a higher ridge line. The existing building has two heights - 4.6 and 4.8 metres. The proposal is for a 6.3 metre height over the whole building. There would be no change to the eaves level.

3.2 The existing building has storage space in its roof space. The proposed height would also enable this use to continue in its roof space.

3.3 The existing and proposed elevations and floor plans are at **Appendix C and D**.

4. Background

4.1 The present outbuilding is shown in the photograph dated 2017 at **Appendix E** which also includes a photo of the quarry wall.

- 4.2 Planning permission was granted in 2008 for a stable and barn on the site of this out building. This was not taken up, but instead a three bay garage was constructed in its place on the same footprint. This is the building that makes up the right-hand side of the present structure on site – see the photograph at Appendix E. Enforcement action was not considered to be expedient given that a building of very similar proportions and on the same footprint had been granted planning permission in 2008. As such the right-hand section of the existing building with its three garage bays is considered to be lawful because of the passage of time.
- 4.3 The additional two bays on its left-hand side, with the lower ridge height, were then added without the benefit of planning permission. There is no Certificate of Lawfulness confirming lawfulness of this addition in the absence of a planning permission. However, it is known from photographic evidence taken from officer case-files, that it was there in 2017 – see **Appendix E**. As a consequence, on the balance of probability, the extension would appear to be lawful through the passage of time. The whole five-bay structure would thus appear to be lawful.
- 4.4 It is in this circumstance that the current application, apart from proposing the ridge increases, also seeks retrospective permission for the retention of the whole of the existing extended garage building.

5. Development Plan

North Warwickshire Local Plan 2021- LP3(Green Belt), LP 29 (Development Considerations) and LP30 (Built Form)

6. Other Relevant Material Planning Considerations

The National Planning Policy Framework 2024 (“NPPF”)

Supplementary Planning Guidance: - A Guide to the Design of Householder Developments, adopted September 2003.

7. Representations

- 7.1 A letter of support has been received from the owner of the adjoining property.
- 7.2 The Parish Council objects on the grounds that the current building is not lawful and because it is considered that the proposals would enable the larger building to be converted to new residential accommodation. The Parish Council also re-iterates concerns it had at the time of earlier planning applications, particularly the annexe and the lack of enforcement action in respect of developments at this site.

8. Observations

a) Introduction

8.1 Members will see from the above that there is “speculation” concerning the future use of the building the subject of the application and concern about past breaches of planning control at the site as well as other alleged breaches. Members will be aware that “speculation” is not a material planning consideration in the determination of planning applications. The application before the Board is to be determined on its own planning merits. The past planning history of a site and alleged breaches of planning control may or may not be a planning consideration in the assessment of those merits and this report will advise Members accordingly.

b) The Proposal

8.2 The application before the Board is for the retention of the whole of the existing building on the site as a garage, together with the raising of the ridgeline across the whole of the building to 6.3 metres, with domestic storage being the proposed uses on the upper floor.

c) The Application Building

8.3 The whole of the application building and its use for garaging is considered, on the balance of probability, to be lawful because of the passage of time. The Council’s own evidence supports this conclusion. – the photograph, together with comparing the plans as now submitted, with that photograph. As such, that part of the current application to retain the building as presently on site will be supported.

d) The Increase in Height

8.4 The site is in the Green Belt. Building operations here, are defined by the NPPF, as being inappropriate development and thus harmful to the Green Belt, carrying the presumption of refusal. However, the NPPF does identify a number of exceptions to this. One of these is where the development involves an extension to an existing building. The NPPF says that these need not necessarily be inappropriate, provided they are not “disproportionate” additions over the original building. ‘Disproportionate’ is not defined in the NPPF, but Local Plan policy LP3 says that this should involve both qualitative and quantitative assessments.

8.5 In respect of the quantitative assessment, then a figure of an increase in volume of 30% is suggested as a guide by Local Plan policy LP3. In this case, the “original” building will have to be taken as the whole of that which is on site presently. This is because the whole has been found to be lawful through this current application. The difference here between the existing and proposed volumes is an increase of just under 20%.

- 8.6 In respect of the qualitative assessment, then the proposal is just to increase the height. This does not adversely impact on the appearance of the building or alter its presence in its overall setting. It would result in a built form that is in-keeping and appropriate. Additionally, it is not considered that the increase will materially lead to a loss of openness of the Green Belt here. This is for two reasons. Firstly, because of the building's setting with other similar structures in the associated residential curtilage and the small collection of other neighbouring buildings in the locality – see **Appendices A and B**. Secondly, the building is set right against the high bank at the rear as referred to above and as illustrated in the photograph at **Appendix E**.
- 8.7 Combining these assessments, it is considered that the proposal is not disproportionate and is thus appropriate development in the Green Belt.
- 8.8 As indicated above, the resultant building is considered to be appropriate in design and appearance terms and in the absence of any neighbouring property there are no adverse impacts.
- 8.9 This part of the proposal can thus also be supported.

e) Other Matters

- 8.10 Given the planning history of this site and its location in open countryside and in the Green Belt, it is considered necessary to impose conditions together with a Section 106 Agreement which would control the use of the building and any future design changes or additions. These are set out below. The applicant has indicated his agreement to make a Unilateral Undertaking confirming that this building remains in use as a garage with storage space above.

RECOMMENDATION

That planning permission be **GRANTED** subject to the submission of a Section 106 Undertaking based on the content of this report and the following conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, and to prevent an accumulation of unimplemented planning permissions.

2. The development hereby approved shall not be carried out otherwise than in accordance with the location plan, block plan and the proposed elevations numbered 004 and 006, received by the Local Planning Authority on 09 October 2024; and the Planning Statement, received by the Local Planning Authority on 22 October 2024.

REASON

To ensure that the development is carried out strictly in accordance with the approved plans.

3. The new roof shall be carried out with reuse of the existing roof tiles fully to the front elevation, and recalimed roof tiles to match the colour, shape, materials, size and texture of the existing, mixed with the remainder of the existing tiles to the rear elevation only.

REASON

In the interests of the amenities of the area and the building concerned, and to minimise the visual appearance of the reclaimed roof tiles necessary for the larger roof surface.

4. The building hereby approved shall not be used for any purpose other than for garaging and for domestic storage purposes, incidental to the enjoyment of the dwelling known as Lynwyn, as such, and shall not be used for any other purpose or sold off, sub-let or used as a separate unit of accommodation.

REASON

To prevent unauthorised use of the property, and protect the Green Belt from the impact of unauthorised use and highway safety due to increased activity on the site.

5. For the avoidance of doubt the external stair and door in the western side elevation shall be wholly removed at the same time as the roof height is raised. No additional windows or door openings in all elevations and roof planes shall be made, other than as shown on the plans hereby approved, nor shall any approved openings, windows or doors be altered or modified in any manner.

REASON

To protect the privacy of the occupiers of adjoining properties.

6. No development whatsoever within Classes A, AA, B, C and E of Part 1 (and Class A of Part 2, of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification), shall commence on site without details first having been submitted to and approved by the Local Planning Authority, in writing.

REASON

In the interests of the amenities of the area, and to prevent unauthorised alteration and subdivision of the site to enable conversion of the outbuilding and separate uses of the site. For the avoidance of doubt, the removal of permitted development rights applies to the whole of the site known as Lynwyn, as such, including the existing annexe and outbuildings.

Notes

1. This permission does not convey any legal or civil right to undertake works that affect land or premises outside of the applicant's control. Care should be taken upon commencement and during the course of building operations to ensure that no part of the development, including the foundations, eaves and roof overhang will encroach on, under or over adjoining land without the consent of the adjoining land owner. This planning permission does not authorise the carrying out of any works on neighbouring land, or access onto it, without the consent of the owners of that land. You would be advised to contact them prior to the commencement of work.
2. The developer is reminded that the Control of Pollution Act 1974 restricts the carrying out of construction activities that are likely to cause nuisance or disturbance to others to be limited to the hours of 08:00 to 18:00 Monday to Friday and 08:00 to 13:00 on Saturdays, with no working of this type permitted on Sundays or Bank Holidays. The Control of Pollution Act 1974 is enforced by Environmental Health.
3. In dealing with this application, the Local Planning Authority has worked with the applicant in a positive and proactive manner through positively determining the application. As such it is considered that the Council has implemented the requirement set out in paragraph 38 of the National Planning Policy Framework.

APPENDIX A



Wider Site Location Plan 1:250

APPENDIX B – Site Location Plan 1:1250



SITE LOCATION PLAN
AREA 5 HA
SCALE 1:1250 on A4
CENTRE COORDINATES: 424467, 292322

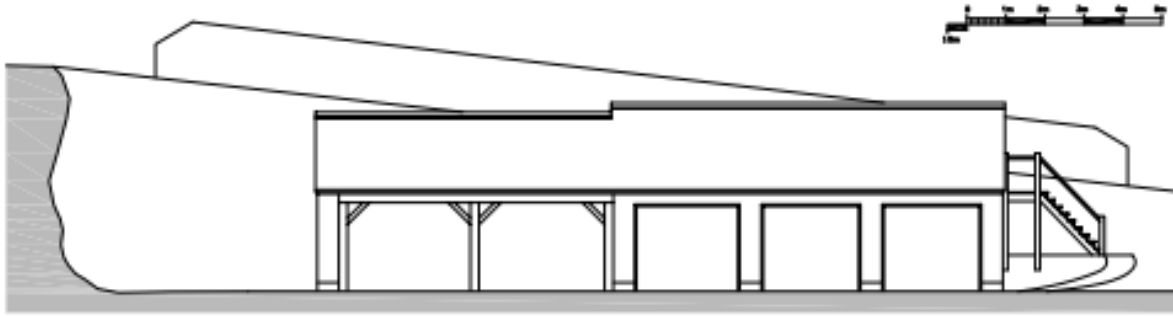
PAP/2024/0453



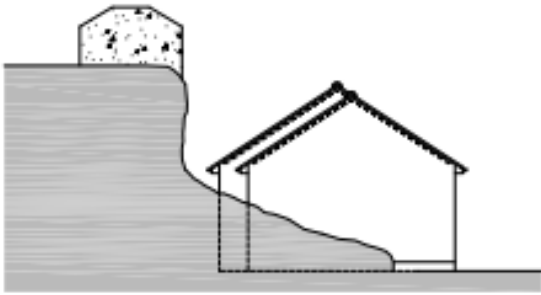
Supplied by Streetwise Maps Ltd
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NORTH WARWICKSHIRE BOROUGH COUNCIL
RECEIVED
09/10/2024
PLANNING & DEVELOPMENT DIVISION

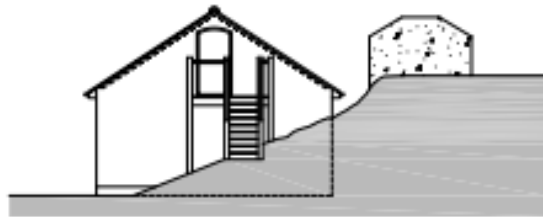
APPENDIX C – Existing Elevations



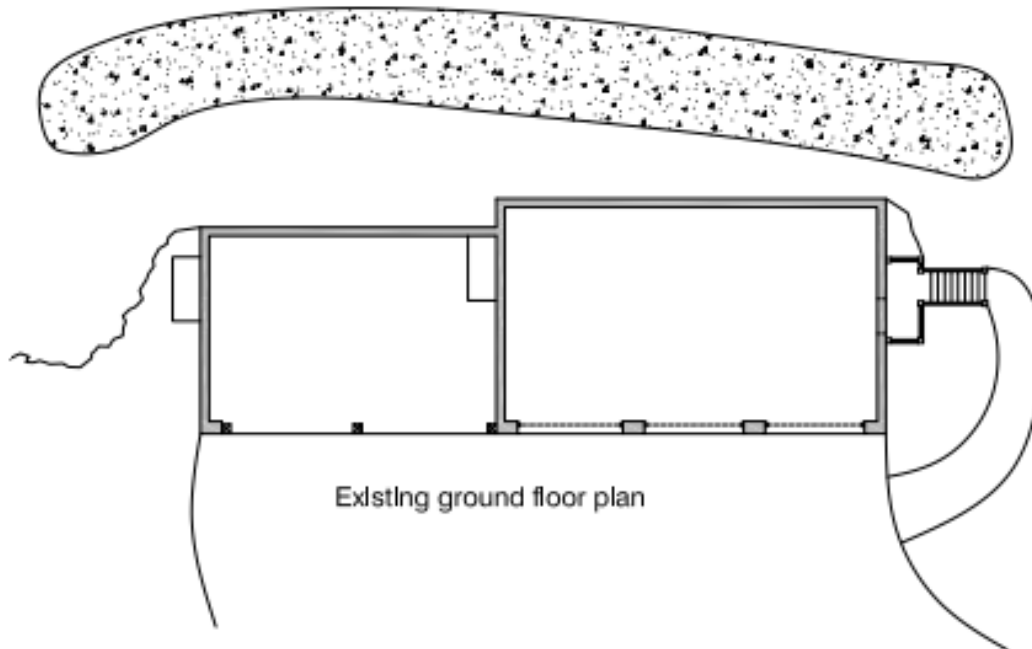
Existing front elevation



Existing side elevation

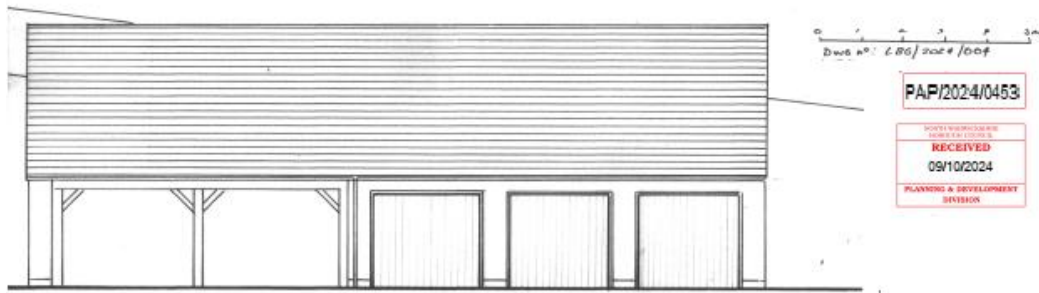


Existing side elevation



Existing ground floor plan

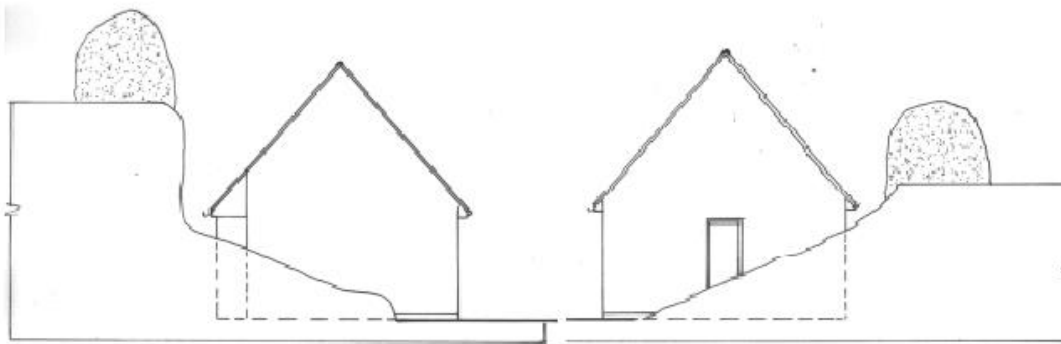
APPENDIX D – Proposed Elevations



PAP/2024/0453

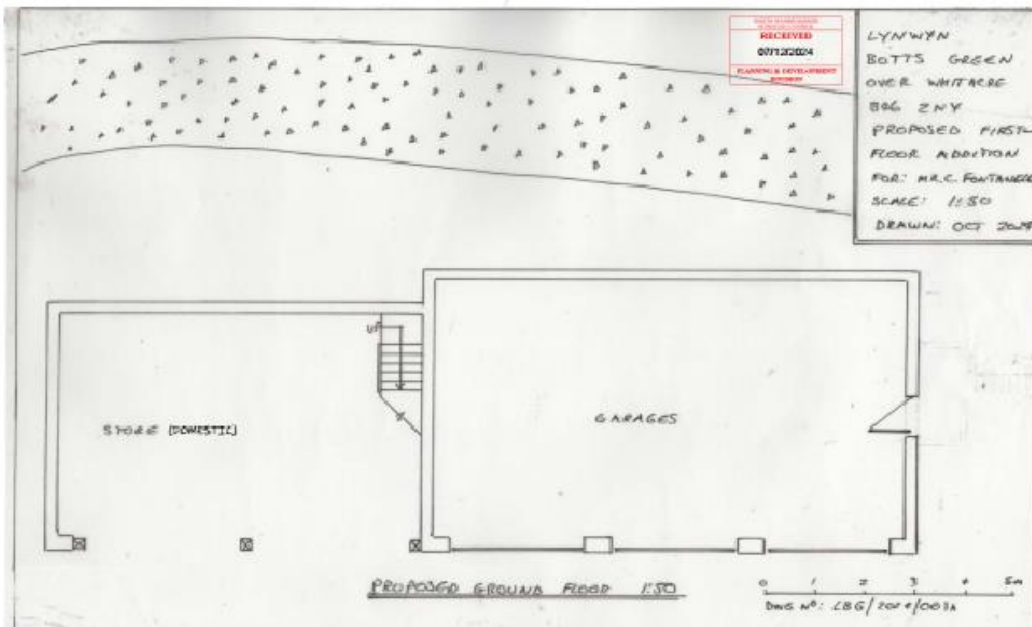
NOTICE RECEIVED
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 PLANNING & DEVELOPMENT
 DIVISION

PROPOSED FRONT ELEVATION 1/50



PROPOSED SIDE ELEVATION 1/50

PROPOSED REAR ELEVATION 1/50

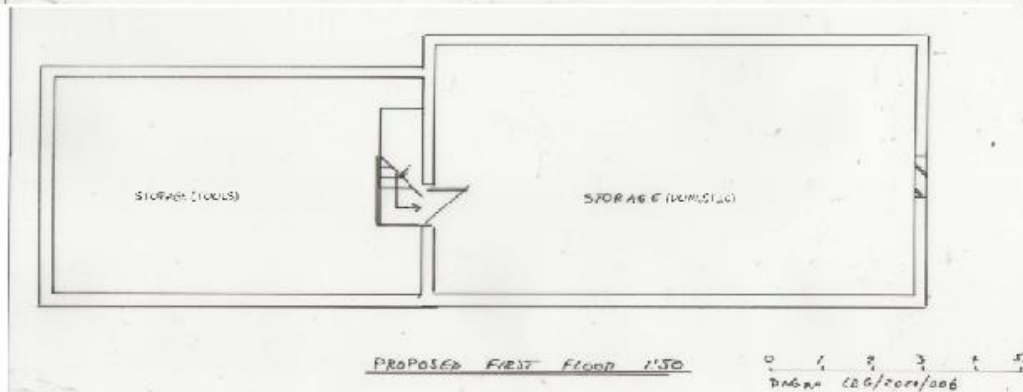


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 PLANNING & DEVELOPMENT
 DIVISION

LYNWHYNN
 BOTTS GREEN
 OVER WHITCRE
 B66 2NY
 PROPOSED FIRST-
 FLOOR ADDITION
 FOR: M.R.C. FONTANARO
 SCALE: 1/50
 DRAWN: OCT 2024

PROPOSED GROUND FLOOR 1/50

0 1 2 3 4 5m
 Date n°: LBG/2024/003A



PROPOSED FIRST FLOOR 1/50

0 1 2 3 4 5m
 Date n°: LBG/2024/006

APPENDIX E – 2017 Photographs from case files



General Development Applications

(6/g) Application No: PAP/2018/0686

Kingsbury Hall, Coventry Road, Kingsbury,

Hybrid application for i) Full planning application and Listed Building Consent for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 Use Classes, ii) Outline planning application (all matters reserved except access) for a high dependency care centre (Use Class C2), iii) Outline planning application for four apartment buildings for assisted living accommodation (Use Class C2) and dwellings for the over-55's (Use Class C3) for

Kingsbury Hall Developments Ltd

1. Introduction

- 1.1 The receipt of planning proposals for the Hall and the land adjoining to the north, were first referred to the Planning Board back in December 2018. It described the nature of the proposals as well as outlining the relevant Development Plan policies relevant to their determination at that time. The Board resolved to visit the site.
- 1.2 Following that meeting there were a series of meetings with the applicant in order to clarify the nature of the overall proposal. This resulted in some minor revisions to the proposed layout of the northern part of the site. Following receipt and because of the lapse of time since the Board first considered the proposals, the Chairman requested a second site visit which took place in October 2020. Further meetings were held with the applicant which resulted in the submission of a Development Viability Appraisal.
- 1.3 That Appraisal was referred to the District Valuer in early 2021, with the applicant's agreement. The Valuer's Interim Report led the applicant to re-consider the proposal. That re-consideration led in mid-2022, to the submission of further amendments, but these too raised a number of additional concerns and no determination was made.
- 1.4 The applicant has since reviewed the development proposals as a whole and a new revised set of proposals was submitted in late 2024, as described in the header to this report. The original submission was based on two applications – in summary one for the new build on the northern field and the second for the detailed works of the Hall. The applicant has combined them into this amended scheme as a single “hybrid” application.
- 1.5 This report to the Board will describe the current position in terms of the proposal now submitted, and also advise Members on the latest position in respect of national and local planning policy as well as other material planning considerations. Additionally, the applicant has had to update the content of a number of the documents that were originally submitted and there will be reference to these.

- 1.6 This report will thus contain background information for Members for their consideration when the determination report is prepared in due course.
- 1.7 Re-consultation has also commenced on the current set of proposals.
- 1.8 Members are reminded that the proposals are sited in the Green Belt and therefore because of the size of the new development, they are caught by the 2024 Direction. In other words, the Board can refuse planning permission, but if it resolves to support the proposals, the case will need to be referred to the Secretary of State to see if he wishes to “call-in” the application for his own determination following a Planning Inquiry.

2. The Site

- 2.1 Kingsbury Hall comprises the Hall itself together with a range of seven outbuildings, a bungalow and the remains of a former Hall in the form of 14th Century curtain walling. It is located to the far west of Kingsbury accessed off a private road running between the Recreation Ground and a collection of residential properties. The single lane access road runs from the Coventry Road in the centre of the settlement. It also hosts a public right of way leading from the village to the Kingsbury Water Park to the west. The Hall and grounds are at a much higher level than land further west as they stand on the River Tame cliff bluff and overlooks the Water Park. The application itself includes open agricultural land to the north of the Hall between that bluff and the playing fields of Kingsbury School right up to the residential property in Bromage Avenue. There is a noticeable drop in ground levels running south to north over this northern field. A further footpath runs north/south along the site boundary here.
- 2.2 The whole site is shown at **Appendix 1**.

3. Background

a) Heritage Assets

- 3.1 The Hall is a Grade 2 star Listed Building and is included in Historic England’s Buildings at Risk register. It is surrounded on its south-eastern side by the very visible remnants of a medieval curtain wall which is separately Grade 2 listed. The Hall, the walls and their setting are sited within a Scheduled Ancient Monument site. The site of the Hall and its outbuildings are within the Kingsbury Conservation Area which extends to the south and includes St Peters and St Pauls Church – a further Grade 2 star Listed Building.
- 3.2 A plan illustrating the extent of the Conservation Area is at **Appendix 2**.
- 3.3 The List descriptions of the Hall, the curtain walling and the Monument are at Appendix 3 and the Designation Report for the Conservation Area is at **Appendix 4**.

b) Relevant Planning History

- 3.4 The Hall has remained on the Buildings at Risk register for some time. Its ownership changed several years ago and that led to proposals for its future use. This resulted in the grant of planning permissions and Listed Building Consents in 2009 for its conversion to nine apartments, conversion of some of the outbuildings to seven residential units, demolition of the bungalow, the construction of a new residential block comprising thirteen units and repairs to the curtain walling and other parts of the former Hall. These consents were limited to the site of the Hall and its immediate curtilage, omitting the agricultural land to the north.
- 3.5 The consents were partly taken up during 2009 and 2011 when substantial repair and conservation work was undertaken to the Hall together with work to the curtain walling. These works were treated as a priority in view of the significance of the heritage asset here. The curtain walling was substantially stabilised and the Hall itself was made structurally sound and stable – the masonry walls were consolidated and repaired with new stonework, particularly around window and door openings and a new roof was re-laid which provides a waterproof covering. However, the interior of the building was largely left untouched and thus uninhabitable. There were some minor amendments agreed to the refurbishment work, but work ceased following this repairs stage and the full implementation of the uses permitted has not taken place. This is said to be a consequence of increased costs; the low market interest in the demand for the proposed residential units both for the new build and the conversions, and the lack of value in those properties. This added up to the approved scheme being unviable. Even so, the consents remain extant as a material planning consideration.
- 3.7 The 2009 approved layout is shown at **Appendix 5** and the elevations of the new build are at **Appendix 6**. The plans for the residential use of the Hall are at **Appendix 7**.
- 3.8 Members will recall that these proposals were dealt with as an “enabling” development. In other words, the viability of repairing, refurbishing and converting the Hall for an appropriate use as well as undertaking repairs to the curtain wall would not be viable on their own. This “conservation deficit” could only be achieved or enabled through the inclusion of the new build. That new build would not normally have been supported had it not been linked to the refurbishment scheme as it was inappropriate development located in the Green Belt. In other words, the very special circumstance here was that the new residential development would enable the refurbishment of the Hall and its conversion to residential use.
- 3.9 Historic England’s Guidance on enabling developments is referred to below in Section 7.
- 3.10 It was at this stage that the proposal for the “care” led development was then submitted in 2018 which included the additional land to the north and as described in paragraph 4.1 below. In the interim and up to the present day – there has been no further repair works undertaken at the Hall. Six of the seven

outbuildings also remain unused. The bungalow is currently let to tenants who use one of the buildings for storage purposes.

c) The Development Plan

3.11 The Development Plan for the determination of this current application is solely the North Warwickshire Local Plan adopted in 2021. It is up-to-date and carries full weight. The policies most relevant to the determination are identified in Section 6 below. All references in previous reports to other Plans thus carry no weight.

d) Other Material Planning Considerations

3.12 There have been significant changes since the application was originally submitted.

3.13 Primarily the National Planning Policy Framework was revised in late December 2024. Two significant changes will be described and dealt with in the subsequent determination report for this latest planning submission. They are firstly the instruction to “meet an area’s identified housing need” using the Government’s standard method for that assessment, and secondly, the introduction of the concept of “grey belt” and the Green Belt “Golden Rules” for assessing new development in the Green Belt.

3.14 The mandatory 10% bio-diversity nett gain Regulations introduced in February 2024 do not apply in this case as the original application here was submitted before this date.

3.15 As referred to in paragraph 1.8, the Direction is still applicable here. It was so when the application was first submitted, but it was updated in 2024.

3.16 There have been no planning permissions granted in the area surrounding the application site since the original submission in 2018, that might materially affect the assessment of these latest amendments.

4. The Proposals

a) As Originally Submitted

4.1 The proposals as originally submitted in late 2018, included the agricultural land to the north of the Hall referred to in paragraph 2.1 above as it was acquired by the applicant and the owner of the Hall. This led to a different concept for the future use of the Hall from that permitted in 2009. In this case it would become part of a whole new and much larger scheme based on a combined “care” development. It comprised a high dependency care centre (120 beds), 60 Supported Living Units (Use Class C2) and 30 residential dwellings for the over 55’s (Use Class C3) as well as the conversion of the Hall and some of the outbuildings to uses within Use Classes E (Commercial, Business and Services), C1 (Guest House) and F2 (Local Community Uses) to be used in association with the overall “care” proposals. The scheme also involved the demolition of four of

the existing outbuildings at the Hall as well as the bungalow, leaving three to be converted.

- 4.2 All vehicular access would be from the existing arrangements off the Coventry Road.
- 4.3 An illustrative layout is attached at Appendix 8. This plan is illustrative and represents a possible development.

b) The Amended Proposals

- 4.4 It is proposed here to identify the amendments made as illustrated in the latest plans over the original submission, rather than to catalogue the minor amendments made between the original submission and the latest proposals.
- 4.5 The overall principle remains the same - to restore and convert the Hall and some of the outbuildings for use in association with the development of a new built "care" complex on the land to the north.
- 4.6 The description in the header to this report defines three elements to the overall proposal.
- 4.7 The first of these is a fully detailed planning application and an associated Listed Building application for conversion works to the Hall along with alterations, interventions, and minor demolition work required to bring the Hall back into use as a centre for community activities and events for those living on the wider site, as well as within the wider community of Kingsbury, together with three visitor/staff apartments to provide temporary accommodation. Additionally, the proposal includes conversion and alteration works to three farm outbuildings – identified as D, E and F on the plan at Appendix 9. All of these are adjacent to the main access into the site. One of these – a former byre (D) - would be for use to complement the proposed community function of the Hall as it is located alongside the northern edge of the curtain wall. Together with the "yard" area contained by that wall it would provide a combined indoor and outdoor activity space with its own kitchen and facilities. The other two retained buildings – a former cattle shelter and a loose box (E and F) - would be for use in connection with overall site grounds maintenance and operations as well as for site security.
- 4.8 Works to the exterior of the Hall will involve new slimline double glazed window units, but the existing stone surround windows would feature traditional leaded lights with steel casements for ventilation and secondary glazing. New contemporary timber doors with glazed panels are proposed. Internally, lime plaster will be re-instated on walls, with some left as bare stone for historical insight. Ceilings are to be restored based on existing marks and evidence. Ground floors will receive insulated limecrete slabs whilst upper floors will feature timber boarding. Two existing stair voids will be adapted and together with chimney zones will be used for the integration of services. The restored Hall would then house a number of communal activities that a contemporary "care" development is said is to be expected to contain – treatment rooms, meeting rooms, community lounges, event spaces and administrative offices. The applicant also sees these facilities as being open to the wider Kingsbury

population. It is said that the existing internal layouts of the ground and first floor levels of the Hall lend themselves to such uses without intervention. The second-floor level would reflect the 2009 approved residential use, however, in this case they would be put over to staff or visitor accommodation. Two new structures are proposed. The first is a small external retaining structure to comprise stairs and a platform lift to give access between internal levels of the Hall where there is a change in ground levels at the north-east corner of the Hall. The second is the glazed reception area between the southern-most “care” block and the retained outbuilding “E” so as to provide a new entrance/reception building and communal space. Finally, the proposals include the demolition of four farm outbuildings and the modern bungalow – buildings A, B, C, G and H on Appendix 9 - together with landscaping works to the area surrounding the heritage assets to improve accessibility and setting. Apart from the new glazed link, none of these matters, or the detail involved has changed with the submission of the latest amendments and they remain as originally submitted.

4.9 The second and third parts of the description relate to the “care” development proposals on the land to the north and closer to the Hall itself. This development is said to provide the finances necessary to cover the costs of the extensive remaining conservation work to the Hall and its associated outbuildings. The size of this development also is said to be necessary in order to achieve a “critical mass” to ensure the viable active use of the Hall and has been designed so as not only to meet the financial need of the assets, but also to ensure that there is a large enough community nearby to sustain them in the longer term.

4.10 The changes over the original submission relate to the mix of care provision proposed and its consequential change on the proposed built form. The change in the mix arises from market research by the applicant as to how a “critical mass” of extra-care development might be achieved as well as the need to reduce the perception of the proposal being and looking like a housing development, the need to reduce vehicular use in light of the existing access arrangements and to reduce surface car parking provision. In short, the focus of the new development has moved away from independent-living, to extra-care and supported living, thus removing the perceived “residential dwelling” element of the overall proposals. The changes are:

i) The High Dependency Care Unit (HDU) is to remain, but its capacity is reduced from 120 bedspaces to 90, in order to increase bedroom sizes. The overall footprint and above ground three storey-built form would remain, with the below ground floor level being an underground car park. Its location at the far northern end of the site would remain.

ii) The removal of all of the 60 individual supported living and 30 over-55’s residential dwellings, and their replacement in four new blocks comprising 157 apartments for use within Use Classes C2 and C3. Block 1 would have 27 units over four storeys, Block 2, 33 units over three storeys, Block 3 with 31 over three storeys and block 4 with 63 units over two storeys. These blocks would be located between the HDU and the Hall outbuildings, with the taller ones to the north and the two storey Block 4 closest to the Hall and its outbuildings.

iii) There would be no “drive-way” car parking proposed as there no longer would be any individual houses, but 36 surface spaces would be provided together with 138 underground spaces at the far northern end of the site underneath the HDU.

- iv) The reception area for the whole complex is relocated to the southern end of the site within a new glazed area between Block 4 and the closest of the retained outbuildings as already identified in paragraph 4.8.
- 4.11 The layout has been arrived at by taking account of the need to provide visual and spatial separation from the Hall and its immediate setting; the noticeable fall in ground levels from the south to the northern boundary of the site, the need to retain the dominance of the Hall visually and spatially on the top of the river bluff when viewed from the west and the need to provide access for both vehicles and for pedestrians. In short, this results in the four-storey development being located in the northern half of the site and along the eastern boundary, with the less tall blocks closest to the retained outbuildings. Additionally, by using the fall in levels over the site, the four-storey block and the three-storey blocks along the western edge will use this topography such they do not stand as prominent buildings. The HDU will be three storeys with basement parking. The wing of this building closest to the river would be limited to two storey – still though with basement parking. The nearest element of the new buildings to the Hall would be the single storey glazed link already referred to and this would be some 39 metres from the Hall itself.
- 4.12 As indicated above, the car parking provision has been reduced because of the change in the “mix” of care being proposed, such that surface parking has been reduced with the bulk of the provision now being underground.
- 4.13 A Parameters Plan shows how the proposed development would be located as described above – see **Appendix 10**. A potential layout working within these parameters is illustrated at **Appendix 11** and the plan at **Appendix 12** illustrates the location and heights of the various blocks. The plan at **Appendix 13** shows where the highest buildings would be located – those at three storeys. Two sections through the site are provided at **Appendix 14**.
- 4.14 The applicant has also submitted a Design Guide for the new built development. Members will be aware that this new development is proposed in outline in this application and thus the final design and appearance including materials and finishes of all of the new blocks would be assessed through subsequent Reserved Matters applications. The purpose of the submitted Guide is to set out the specific criteria to be applied to the detailed design of the new blocks and thus to be reflected in the reserved matters application. It is attached in full at **Appendix 15**.
- 4.15 The proposed conversion of the three retained outbuildings is illustrated at **Appendices 16 and 17**.

5. Supporting Documentation

- 5.1 As already indicated, the documentation that was originally submitted has had to be updated in order to reflect the amended proposals as well as to review the character of the site particularly in respect of any material changes such as the ecological base-line. The Design and Access Statements for the new build and for the Hall itself have been updated and have been used to provide the descriptions above in Section 4.

5.2 Two new Heritage Impact Assessments have been submitted. One covers the impact of the proposed further repairs, restoration and conversion of the Hall together with the demolitions and conversions of the outbuildings on the significance of the Hall, the curtain walling, the Monument Site and the Conservation Area. The second looks at the impact of the new build on the significance of the heritage assets here – particularly in respect of the impacts on the setting of the Hall and the character and appearance of the Conservation Area. The overall conclusion from both Assessments is that the applicant considers that there would be less than substantial harm caused to the significance of the heritage assets here. In summary this is because:

i) There would be no infringement or intervention from the new development within the designated area of the Scheduled Ancient Monument site – the only potential impact would be from the demolitions, but the conclusion that is made is that their loss would open up views to the Hall and this benefit would outweigh any adverse impact.

ii) The internal works to the Hall are more appropriate to its special architectural and historic characteristics than those approved under the 2009 Consents. There is far less intervention and a much more appropriate use of the actual existing spaces.

iii) The demolition of some of the buildings here would impact on the historic value of the Hall as they reflect its evolution and the uses that it once accommodated. However, their loss is not significant architecturally and there would be a material benefit in enhancing views and thus appreciation of the Hall and its curtain walling through opening up the whole frontage of the Hall when seen from the access road.

iv) The new development would be set back from the Hall with the closest new build being a single storey glazed block - similar in scale to the largest retained outbuilding and then that linking to the two-storey development beyond. The proposals make use of the ground levels here such that the wider setting of the Hall is maintained as is its prominence on the riverbank bluff.

v) The new development is all outside of the Kingsbury Conservation Area and the proposals to the Hall and its immediate setting – which are within the Area – enhance the character and appearance of the Area.

vi) Additionally, the overall proposals would result in the substantial heritage benefit of facilitating the re-use of the Hall for an appropriate use with a sustained future.

5.3 An updated Ecological Assessment has been submitted. There has been no change in the overall nature conservation context since the previous submission, as there have been no changes to any national or locally designated sites on the site or within close proximity. The main purpose of the updated Assessment has been to see if the ecological value of the site has materially altered – whether for the better or for the worse – such that measures to provide bio-diversity net gain within the proposed development can be included. As indicated earlier the new Regulations do not apply, but the submission of the amended scheme gives an opportunity to the applicant to use the bio-diversity metrics to establish the value of any gain here. That has resulted in a 4% habitat gain and a 1100% hedgerow gain. In terms of protected species, it is proposed that bat roosting features are added to the buildings and that the wildlife corridor along the top of the River Tame bluff will be enhanced so as to provide foraging opportunities.

- 5.4 An updated drainage strategy has been submitted. This shows that site is wholly in Flood Zone One – the least at risk of fluvial flooding. The greatest risk to the site itself is thus seen as any failure in the proposed surface water drainage disposal arrangements. The geological maps show that the sub-strata here is likely to be inappropriate for infiltration structures and so attenuation tanks are proposed utilising a cascade system so as to reduce discharge levels into the Tame at the northern end of the site. The capacity of these tanks can be reduced and optimised with the implementation of green roofs, rain gardens, permeable paving and SUDS pods at the base of rain-water pipes. Foul water would need to be pumped via a central pumping station which would discharge to an existing public foul water sewer located behind the White Swan Public House close to the site entrance. This overall strategy is illustrated at Appendix 18.
- 5.5 An updated Transport Note has been submitted. It confirms that the Warwickshire County Council as Highway Authority did not object to the original proposal as described in para 4.1 above. The County Council has indicated too that it neither has any objection to the current plans subject to conditions – see Appendices 19 and 20. In essence the change away from independent living accommodation to substantive care provision results in a significant reduction traffic generation. The need for parking provision thus also reduces.
- 5.6 The applicant has also updated his Planning Statement. This was submitted prior to the publication of the new NPPF in late December 2024. Whilst the Statement refers to Government’s draft of that Framework, it has not been able to properly address the new NPPF – particularly in respect of the two matters raised at paragraph 3.13 above. The Applicant has thus been invited to comment further. At the time of writing this report the applicant acknowledges that the proposal is inappropriate development in the Green Belt and thus that it is necessary to show that very special circumstances exist to justify its support. The two considerations which he identifies as meeting this “test”, are facilitating the restoration of Kingsbury Hall and delivering on the need to provide housing accommodation for the care of the elderly in the Borough.
- 5.7 In respect of the former, he points out the Hall, notwithstanding the works undertaken between 2009 and 2011 remains on the “Buildings at Risk” register and with no subsequent intervention is steadily falling into further disrepair. The proposed development is seen as being essential for the restoration of the Hall and to secure its long-term future. Without the proposed development, the quantum of which has been identified as being necessary to finance the significant restoration costs and to secure a long-term and appropriate use, the Hall will fall into further disrepair. The applicant points out that the 2009 approval is no longer a viable option in the current economic climate. It is said that the incorporation of the Hall into a “care” development enables a more appropriate use for the Hall with less intervention than the 2009 approvals whilst linking its continued use and maintenance to the implementation of the wider development. The overall proposal does not fragment the Hall from that development but actively incorporates and links it both physically and functionally. These operational links as well as the associated ownership, financial and maintenance links can be achieved through planning conditions, but perhaps more effectively through a Section 106 Agreement.

- 5.8 In respect of the second, the applicant's planning case for Care for the Elderly also includes a number of case studies. In short this refers to documented evidence provided by the Strategic Housing Market Assessment of 2015; the Warwickshire Health and Well-Being Board Strategy 2021 to 2026, the North Warwickshire Local Plan 2021, and the Government's publication on Housing for Older and Disabled People. The five Case Studies involve the introduction of large new extra care developments in close proximity to Grade 2 and Grade 2 star Listed Buildings. Rather than summarise this element of the applicant's case, it is attached in full at Appendix 21.

6. Development Plan

The North Warwickshire Local Plan 2021 – LP1 (Sustainable Development); LP2 (Settlement Hierarchy), LP3 (Green Belt), LP7 (Housing Development), LP9 (Affordable Housing Provision), LP14 (Landscape), LP15 (historic Environment), LP16 (Natural Environment), LP18 (Tame Valley), LP21 (Services and Facilities), LP23 (Transport Assessment), LP27 (Walking and Cycling), LP29 (Development Considerations), LP30 (Built Form), LP34 (Parking) and LP35 (Renewable Energy)

7. Other Material Planning Considerations

The National Planning Policy Framework 2024 – (the “NPPF”)

National Planning Policy Guidance – (the “NPPG”)

The North Warwickshire Landscape Character Assessment 2010

Historic England – Enabling Development and Heritage Assets 2020

The Town and Country Planning (Consultation) (England) Direction 2024

The Kingsbury Conservation Area Designation Report

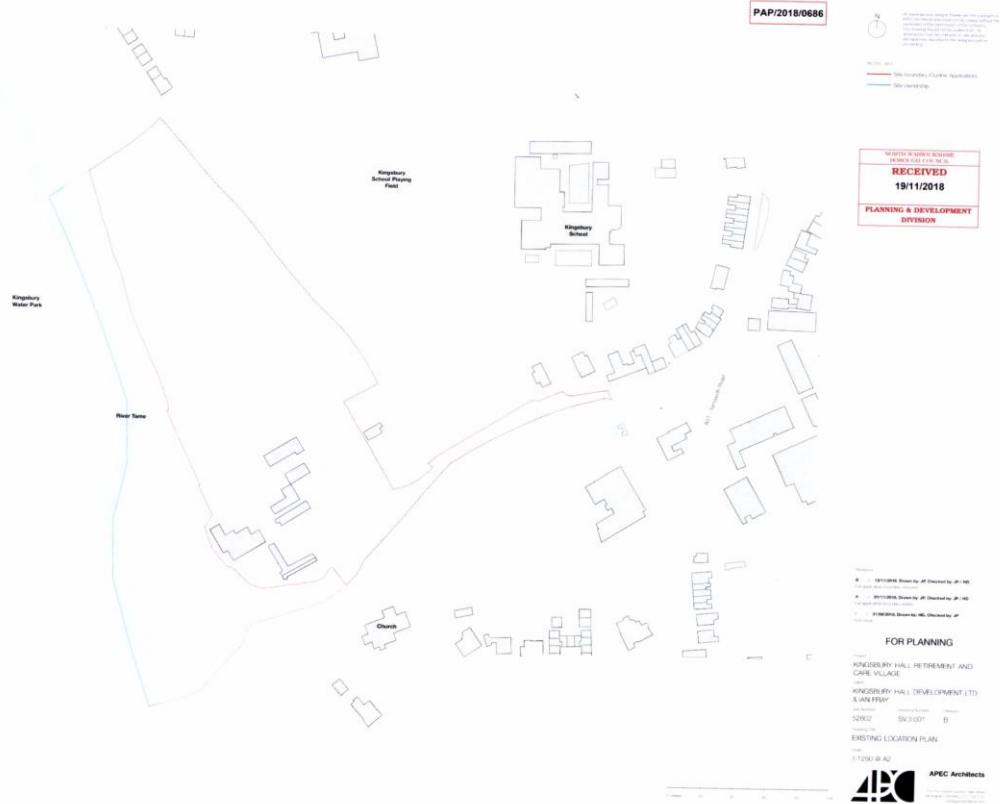
8. Observations

- 8.1 The purpose of this report is solely to bring Members up to date on this outstanding planning application, by describing the latest amended plans which will be taken through to a determination report later in the year.
- 8.2 Apart from the changes to the proposed development there have also been two material changes in the planning circumstances directly affecting the proposal since its original submission - the adoption of the North Warwickshire Local Plan in 2021 and the revised NPPF of late 2024. The context in which the application is to be determined has thus materially changed.

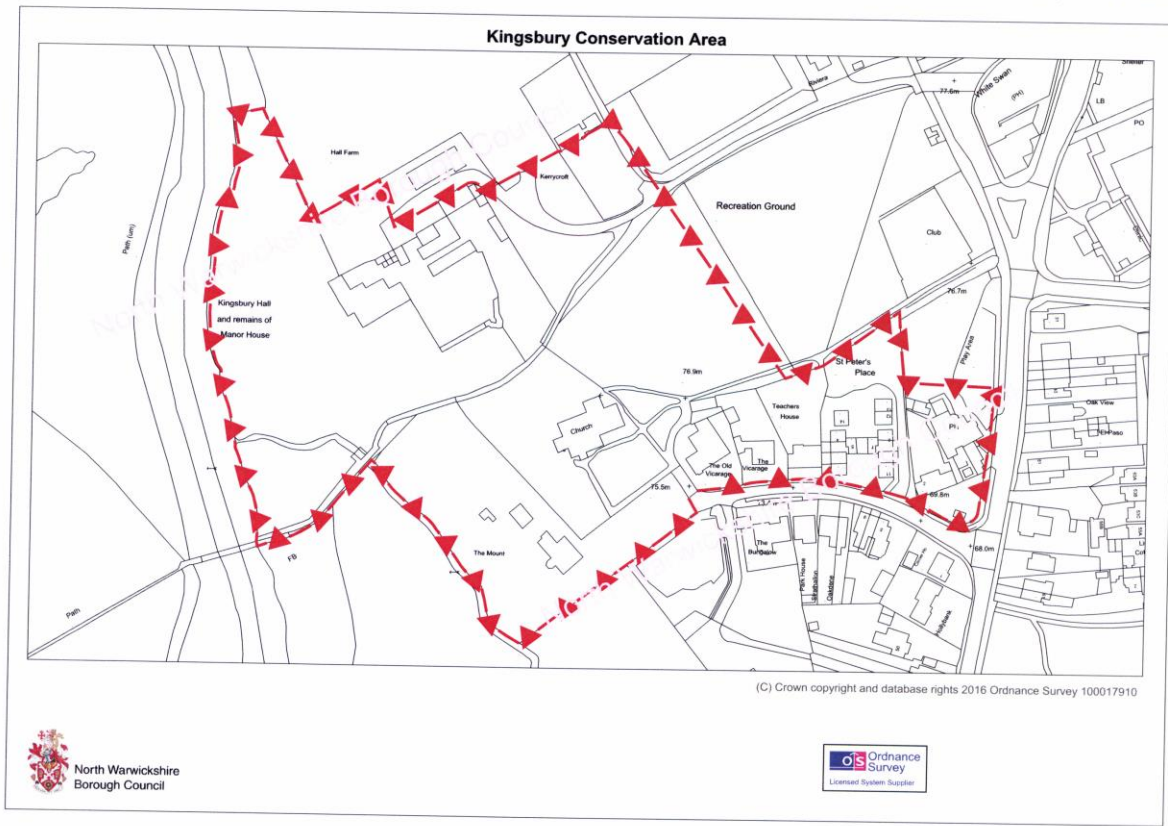
Recommendation

That the report be noted.

Appendix 1



Appendix 2



1.3. Listing Details

1.3.1. There are three separate statutorily designated heritage assets on the Kingsbury Hall site. The descriptions of each are included below for reference.

1.3.1.1. Scheduled Ancient Monument. List Entry 1019978³

Name:

Kingsbury Hall: a medieval enclosure castle and post-medieval house

Reasons for Designation:

An enclosure castle is a defended residence or stronghold, built mainly of stone, in which the principal or sole defence comprises the walls and towers bounding the site. Some form of keep may have stood within the enclosure but this was not significant in defensive terms and served mainly to provide accommodation. Larger sites might have more than one line of walling and there are normally mural towers and gatehouses. Outside the walls a ditch, either waterfilled or dry, crossed by bridges may be found. The first enclosure castles were constructed at the time of the Norman Conquest. However, they developed considerably in form during the 12th century when defensive experience gained during the Crusades was applied to their design. The majority of examples were constructed in the 13th century although a few were built as late as the 14th century. Some represent reconstructions of earlier medieval earthwork castles of the motte and bailey type, although others were new creations. They provided strongly defended residences for the king or leading families and occur in both urban and rural situations. Enclosure castles are widely dispersed throughout England, with a slight concentration in Kent and Sussex supporting a vulnerable coast, and a strong concentration along the Welsh border where some of the best examples were built under Edward I. They are rare nationally with only 126 recorded examples. Considerable diversity of form is exhibited with no two examples being exactly alike. With other castle types, they are major medieval monument types which, belonging to the highest levels of society, frequently acted as major administrative centres and formed the foci for developing settlement patterns. Castles generally provide an emotive and evocative link to the past and can provide a valuable educational resource, both with respect to medieval warfare and defence and with respect to wider aspects of medieval society. All examples retaining significant remains of medieval date are considered to be nationally important.

The medieval enclosure castle at Kingsbury Hall survives well as a series of standing remains and buried deposits. The buried remains will preserve valuable evidence of the layout, construction and subsequent alterations to the complex. Established and maintained by one well-known family over a period of 400 years, it will contribute to an understanding of the development of a high status component of the medieval and post-medieval landscape.

³ <https://historicengland.org.uk/listing/the-list/list-entry/1019978>. Accessed 05/06/2018

Details:

The monument includes the standing and buried remains of the medieval enclosure castle known as Kingsbury Hall, including a curtain wall and a house, occupying a bluff overlooking the River Tame. In 1086 land at Kingsbury was held by Countess Godiva and later was in the hands of the king. In 1208 it passed to John de Bracebridge, and the manor subsequently descended via the de Bracebridge family. In the mid-16th century the manor house was leased to Sir Ambrose Cave, passing to the Willoughby family in the late 16th century and subsequently to the Astons. In the 19th century it became part of Sir Robert Peel's estate. Alterations and additions were made during the 17th, 18th and 19th centuries, and the house remained in occupation until the 20th century. The house was formerly part of a larger complex of buildings enclosed by the curtain wall. The curtain wall includes standing remains to the south and east thought to date from the 14th century. The walls are constructed of coursed sandstone, and measure about 1.5m in width, standing up to 5.5m high with a semi-octagonal tower located at the south east angle. The east curtain wall measures approximately 28m in length with an arched gateway, about 3m in width, located about halfway along the length of the wall, which is thought to have provided the principal access to the complex. Repairs to the fabric on the external face of the wall around the gateway suggest the former presence of a gatehouse. It is believed that the east wall extended further to the north and will survive as a buried feature. The tower at the south east angle measures about 4.5m in width with a quarter octagonal turret on the west side accommodating a garderobe. The south curtain wall measures approximately 21m in length and includes, at the west end, the remains of a second tower, also accommodating a garderobe. The south curtain wall is believed to have originally extended to the west, as far as the bluff overlooking the river, and will survive as a buried feature. The curtain wall and gateway are Listed Grade II. The three-storey house is built chiefly in sandstone and includes a block of three adjoining ranges, two aligned east-west and one north-south dating from the late 15th or early 16th century, with a post-medieval wing extending at right angles to the north. It is a Listed Building Grade II*. The roof is of tile and slate. The southern range, aligned east-west, measures approximately 23m by 8m. The west gable wall of this range was rebuilt in brick in the 18th century. The south wall includes rectangular windows with stone mouldings, some blocked with brick and some having later windows built into the original openings; near the east end of the wall is a chimney stack of stone and brick. On the east wall repairs have been made to the fabric which indicate the position of a former porch that provided access to the first floor; the two windows flanking the former porch are now blocked with brick or boards. At the second, or attic, floor there is a four-light stone mullioned window with a central transom. Adjoining the north side of this range is another, parallel range measuring approximately 12m by 8m. The western end of this range, which projects 3m beyond that of the south range, is stone-built with a curved gable head, thought to date from the late 16th or early 17th century. The gable wall includes a window on each floor; the window at ground floor level is blocked with boards and the upper storeys have stone mullioned windows. The north wall of this range includes a stone window with a later, 19th century window built into the original opening, and 19th century

windows set in brick. Attached to the eastern end of this range is a third, smaller range, measuring 9m by 5.5m and aligned north-south. The north gable wall has a doorway and window on the ground floor, a 19th century window inserted into a partly blocked stone window on the first floor and a four-light stone mullioned window on the attic floor, together with a two-light stone window at eaves level where the two ranges join. A doorway in the east wall of this range leads to an internal curving oak stair providing the only access to the attic floor of all three ranges. The late 18th century or early 19th century wing, which adjoins the north west part of the house, measures approximately 8.5m by 6m and provides accommodation on two floors. It is built principally in brick with an east wall of regularly coursed stone blocks. The east wall includes a stone and brick chimney stack and there are windows in each of the external walls. Access to the wing is provided internally from the west end of the north range. Internally the ground floors of the three ranges are provided with domestic accommodation. On the first floor of the south range there is one large room, about 13m in length, thought to represent the original main hall, which was later subdivided, with a 16th century fireplace provided towards the east end. A further two chambers, both provided with fireplaces, are located at the west end of the south range. In the north range the first floor includes domestic accommodation, provided with fireplaces, and including a 17th century oak partition. The attic floor accommodation includes a single room, running the length of the southern range, with exposed beams, and a parallel, shorter room in the north range with a fireplace. The house was originally part of a larger complex, bounded by the curtain wall, with ancillary buildings believed to have been located within the enclosure to the south east of the house. A wall constructed of coursed blocks of sandstone runs from the south east corner of the house to the south curtain wall and is thought to have been part of this complex. The remains of former ancillary buildings will survive as buried features. All fences, storage tanks and modern brick outbuildings are excluded from the scheduling, although the ground beneath them is included.

Map Extract:



1.3.1.2. Grade II*. List Entry 1116550⁴

Name:

Kingsbury Hall

Details:

KINGSBURY SP29NW 8/61 Kingsbury Hall

22/07/53

GV II*

Manor house. c.1500 with some late C16 and C18 rebuilding, late C18/early C19 wing, and C18 and C19 alterations. Regular coursed sandstone, with C18 rebuilding and wing of brick. Old plain-tile roofs with some gable parapets, and slate roof to wing; stone and brick lateral stacks and r19 brick valley stacks. Irregular plan of 2 parallel ranges with small wing at right angles. 2 storeys and attic. East front has shaped gable to each range. To left, south range has 2-storey opening, probably C19, with plank door and boarding above. First floor has C19 three-light casement with horizontal glazing bars, set in an area of brickwork. Similar 2-light casement between floors on right has brick work above. Gables have large stone mullioned windows of 4-centred arched lights with central transom and hood mould. Narrower range set back on right has plank door with stone lintel between floors. Left return side of left range has stone lateral stack on right with truncated brick shaft. Irregular fenestration, with boarded-up windows. Right return side of right range has C19 three-light casements with top lights and horizontal glazing bars, and brick segmental arches. First floor has irregular fenestration of casements inserted into blocked mullioned windows. 2-storey wing at right angles on right has low-pitched roof. To west, wing is of brick. Boarded up canted bay and window above. Left range has late rib front wall with clasping buttress to left, and shaped gable. Boarded ground-floor window. First floor and gable have 4-light mullioned windows with central transom and hood moulds; third light to first floor is blocked, and central attic lights have been removed and blocked. Right range, set back, has front of C18 brick. Interior: VCH records a first-floor hall, now 2 rooms, in the south range, with a moulded stone Tudor-arched fireplace and ribbed ceiling. Rooms below have heavy chamfered bears and joists. North range has east doorway leading directly onto C15 staircase. Western room on first floor has C16 fireplace. Queen post roofs have moulded wall plates, stop-chamfered purlins and wind braces and plastered rafters and collar beams. There are C14 curtain walls (q.v.) in the south and east: (Buildings of England: Warwickshire; p327; VCH: Warwickshire Vol IV, pp100-101).

⁴ <https://historicengland.org.uk/listing/the-list/list-entry/1116550>. Accessed 05/06/2018

Map Extract:



1.3.1.3. Grade II. List Entry 1034721⁵

Name:

Curtain Walls and Gateway at Kingsbury Hall

Details:

KINGSBURY SP29NW 8/62 Curtain walls and gateway at 22/07/53
Kingsbury Hall (Formerly listed as Kingsbury Hall and walls with tower and gateway to south-east of hall)

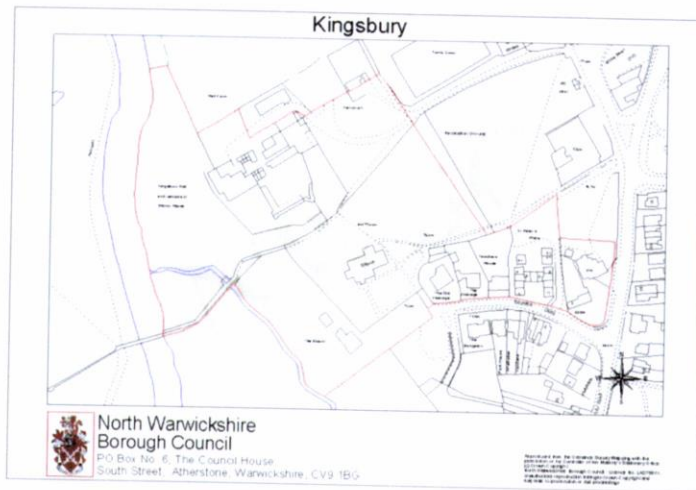
Curtain walls. C14. Regular coursed sandstone. East wall is approximately 30 metres long, including gateway, and between 4 and 5.5 metres high. Gateway, possibly rebuilt, has chamfered arch Remains of semi-octagonal tower to south-east angle, with another wall approximately 22 metres long to west of it; a lower ruinous wall approximately 10 metres long runs south of the tower, and has a brick pointed arched doorway. The walls are remnants of a castle or a fortified house. Scheduled as an Ancient Monument. (Buildings of England: Warwickshire: p327; VCH: Warwickshire: Vol IV, p100)

⁵ <https://historicengland.org.uk/listing/the-list/list-entry/1034721>. Accessed 05/06/2018

Map Extract:



1.3.2. Part of the site falls within the boundary of Kingsbury Conservation Area, as shown on the map below, outlined in red:



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KINGSBURY CONSERVATION AREA
Designation Report

1. Introduction

- 1.1 A conservation area is "an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance". There can be no uniform standard against which the character of an area can be measured, so it is necessary to evaluate separately the particular merits of potential conservation areas to establish whether they are worthy of designation.
- 1.2 Department of the Environment circular 12/81 encourages local planning authorities to keep the designation of conservation areas under review and to consider whether more areas should be designated, especially when local plans are being prepared.
- 1.3 A local plan for the Coleshill and Kingsbury areas has already been prepared by the Council, and there has been extensive public consultation on its proposals. Amongst them is a proposal (paragraph 9.14 of the Plan) which states that :

"It is proposed to designate the area north of Church Lane in Kingsbury, a conservation area."

The Council has therefore already identified the need to designate a conservation area in Kingsbury.

2. The Case for Designation

- 2.1 The area to the north of Church Lane in Kingsbury contains the oldest and finest buildings in the settlement, together with significant areas of open space and a good number of trees. Kingsbury Hall, an Ancient Monument, and the church dominate the view above the valley of the River Tame, and overlook the popular Kingsbury Water Park. The majority of the buildings in the area have not had any significant external alterations to their original appearances. The boundary to the area therefore reflects these characteristics.

3. Legislation Applying to Conservation Areas

- 3.1 Within a conservation area the local authority has additional powers to control development and the demolition of buildings, and to protect trees and tree groups. This helps to ensure that any development which does take place does not upset the existing balance which has evolved over many years. The legislation is intended to assist authorities in enhancing conservation areas, not merely preserving them.

3.2 The powers, together with the statutory procedure for designation, are set out in Annex A.

4. Planning Policy

4.1 Existing planning policies for the area are contained in two statutory documents - the Warwickshire Structure Plan (Alterations No 3) and the Coleshill District (Local) Plan.

4.2 The Structure Plan contains strategic planning policies for the whole of Warwickshire. Kingsbury is not identified as a settlement designated for growth, it is left to the Coleshill District (Local) Plan to determine the amount and location of new residential development within overall guidelines set by the Structure Plan. The Local Plan identified two housing sites in Kingsbury, but they are not within or adjacent to the conservation area.

4.3 In addition, the Local Plan defines a development boundary around the built-up area of Kingsbury which sets the limits of future peripheral expansion. The conservation area is included within this boundary. The Local Plan states that within the development boundary planning applications for new housing will be treated on their merits.

4.4 Several other policies in the Coleshill District (Local) Plan apply to the conservation area and these are quoted in the following paragraph numbers of the Plan :

- 9.22 - Planning Applications in Conservation Areas.
- 9.24 - Planning Applications adjacent to Conservation Areas.
- 9.26 - Demolition of Buildings in Conservation Areas.
- 9.33 - Restoration of Older Buildings.
- 9.45 - Road Signs and Street Lighting.

5. Future Action

5.1 As stated earlier in this report, the designation of a conservation area not only enables the local planning authority to make steps to preserve its appearance, but also to draw up positive measures for its enhancement.

5.2 In the case of the Kingsbury Conservation Area, the major aim is to preserve its existing character which makes it the most attractive part of the settlement. The emphasis will be on ensuring that any new building or alterations blend with the surrounding buildings, and that care is taken to retain trees, hedgerows and walls. The area benefits from the open spaces between properties, and this factor will need to be considered. In particular the church, Kingsbury Hall, and the trees are a dominant feature when viewed from the Water Park and the Tame river valley generally. This unique aspect will be protected.

5.3 Two important features need to be considered :

(a) There is a public footpath which runs through the area, linking the centre of Kingsbury with the Water Park. It is heavily used. Consideration will need to be given to the proper maintenance of this feature, with improvements if necessary to ensure the footpath remains in a safe condition, whilst not destroying the character of the path through the pleasant surroundings.

(b) The future of Kingsbury Hall as an Ancient Monument will need to be examined, so that its presence enhances the area.

5.4 There are two buildings in the area which are included in the Statutory List of Buildings of Special Architectural or Historic Interest - Kingsbury Hall and the School House. The importance of the church has been recognised by the fact that it was once regarded as a Category B church, similar to a Grade II Listed building. However, the categories for churches were abandoned in 1977, and most churches were regraded as Grade I or II Listed buildings when reviews were undertaken. The opportunity has now arisen to list the church as a Grade II Listed building and it is considered that this should be put forward. The Council also believes that it is essential that all the existing buildings in the area are of such importance so as to be retained, even though they are not themselves worthy of a separate Listing, because of their contribution to the overall character of the conservation area.

LEGISLATION APPLYING TO CONSERVATION AREAS
STATUTORY PROCEDURE FOR DESIGNATION

Section 277 of the Town and Country Planning Act 1971 provides local planning authorities with the power to determine which parts of their area are 'areas of special architectural or historical interest, the character or appearance of which it is desirable to preserve or enhance' and to designate them as conservation areas.

The Secretary of State must be notified of such designations but his confirmation is not necessary. Notice of the designation should be published in the London Gazette and in at least one local newspaper. The date of designation is the date of the Council's resolution. The designation must also be registered in the Local Land Charges Register. As owners and occupiers of buildings in such areas do not have to be notified individually, notification to the Secretary of State and registration must be carried out as quickly as possible.

Additional Powers in Conservation Areas

(i) Control of Demolition

Section 277A of the Town and Country Planning Act 1971 empowers local authorities to control the demolition of buildings, in whole or in part, in conservation areas - ie buildings cannot be demolished without consent. Although certain buildings are excepted, their demolition is controlled by other legislation within the Act.

(ii) Enhancement Schemes

Section 277B of the Act requires that special attention be paid to the preservation and enhancement of conservation areas. The Secretary of State may direct local planning authorities to formulate and publish proposals for the preservation and enhancement of their conservation areas for submission at a local public meeting to which members of the authority, amenity groups, residents associations and the Chamber of Trade would be invited.

(iii) Protection of Trees

Under Section 61A of the Town and Country Planning Act 1971 and Section 8 of the Town and Country Planning Amenities Act 1974, trees in conservation areas are given the same protection as trees which are the subject of a Tree Preservation Order. Anyone proposing to do any work on trees in a conservation area (topping, lopping, or felling) must give the local authority six weeks notice of their intention - within which time the local authority must either make a Tree Preservation Order or give consent to carry out the work. If no decision is reached within the time limit specified the applicant can proceed. If there is a contravention then the same penalties apply as with a Tree Preservation Order.

(iv) Publicity for Planning Applications

Section 28 of the Town and Country Planning Act 1971 requires the local planning authority, in the case of a planning application where the development would, in their opinion, affect the character of the conservation area to advertise the proposal both on site and by a notice in the local press.

(v) 'Permitted Development'

The Town and Country Planning General Development Order 1977 identifies 'permitted development', which is works of extension or alterations to properties which do not require planning permission, although if the building concerned is a 'listed building', listed building consent may be required. The General Development Order was revised in 1981 to extend the size limits for extensions to residential and industrial buildings, except in conservation areas already designated before 1st April 1981, where the previous limits will continue to apply. Since the date of designation of the Kingsbury Conservation Area falls after 1st April 1981, the raised permitted development limits of the 1981 General Development Order will apply there.

(vi) Grants and Loans

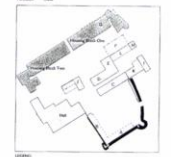
Section 10 of the Town and Country Planning Act 1971, as amended by the Local Government Planning and Land Act 1980, enables the Secretary of State to make grants or loans for schemes to preserve or enhance conservation areas. Grants are not restricted to local authorities and can be paid to any person or organisation able to produce a scheme and demonstrate that they can execute such a scheme.

Appendix 6

2008/0482



DO NOT SCALE THIS DRAWING FOR DIMENSIONS ONLY. MEASURE ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. ALL WORK TO BE COMPLETED BY THE DATE OF THE EXPIRY OF THE CURRENT PLANNING PERMISSION UNLESS OTHERWISE SPECIFIED IN THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS FROM ALL AFFECTED PARTIES.



NO.	REVISION	DATE
1	Issue	
2	Revised	
3	Revised	
4	Revised	
5	Revised	
6	Revised	
7	Revised	
8	Revised	
9	Revised	
10	Revised	

CONTRACTOR	DATE	ISSUED
PK Jay Fry		
PROJECT	Kingsbury Hall, Kingsbury	
TYPE	Proposed Extensions	
PROPOSED EXTENSIONS	Housing Block One and Two	
SCALE	1:100 (B1)	
DATE	JULY 2007	
NO.	04_022	
REVISION	06B	
DATE	11 FEB 08	
BY	South Warwickshire Borough Council	

PK Jay Fry

PROJECT: Kingsbury Hall, Kingsbury
 TYPE: Proposed Extensions
 PROPOSED EXTENSIONS: Housing Block One and Two
 SCALE: 1:100 (B1)
 DATE: JULY 2007
 NO.: 04_022
 REVISION: 06B
 DATE: 11 FEB 08
 BY: South Warwickshire Borough Council

Appendix 7

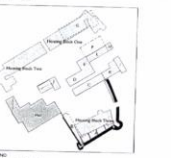
2008/0482 & 0483

2008 / 0483

NORTH WARWICKSHIRE BOROUGH COUNCIL APPROVED May 06, 2009. THE TOWN & COUNTRY PLANNING ACT 1990 (AS AMENDED) SUBJECT TO CONDITIONS ON NOTICE.



DO NOT SCALE THIS DRAWING FOR DIMENSIONS ONLY. MEASURE ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. ALL WORK TO BE COMPLETED BY THE DATE OF THE EXPIRY OF THE CURRENT PLANNING PERMISSION UNLESS OTHERWISE SPECIFIED IN THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS FROM ALL AFFECTED PARTIES.



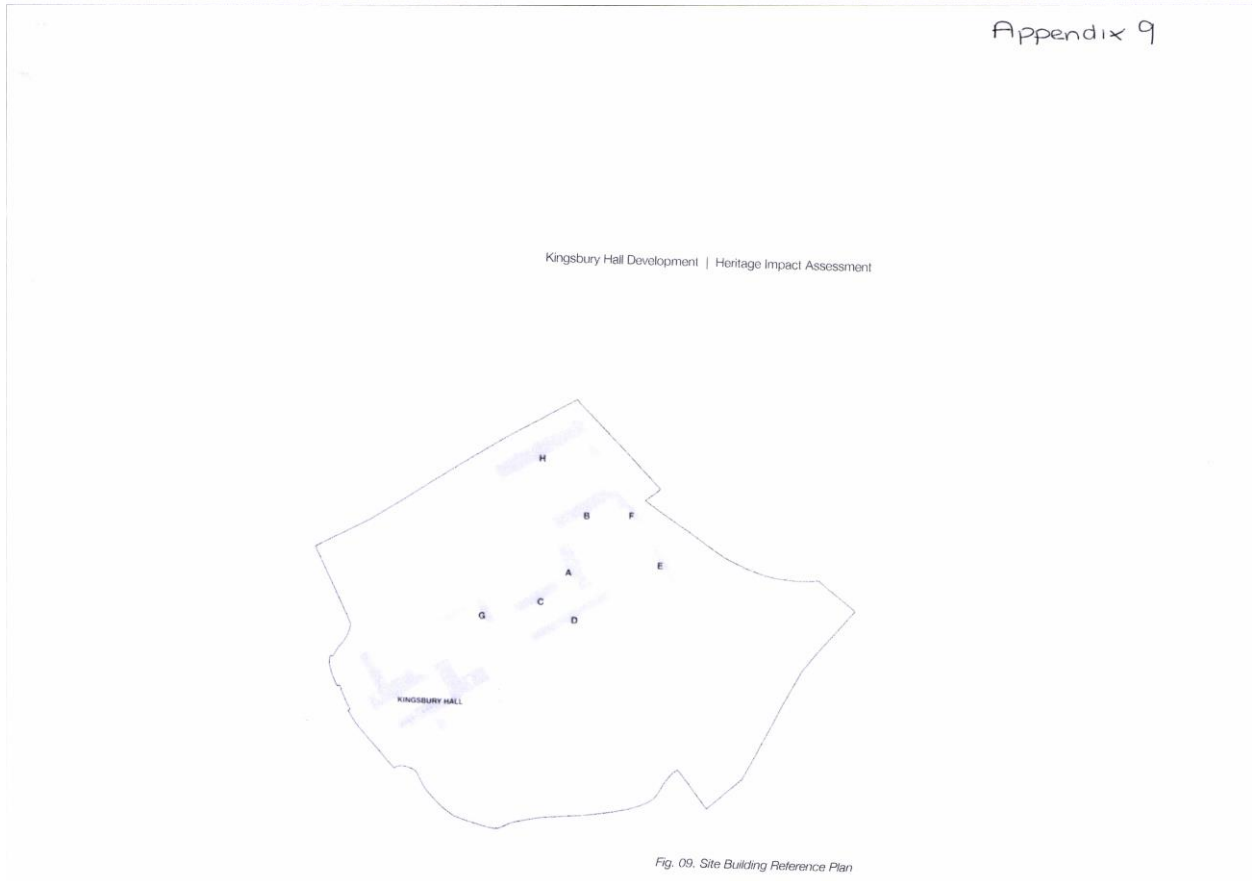
NO.	REVISION	DATE
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2	Revised	
3	Revised	
4	Revised	
5	Revised	
6	Revised	
7	Revised	
8	Revised	
9	Revised	
10	Revised	

CONTRACTOR	DATE	ISSUED
PK Jay Fry		
PROJECT	Kingsbury Hall, Kingsbury	
TYPE	Proposed Extensions	
PROPOSED EXTENSIONS	Housing Block One and Two	
SCALE	1:100 (B1)	
DATE	MAY 2007	
NO.	04_022	
REVISION	51 A	
DATE	11 FEB 08	
BY	South Warwickshire Borough Council	

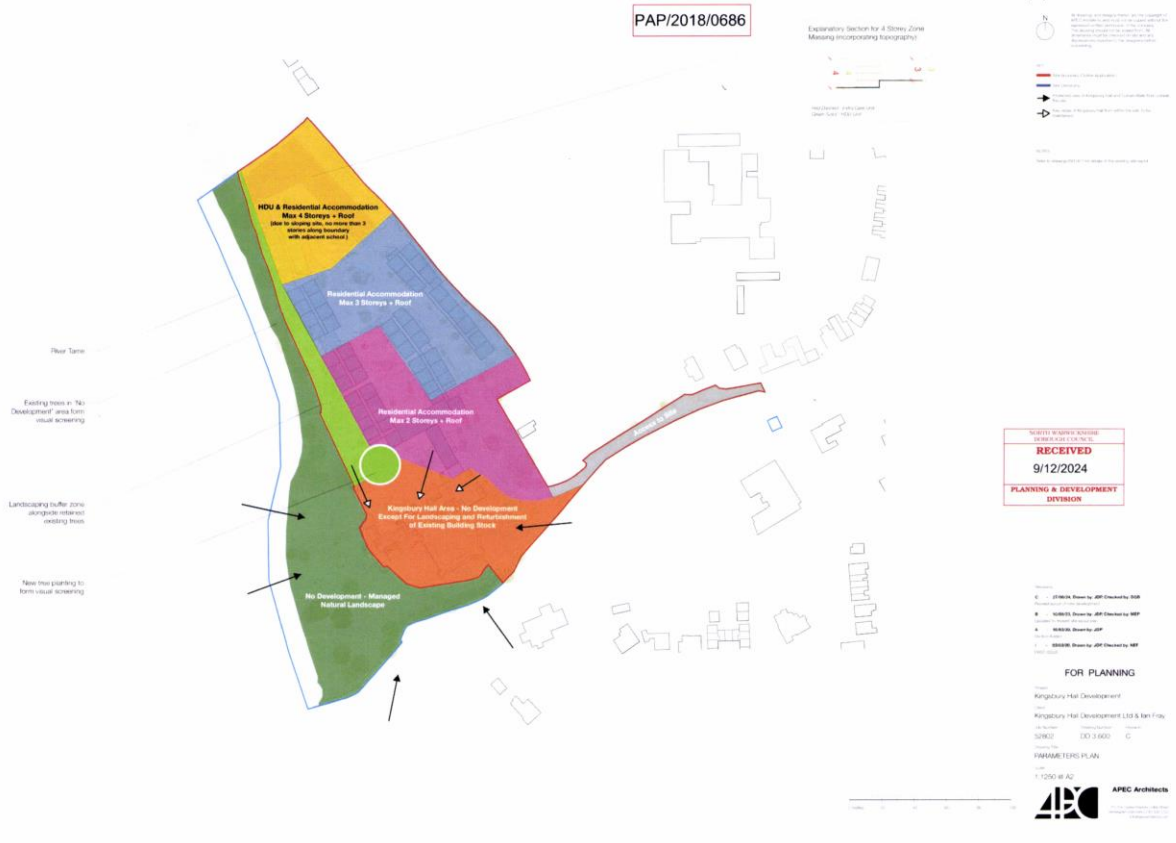
PK Jay Fry

PROJECT: Kingsbury Hall, Kingsbury
 TYPE: Proposed Extensions
 PROPOSED EXTENSIONS: Housing Block One and Two
 SCALE: 1:100 (B1)
 DATE: MAY 2007
 NO.: 04_022
 REVISION: 51 A
 DATE: 11 FEB 08
 BY: South Warwickshire Borough Council

NOTE: FLOOR LEVELS & EXISTING UPPER STOREY WINDOWSTO BE RE - SURVEYED



Appendix 10



Appendix 11



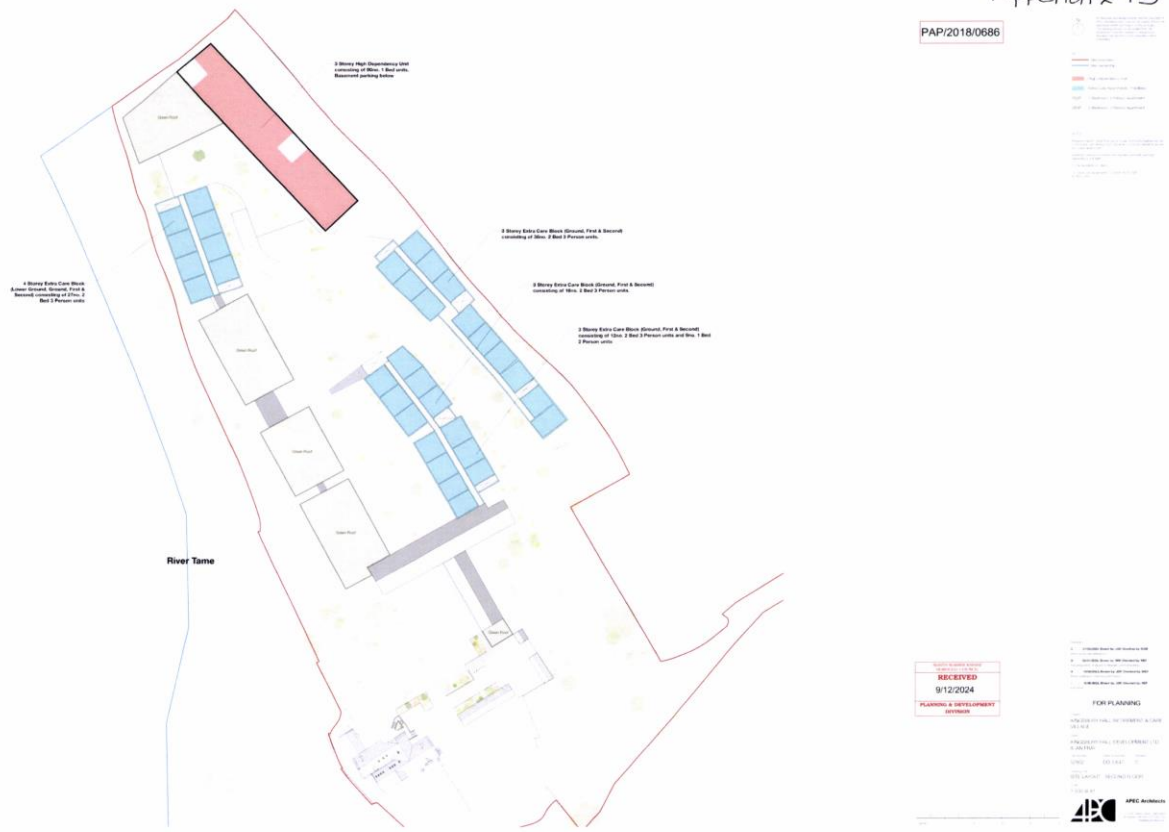
Appendix 12

PAP/2018/0686

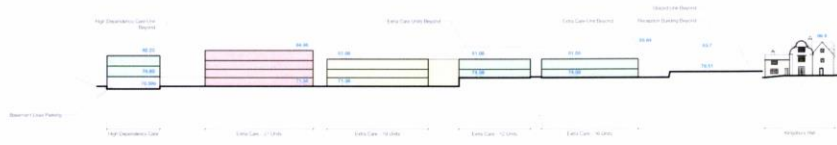


Appendix 13

PAP/2018/0686



PAP/2018/0686



INDICATIVE SECTION AA - LEVELS OF PROPOSED UNITS IN THE CONTEXT OF KINGSBURY HALL



INDICATIVE SECTION BB - LEVELS OF PROPOSED UNITS IN THE CONTEXT OF THE RIVER BANK

KEY PLAN (NOT TO SCALE)



FOR PLANNING

PROPOSED UNIT 1 (RESIDENTIAL) - 1 UNIT

PROPOSED UNIT 2 (RESIDENTIAL) - 1 UNIT

PROPOSED UNIT 3 (RESIDENTIAL) - 1 UNIT

KINGSBURY HALL

EXISTING SITE LAYOUT

PROPOSED SITE LAYOUT

PROPOSED UNIT 1 (RESIDENTIAL) - 1 UNIT

PROPOSED UNIT 2 (RESIDENTIAL) - 1 UNIT

PROPOSED UNIT 3 (RESIDENTIAL) - 1 UNIT

KINGSBURY HALL

EXISTING SITE LAYOUT

PROPOSED SITE LAYOUT

9/12/2024

PLANNING & DEVELOPMENT DIVISION



PAP/2018/0686

52802 | Kingsbury Hall Development

Full Scheme Design Guide for new Extra Care Housing and High Dependency Care Unit

Version 5: November 2024 - For Planning



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1. Introduction

1.1. Overview

This Design Guide has been produced by APEC Architects on behalf of the applicant and owner of the site, Mr Ian Fray. It forms part of the Planning Addendum to Planning Application Reference: PAP/2018/0686.

The proposed scheme comprises (i) Full planning application and Listed Building Consent for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 Use Classes; (ii) Outline planning application (all matters reserved except access) for a high dependency care centre (Use Class C2); (iii) Outline planning application for four apartment buildings for assisted living accommodations (Use Class C2) and dwellings for over-55's (Use Class C3).

This document relates to the Outline Planning Application for items ii) and iii) on the site adjoining Kingsbury Hall. It should be read in conjunction with the document '*Kingsbury Hall Development: Design and Access Statement, Outline Application, Version 4, August 2024.*'

The proposed scheme is on a green field site in an elevated location next to the local landmark of Kingsbury Hall, a Grade II* Listed Building and Scheduled Ancient Monument, and overlooks the River Tame and Tame Valley Wetlands. The site, therefore, has significant heritage and ecological context. Whilst the site is within Kingsbury, the development will not be visible from the village itself nor will it be visible within the context of the village. The village does not benefit from a dominant local vernacular nor does it have many heritage assets in its village centre. Kingsbury is mainly comprised of mid to late 20th century housing and some retail buildings of low architectural quality, that are largely unsympathetic to Warwickshire's vernacular.

The Kingsbury Conservation Area, which is just outside the village centre itself includes Kingsbury Hall and all other designated heritage assets in the village. It is from this small collection of buildings, and precedents from the wider area that some reference can be taken in the design of the detailed scheme, as set out in this document.

The proposed scheme has the potential to raise the architectural quality of the village with a design that is both sensitive and complementary to its heritage and ecological setting.

1.2. Purpose and Scope

The intention of this Design Guide is to set out specific criteria to be applied to the detailed scheme design that is to be developed subject to the granting of Outline Planning Consent. This document provides guidance on how the new buildings on the site can be designed to complement the site's historic setting, to reflect local character and identity, in a legible and coherent scheme that adheres to local and national planning policy. The purpose of this guide is to ensure that a design that is appropriate to this setting and of a high quality is put forward in any Reserved Matters Application for the scheme.

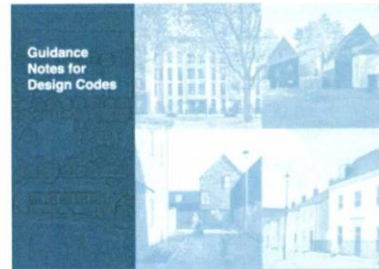
This design guide is not intended to replace the adopted Local Plan, nor supersede national nor local planning guidance. Rather, it seeks to provide more specific guidance on how the scheme can respond to the principles set out in such policy documents. The scope of this design guide is to provide more detailed guidance on how site-specific characteristics and the local context should influence the detailed design. In order to avoid repetition, it intentionally does not provide specific guidance on characteristics that are already sufficiently covered in National or Local Design Guides, or provided elsewhere in this Outline Planning Application.

Regular reference is made to the National Design Guide 2021 and any scheme proposals should adhere to this guidance. All guidance provided here is in accordance with and complementary to this document.

1.3. Format

The content of this Design Guide is structured using the following *characteristics of well-designed places* set out in the National Design Guide: Context, Built Form and Identity.

The 'Guidance Notes of Design Codes' by the Ministry of Housing, Communities and Local Government (2021) has been used to guide the structure and content of this Guide.



Each characteristic is introduced in its own section and reference made to National Design Guide and the Local Plan, where applicable. Specific guidance on the interpretation and application of each of these characteristics for the detailed design of the Kingsbury Hall Retirement Village site is provided. The following characteristics have not been included in this design guide: Movement, Nature, Public Space, Use, Homes and Buildings, Resources, Lifespan

Instead, reference should be made to National Design Guide, the Local Plan and any relevant local Supplementary Planning Guidance in the scheme design of these matters.

Some characteristics identified in the National Design Guide have already been addressed in the design of the Outline Planning Application (e.g. how local context has affected site layout, densities, heights etc.). Where this applies, principles have been set out and, where appropriate, the relevant part of the Design and Access Statement is referenced.

2. Context

Guidance Notes for Design Codes states:

The National Design Guide states that an understanding of the context, history and character of an area must influence the siting and design of the new development. This context includes the immediate surroundings of the site, the neighbourhood in which it sits and the wider setting. This includes:

C1. An understanding of how the scheme relates to the site and its local and wider context.

C2. The value of the environment, heritage, history and culture.

2.1. C1: Local Context

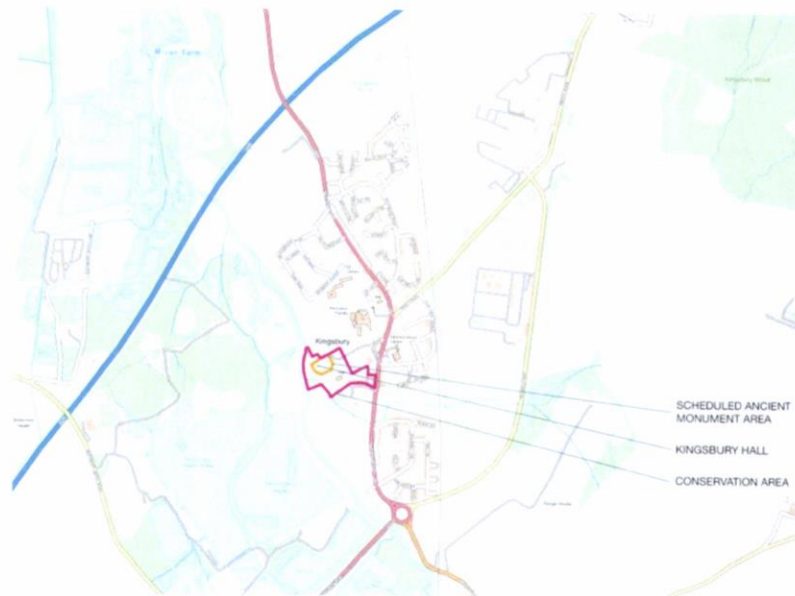


Fig. 01. Site location context map. © Ordnance Survey

In accordance with the National Design Guide, the layout and general massing, grain and scale of the layout should be informed and respond to a thorough analysis of the local context, in accordance with the specific categories set out in the Guide. Such analysis has already been undertaken and informed the layout proposed in the Outline Planning Application. This is comprehensively set out as cross referenced below.

¹ Guidance Notes of Design Codes by the Ministry of Housing, Communities and Local Government (2021)
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Refer to Section 2 of the Design and Access Statement for the appraisal of the local context that was undertaken. Section 2.7 provides the site assessment of the context that informed the site layout. Section 3.2 sets out the specific parameters that affected the design of the site layout for heritage, ecology, access points, orientation and topography etc. using a range of explanatory diagrams. Any designs for a Reserved Matters Application should maintain the principles already established in the Outline Application.

2.2. C2: Cultural Heritage Assessment

Guidance Notes for Design Codes states:

Well designed development adds a new layer to the history of the site while enhancing and respecting its past, with the expectation that new development will be valued for its heritage in the future as heritage assets are today.

²

Cultural Heritage should include Historic Assessment of the site's history and its heritage assets. Section 2.6 of the Design and Access Statement provides an overview of the local heritage context. This is supplemented in more detail in the Heritage Statement.

In accordance with the National Design Guide, historical assessments should be used as a foundation for new development.

Whilst Kingsbury Village does not benefit from a particular richness of heritage, precedent should be taken from the buildings within the Conservation Area and in the wider local area.

The vast majority of local heritage assets in the area are either churches or small domestic-scale buildings including private houses, rectories, public houses and farmhouses and their outbuildings. In addition, there are a smaller number of larger country homes, halls and fortified houses, including Kingsbury Hall itself as well as Astley Castle.

According to Pevsner's 'The Buildings of England: Warwickshire', it is '*here, in the field of secular architecture of the Middle Ages, the county has indeed much to contribute without which the national patrimony would be the poorer*'. The county's rich medieval heritage ranges from the late medieval mansions such as Coughton Court, and at Kenilworth, Warwick and Maxstoke to an abundance of timber framed manor houses, cottages, barns and farm buildings. These include Mancetter Manor House, with '*its close spacing of timber studs being characteristic of the 15th century and early 16th century*' according to Pevsner.

At a smaller scale, the area has a wealth of domestic and farm buildings constructed in timber frame, including several using cruck trusses, including a former barn, the Grade II Listed Cruck House in nearby Dosthill.

Later in the medieval period are a number of larger houses constructed in stone or brick, or combinations of both e.g. Pooley House at Polesworth which is primarily of brick with stone dressings. Indeed, many houses in Warwickshire of this medieval period comprise stone, brick and half-timbered elements, including the '*supremely picturesque*' Compton Wynyates (south Warwickshire) that enjoys a '*total absence of any symmetries*' according to Pevsner.

² *Guidance Notes of Design Codes* by the Ministry of Housing, Communities and Local Government (2021)

Some of the best known examples of houses remodelled during the Georgian period in the county include Ragley Hall, Packington Hall, Malvern Hall and Compton Verney; all very grand, and built in the Palladian style, characterised by great porticos, symmetrical facades and grand entrances. There are a number of more modest scale Georgian properties in the local context of North Warwickshire and South Staffordshire, from which precedent can be taken. Most of these properties of two or three storeys, are primarily of brick construction with decorative stonework to corners and around windows and doors.

There are markedly less late 19th century and 20th century heritage assets in the local area. Much of the late 20th century and early 21st century built environment in the vicinity is of poor architectural quality, and provides little contextual reference to respond to in the detailed design proposals for the Kingsbury Hall site.

2.3. C2: Cultural Heritage Assessment: Relevant Designated Heritage Assets

The photos depict examples of the local vernacular and Listed Buildings in the region that should be used as reference points for the architectural design development of the new build scheme at Kingsbury Hall Retirement Village. They are all within a radius of approximately 5km from the site.

Kingsbury Conservation Area



View up Church Lane
(Conservation Area to right hand side)

The varied architecture of similar scale and consistent boundary treatments provides visual interest and an agreeable street scene.

Image © Google



Teacher's House, Church Lane
Grade II Listed.

Late 17th Century
The façade has a formal and symmetrical arrangement of windows and doors. Flemish bond brickwork façades with sandstone plinth, string course at storey level and sandstone dressings to corners. Interest is provided to the relatively simple composition with brick and stone detailing around the entrance and window heads. Shallow hipped roof typical of period.

Image © Google



Kingsbury Hall and Church of St Peter and St Paul (both Grade II*).

Kingsbury Hall c. 1500 manor house with late C16 to C18 rebuilding and C18 and C19 alterations and additions.

Church of St Peter and St Paul, C.12 origins with additions and alterations C13- C17.

Kingsbury Hall has a clear hierarchy in its asymmetrical façade that has been added to over time. Bold gable-ended wings draw focus to these elements.



Both buildings exploit their elevated position and rise higher than other buildings in the vicinity, accentuating their importance.



Local Precedents for Large Scale Residential Design: Georgian Houses



Hurley Hall, Hurley, North Warwickshire
Grade II Listed

c. 1720

Regular and symmetrical composition of the façade, with hipped roof behind a parapet. Typical Georgian hierarchical composition with longer windows to ground and first floor levels. Façade mostly built of red/brown brick with Flemish bond. Windows and entrances are picked out with stone surrounds and distinct keystones above arched windows.

Image © Google



Image © Google

Atherstone House, Hurley, North
Warwickshire
Grade II Listed

Late C17 (but altered C19 and C20 windows
at first floor)

Asymmetrical composition but regular
fenestration, with distinct sandstone plinth,
alternating quoins and string course. Stone
window surrounds. Half hipped roof and
feature chimney.



Image © Google

Tamenhurst House, Coventry Road, North
Warwickshire
Grade II Listed

Early C19, formal and symmetrical façade
with hierarchy of windows ground to first
floor. Decorative surrounds at windows and
doors, particularly at ground floor.

Local Vernacular: Timber Frame Including Barns



Image © Google

The Works at **Cliff Public House**, Cliff,
North Warwickshire
Grade II Listed

Late C18/ early C19. Brick with whitewashed
rendered front. Irregular arrangement of
windows with steep dual pitched tiled roof
with brick end gables.



Cruck Barn, Dosthill, Staffordshire

Grade II Listed

Late C15/C16 cruck timber frame with brick infill and tiled dual pitched roof. Irregular and asymmetrical design.

Image © Google



Dosthill Sunday School and Parish Room, Dosthill, Staffordshire

Grade II* Listed

C12 with some C17/C18 alterations. Dressed squared stone with ashlar dressings and brick to gable. Dual pitched tiled roof with end gable with arched window heads.

Image © Google

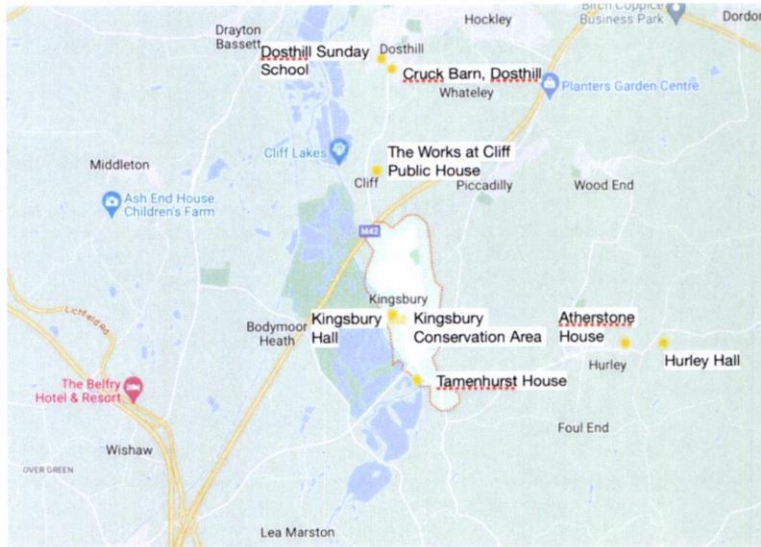


Fig. 02. Site location context map. © Google Maps

2.4. Design Guidance Relating to Context

As described, the scheme proposals submitted for the Outline Planning Application set out a layout that has responded to the local context taking account of the wide range of aspects described briefly above, and in the accompanying Design and Access Statement.

With regards to the development of the scheme design for a Full Planning Application or Reserved Matters Application, the following points should be considered with regards to the cultural context:

- The scheme presents an opportunity to redress the unsympathetic, low quality architecture that Kingsbury has suffered from in the last few decades.
- The scheme should take reference from the best examples of architecture in the North Warwickshire and South Staffordshire areas, with regards to materials, proportions, composition and detailing. As described here, a range of different architectural styles feature in the local area that could be used as precedent for the designs. However, where possible and appropriate, precedent from Kingsbury Hall itself should be taken for materials, form and proportion, as priority.
- It is recognised that many of the best architectural examples in the region are Historic Houses built with significant budgets and cheap labour. It is, therefore, appropriate that new proposals are sensitive and take reference to the historic context, but do not risk falling foul of cheap imitation by attempting wholesale replication. Rather, a more distilled and modest interpretation of one of the prevailing styles should be made reference to, adopting a palette of sensitive materials and applying suitable proportions to the design, and where, appropriate, directing resources to high quality features in key elements of the design (e.g. entrances). For further guidance and case studies, reference should be made to Historic England publication: *Design in the Historic Environment: Promoting a Contextual Approach to New Housing in Historic Places*.

2.5. Illustrated Examples of Good Design in the Historic Context

The following examples have been recognised as successful case studies of new residential development being integrated into a historic context. The schemes have been selected as may have features or uses that are relevant to the care village next to Kingsbury Hall.

1. Blossomfield Park at Tudor Grange, Solihull (Later Living)



This recently completed scheme comprises the conversion of the Grade II Listed Tudor Grange and Stable Block, and four new blocks containing 139 units for later living.

Here, the new buildings are carefully configured on the site to minimise impact on the listed asset, whilst taking precedent in scale, proportion, form and materials.

The listed Tudor Grange has been sympathetically restored and repurposed to provide facilities for the 139 apartments on site at ground floor.



Facilities accommodated include a gym, library, cinema room, games room and a business hub with hot desking and meeting space, which can also be used for private parties. These communal uses ensure that the Listed Building is integral to the site's sustainability.

The new buildings adjacent to the Listed Building are designed in a manner most closely aligned with the aesthetic of the existing outbuildings, and are similar or smaller in scale to the main House.

Whereas those further away have a familiar but less literal connection with the heritage architecture, and are larger in scale and massing to meet the demands of the operator's brief.



In 2023, the Birmingham & West Midlands Group of the The Victorian Society awarded its prestigious conservation award to Tudor Grange, in recognition of 'the exemplary restoration of the fine Jacobethan house'.

Photos Copyright APEC Architects



© Google Maps

An aerial view of the Blossomfield Park development (during the construction stage) demonstrates how development is of high density yet sympathetic to the Listed Building and the site's natural environment too.

2. Willow Barns Extra Care Living Accommodation, Stoke on Trent



This scheme comprised the conversion of a collection of Grade II Listed agricultural barn buildings (now providing the community areas) along with the development of 75 extra care apartments on a sloping site.

Here, the new buildings take precedent from the vernacular of the agricultural barns, using the same form and materials on a larger scale to accommodate the new apartments.

The configuration of the barns enable courtyard gardens to be created in between, with link bridges between the blocks that step down the sloping site.

The scheme, designed by PRP Architects, won an RIBA regional award in 2018 and is listed as a case study by Historic England (Designing in the Historic Context).

Photos courtesy of PRP Architects and Aerial view Copyright Google Maps

3. The Bourne Estate, London



This scheme comprises the addition of 2 new residential blocks into the Grade II Listed Bourne (housing) Estate in Camden, London.

The scheme has been recognised for sensitively *knitting* the new blocks into the existing historic context in a way that is sensitive to the original design.

The scheme has 5 storey buildings (taller than proposed at Kingsbury Hall Retirement and Care Village), yet can act as a useful precedent, illustrating how the composition of the new façades has taken reference from the existing proportions, details around entrances and differing treatment of the top floor.



The new blocks also continue the building lines, reinforcing the established sense of enclosure to the common areas. The existing formal arrangement and pattern of blocks in relation to public space is also closely adhered to in the configuration of the new blocks.



Whilst the architecture of the Bourne Estate is of a much later period than the precedents likely to be used to inform the design at Kingsbury, it provides a useful precedent for mid-rise residential apartment design in a context of a predominating classical style, demonstrating how variation in materials, entrance features and the framing of key vistas contributes to the success of the design.



The scheme, designed by Matthew Lloyd Architects, won a Housing Design Award in 2018, RIBA regional award and is featured as a case study in the Historic England publication *Designing in the Historic Context*.

Drawings and photos courtesy of Matthew Lloyd Architects

3. Built Form

Guidance Notes for Design Codes states:

The National Design Guide defines the 'built form' of an area as the 'three dimensional pattern or arrangement of development blocks, streets, buildings and open spaces' that make up any built-up area or development. It says that a well-designed place has a coherent form of development. For built form, this means

- *A compact form of development*
- *Appropriate types of building and form*

From the North Warwickshire Local Plan:

The North Warwickshire Local Plan Adopted September 2021 provides the following guidance on Built Form (refer to LP30). The following extract relates to principles in the design of the Built Form, as defined by the National Design Guide. Refer also to Section 6 for principles relating to Identity (as defined in the National Design Guide).

All development in terms of its layout, form and density should respect and reflect the existing pattern, character and appearance of its setting. Local design detail and characteristics should be reflected within the development. All proposals should therefore:

- a) ensure that all of the elements of the proposal are well related to each other and harmonise with both the immediate setting and wider surroundings;*
- b) make use of and enhance views into and out of the site both in and outside of the site;*
- f) ensure that the buildings and spaces connect with and maintain access to the surrounding area and with the wider built, water and natural environment;*
- g) are designed to take into account the needs and practicalities of services and the long term management of public and shared private spaces and facilities;*
- h) create a safe, secure, low crime environment through the layout, specification and positioning of buildings, spaces and uses in line with national Secured by Design standards;*

3.1. Design Guidance Relating to Built Form

In accordance with the National Design Guide, a coherent pattern of development has been designed in the scheme proposed in the Outline Planning Application. The layout adheres to the principles set out in the National Design Guide's advice on built form, and has been applied appropriately to the local context.

The following paragraphs describe how this form of layout has been determined and highlights the key attributes that should be maintained in any further development of the design proposals, even if the layout changes, and as illustrated in figure 3. Refer also to the Design and Access Statement.

Section 3.3 sets out what elements of the built form should be given further consideration in the detailed design stage in order to enrich the scheme, including public: private designation, active frontages, building line, heights and street section enclosure.

3.2. Density

The density of the scheme design at Outline Planning Application stage is based on:

- The agreed scale of development required to ensure the sustainable restoration and ongoing use of the Listed Building.
- The agreed developable area. This was defined by the parameters set out by the heritage assessment, which include a minimum distance from Kingsbury Hall, sight-lines alongside the river bank and topographical constraints.
- Defined building heights across the site

3.3. Building Types and Forms

In accordance with the National Design Guide, a coherent pattern of development has been established in the Outline Planning Application.

The brief for the site requires a significant amount of one and two bedroom Extra Care residential units. In accordance with guidance in the National Design Guide, the form of development has been carefully considered and well-designed to:

- Make efficient use of land with an amount and mix of development and open space that optimises density
- Apply good urban design principles that combine layout, form and scale in a way that responds positively to the context, accessibility, the proposed building types, form and character of the development.
- Adopt strategies for parking and amenity that support the overall quality of space.

Key principles of the design that should be maintained where possible are as follows (refer to Figure 03):

- Building heights appropriate to the local historic and geographical context as set out in the Outline Planning Application.
- Building heights are lower in close proximity to Kingsbury Hall, and higher at the far (north west) end of the site, in order to avoid the possibility of over dominance of the Listed Building.
- *Perimeter blocks* have been used to accommodate the Extra Care residential units and ancillary facilities to define the layout. Blocks of residential units are interconnected yet break down into distinct elements, reducing the scale of the overall scheme and providing views and routes into and through the development from the public domain.

- Wherever possible, all units have views towards green space; and across the site, providing a variety of options from long views over the water park to views into the courtyard garden and views over playing fields.
- A satisfying sense of enclosure within the courtyard, on the main street and between the reception block and Hall outbuildings, resulting from the ratio of width to height.

Public and private amenity spaces are distinct from each other with most of the blocks arranged around a courtyard, providing safe and secure amenity space that has a pleasing sense of enclosure whilst allowing plenty of natural light.



Fig. 03. Sketch illustrating adherence of the layout to National Design Guide: Built Form Characteristic

3.4. Design Guidance

The scheme design to be developed in more detail should specifically seek to enhance the established pattern of built form and the benefits of a well-designed built environment in the following ways (refer to Figure 4):

- Where possible, active frontages should be provided at ground level facing the street, providing passive surveillance to encourage walking (as people feel safe).
- The dominant building line should be maintained to street frontages. Departure from the building line should be exceptional e.g. where there is an entrance or a different use, for example.
- Connections across the site should be maintained to enable permeability through the site for pedestrians, particularly suitable for older and disabled people to encourage physical activity and social interaction. They should be wide enough for people assisting someone to pass someone in the opposite direction, and for wheelchair users to pass each other.
- Crossing points for pedestrians across vehicular roadways should be regularly provided and ideally raised and in the same surface material as the pavement to provide pedestrian priority and to ease mobility.
- 'Destinations' (as described in Para 72 of the National Design Guide) should be designed-in on the site. These provide opportunities for people to meet, share experiences and come together as a community. These can be formed by features that become recognisable as meeting points in a variety of locations both public and private. e.g. public art, water features, seating etc.
- Raised planting beds, suitable for fruit and vegetable growing can provide the opportunity for people to participate in gardening activities and encourages positive social interaction.
- Benches should be provided regularly around the site to enable rest stops, especially at the tops of slopes.
- A variety of built form may be appropriate to add interest to the site, whilst maintaining coherent building lines to the street frontages in particular.
- Gaps between blocks should be retained (also required for the drainage strategy) to enable visual and physical permeability, facilitating orientation too.
- Heights should not exceed those shown in the parameters plan, with regards to numbers of storeys. It is accepted that the type and style of roof may determine the actual overall height.
- Variance in building heights should occur gradually across the site and frequent changes in height should be avoided.



Fig. 04. Sketch illustrating design guidance for detailed Scheme Design

4. Identity

Guidance Notes for Design Codes states:

The identity of a place comes not just from the form and appearance of the buildings and spaces but also from the way that it is planned, its natural environment and the use of its buildings. This includes the way that it responds to the character of the local area and the design of its buildings and public spaces.

Identity may come out of respecting and enhancing the existing character of the area and also from adapting and shaping to develop new character. The architectural approach needs to be influenced by its surrounding architectural character.

From the North Warwickshire Local Plan:

The adopted North Warwickshire Local Plan also makes reference to the following principles with regards to this characteristic:

Local design detail and characteristics should be reflected within the development. All proposals should therefore:

- c) make appropriate use of landmarks and local features;*
- d) reflect the characteristic architectural styles, patterns and features taking into account their scale and proportion,*
- e) reflect the predominant materials, colours, landscape and boundary treatments in the area;*

4.1. Overview

Reference should be made to the National Design Guide with regards to making developments attractive and distinctive by responding to existing local character and identity. For significant new developments such as this one, it is also critical that the scheme is legible. The concept of legibility relates to how easy it is for someone to orientate themselves in a place and to easily navigate. Good place making does not rely overly on signage to direct people but uses landmarks, nodes, and street hierarchies to assist with navigation, supported by a network of footpaths that follow instinctive and direct routes wherever possible.

Here, some specific direction is given to how the new proposals should be designed to relate to Kingsbury's local identity and to ensure legibility.

4.2. Local Character Appraisal

Kingsbury village does not have a strong consistent identity; by far its most distinctive feature is Kingsbury Hall, and together with the Grade II* Listed Church of St Peter and St Paul, and the Grade II Listed Teacher's House, the small conservation area surrounding the village's Listed Buildings provides some sense of place and character that can inform and influence this new build scheme.

Both the Hall and the Church sit in elevated positions, visible from a wide geographical area, providing a distinct landmark for Kingsbury. Whilst the proposed scheme should not seek to compete with these landmarks, it should complement and reinforce their presence.

In addition to the listed buildings, the Conservation Area comprises a pleasant collection of domestic buildings of varying sizes and styles on the steeply rising Church Lane. The lane has a pleasing proportion in its width to height and the building line is meandering with buildings of varying styles, and yet a consistent boundary wall line provides coherence to the pattern of development and the heights of the properties are fairly consistent (albeit the topography means that the rooflines step up).

4.3. Local Character Design Guidance

Character can be reinforced in the new scheme through the architecture of the new buildings to reflect and complement the local vernacular. Whilst there is no dominant architectural style in Kingsbury (which comprises a mix of styles and periods), it would be most appropriate to use the architecture of Kingsbury Hall itself as precedent for the new building developments, albeit that given the size of the site, it may be appropriate to introduce a degree of variety in the architecture, reflecting other precedents in north Warwickshire, yet ensuring the pattern of development is coherent and avoids a 'pick and mix' or haphazard approach.

Specifically, the developed scheme should take precedent from the Hall and other local buildings of this period in:

- the composition of the façades; including ratio of wall to window, the hierarchy of floor to floor heights, use of symmetry, articulation of entrances, verticality or horizontal dominance (e.g. defined by banding or brickwork changes).
- the degree of variety or regularity and repetitiveness
- the building form and massing; including roofline, gables, parapets
- the palette of materials selected for walls, roofs and windows and decorative features
- the proportions of windows, doors and building elements or 'blocks'
- the articulation of windows, doors, corners, storey changes through stonework, recess, variety in brick bond or special bricks.

Particular attention should be paid to the buildings closest and in the sight line of Kingsbury Hall, with regards to the buildings' sensitivity to the historic context.

Proposals should seek to take precedent from Kingsbury Hall yet not attempt to imitate. Instead, such analysis should be applied in a way that is appropriate to the new buildings' purpose in a way that is recognisable and sensitive but not literal. A number of case studies can be found for designs that are successful in doing this in the Historic England document 'Design in the Historic Environment: Promoting a Contextual Approach to New Housing in Historic Places'.

4.4. Legibility Design Principles

The scheme submitted for Outline Planning Consent proposes a layout that will provide a coherent pattern of development with the potential to accommodate some variety in architecture with several different component buildings.

Views into, through and from the site significantly influenced the layout, taking advantage of the elevated position.

The component blocks accommodating the Extra Care apartments are configured in a way that provides legibility to the site as well as variety in the setting of the units, facilitating apartments with long views, apartments with views into the complex's gardens and apartments addressing the 'street'. The new street provides an axial view towards the High Dependency Care Unit, a vista that is framed by the apartment buildings to either side of the highway, supplemented with strips of landscaping to each edge providing biodiversity, enclosure and connection with nature.

The majority of apartments are accommodated within a series of interconnected blocks configured in a quadrangle around courtyard gardens. Regular gaps or glazed cores separate the component blocks, providing relief in the built form, and views into and out of the courtyard, reinforcing legibility through the site. This approach also enables the arrangement of component blocks to respond to and work with the sloping topography of the site, reinforcing local character and minimising unnecessary engineering.

4.5. Legibility Design Guidance

Further design development should further enhance the legibility of the new scheme by:

- Identifying key views into and across the site and recognising opportunities for enhancing vistas with landmarks, nodes and using the built form and building lines to frame these vistas.
- Carefully considering the design of the street scene to create an attractive and inviting environment to encourage pedestrian flow. Particular consideration should be given to:
 - The composition of the built form lining the street.
 - The treatment of the ground floor of the buildings fronting the street, and their interface with pavements e.g. boundary treatments/ privacy.
 - Street furniture and amenity planting for shade and shelter.
- Identifying focal points in the built form, where distinct architectural features could aid legibility.
- Adopting a palette of materials for hard landscaping that reinforces public and private footways and pedestrian priority areas.
- Using soft landscaping and new trees to create nodes, and to reinforce legibility with variety of distinct natural and man made features (e.g. public art incorporated into soft landscaping).

- Using the architecture of prominent focal points to direct new visitors to the site towards the main entrances that are not visible from the site entrance (intentionally to avoid the requisite vehicular roundabout harming the setting of the Listed Building).
- Identifying key walking routes around the site, mindful of natural surveillance and safety, and providing regular seating in safe and attractive points.



Fig. 05. Sketch illustrating legibility design guidance

5. Choice of Materials and Local Characteristics

In accordance with the North Warwickshire local plan:

Local design detail and characteristics should be reflected within the development. All proposals should therefore:

d) reflect the characteristic architectural styles, patterns and features taking into account their scale and proportion,

e) reflect the predominant materials, colours, landscape and boundary treatments in the area;

Further to Section 2 Context, this section identifies specific local materials that may be considered appropriate in the detailed design of the scheme, and other materials that may be considered appropriate and inappropriate in this setting.

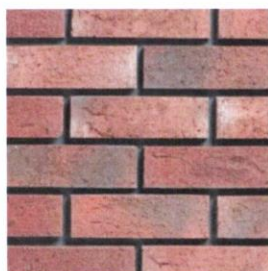
5.1. Existing Context - Materials

The building facades are likely to be the most dominating element to the new buildings. Brick is an obvious choice for the primary, dominant material to be used for the building façades, but stone too would reflect the local vernacular. Other materials should also be considered, as secondary materials for the façade treatments. This approach could assist in breaking up any long expanses of brickwork or stonework which may otherwise be overbearing.

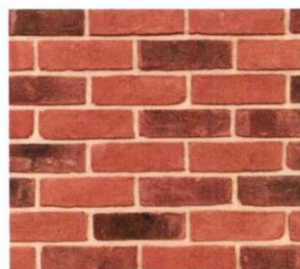
Vernacular brickwork in the north Warwickshire and south Staffordshire counties range from rich, deep browns, to reddish browns (both found on many of the Georgian houses and agricultural barns) through to the greater variety in colour found at Hurley House, where creamy buff hues interspersed with occasional purple/brown bricks.



Rich brown brickwork with some variation in colour as per Teachers House in Kingsbury



Warm pink/orange tones in the brickwork at Hurley Hall



Variety of warm orange and brown tones in the brickwork at Atherstone House



Sandstone at Kingsbury Hall, and in new build contexts

Roofing materials will be less dominant and will be determined by the type and style of roof. Slate and clay tiles are prevalent on pitched roofs in the local area.

Relief is provided to expanses of brick in the detailing around windows, doors and at corners, as well as through the use of other materials such as stone and ashlar. Brickwork detailing at storey level and at eaves, and the selection of the predominant brickwork bond can also add interest to the façade.

Predominant roof styles amongst the local vernacular include dual pitched roofs with gable ends, and parapets roofs with low pitched hipped roofs behind. Different roof treatments may be required within the developed scheme to ensure maximum building heights are met, especially for buildings of deep plan where a dual pitch roof could be disproportionately bulky.



Examples of local characteristics and detailing: common use of string course and change of façade treatment to different storeys, stone mullions, arched window head, brickwork detailing.

5.2. Proposed Materials Overview

The selection of materials for the new buildings should be carefully selected, demonstrating due regard to the local vernacular, the local environment, sustainability, aesthetic considerations, maintenance and the impact of prevailing weather conditions.

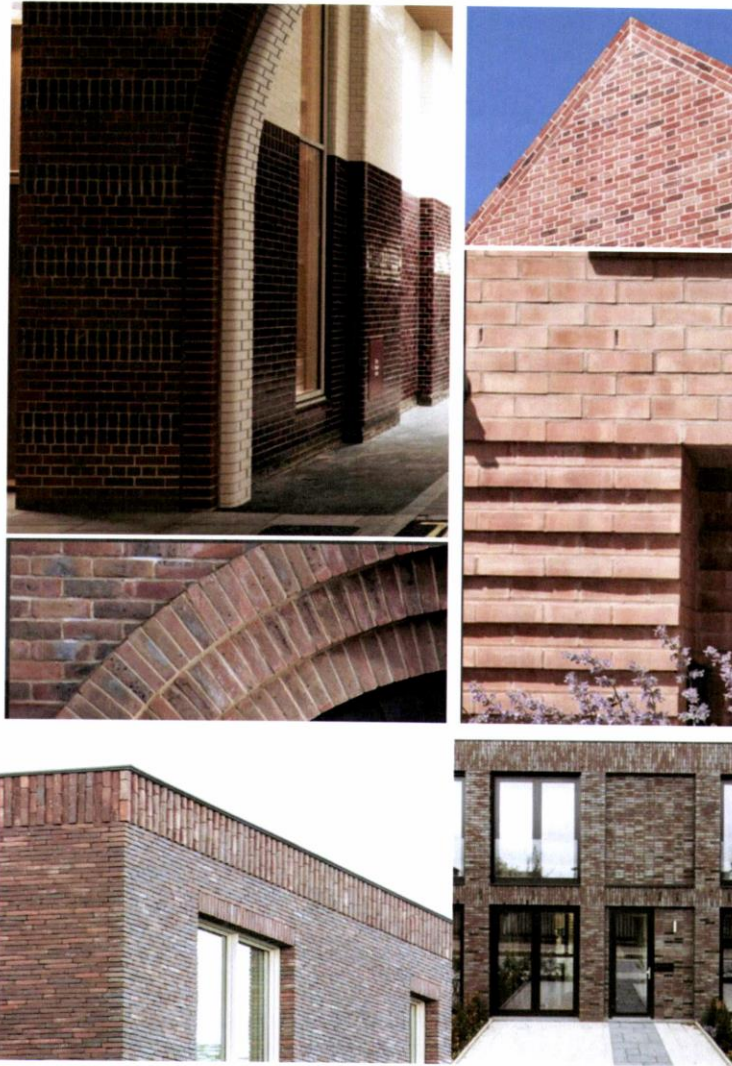
The selection of materials for the various buildings on the site should also be influenced by the scale of the particular building and its proximity to the heritage asset. Generally, buildings closer to Kingsbury Hall, and/ or where they are visible in key views of the Hall, should be more explicitly sensitive to materials and details found in the architecture of the Hall and/or the local vernacular. Those buildings further away, which tend to be of a greater scale, may, by contrast, adopt a palette of materials that is less literally influenced by the Hall and the local vernacular; the introduction of sustainable materials, green walls and modern sheet materials may be more appropriate, where still of appropriate high quality.

Refer also to drawing 52802 DD.3.650 in Appendix A which provides precedent schemes that illustrate appropriate forms of architecture, materials, detailing, scale, massing and landscape treatments.

5.2.1. Proposed Materials Palette

Brick

By utilising brickwork as the primary, unifying material for the façades, proposed elevations can be broken up through relief, voids and contrasting materiality. The brick colour palette is inspired by the local context, and detailing can be used to avoid large expanses of building mass.



Examples of brick detailing in new build schemes



Example of facade punctuation

Stone

Stone can add richness to the proposals, with buildings in closer proximity to Kingsbury Hall likely to be inspired by the features of stone quoins, window surrounds, cills and string courses. Stone can also be used as a material up to a datum, again to punctuate the elevations of the proposed units.



Examples of considerate stone features

Roofing - Green Roofs

The majority of roofs in the scheme will be flat to minimise the building heights. Green roofs are to be utilised in the proposals - providing opportunities for improving biodiversity and potentially inhabited social areas.



Examples of green roofs

Roofing - Pitched Roofs

Despite the majority of the proposed units having flat roofs, pitched roofs may be more appropriate in close proximity to Kingsbury Hall or where buildings are likely to be highly visible within key vistas looking towards the Hall. Any pitched roofs in the scheme are to be sensitive to the existing context. Brown and dark grey roof tiles complement the slate and clay roof tiles of Kingsbury Hall and its outbuildings, and as found in the local vernacular.



Examples of roofing materials for pitched roofs.

Hard Landscaping

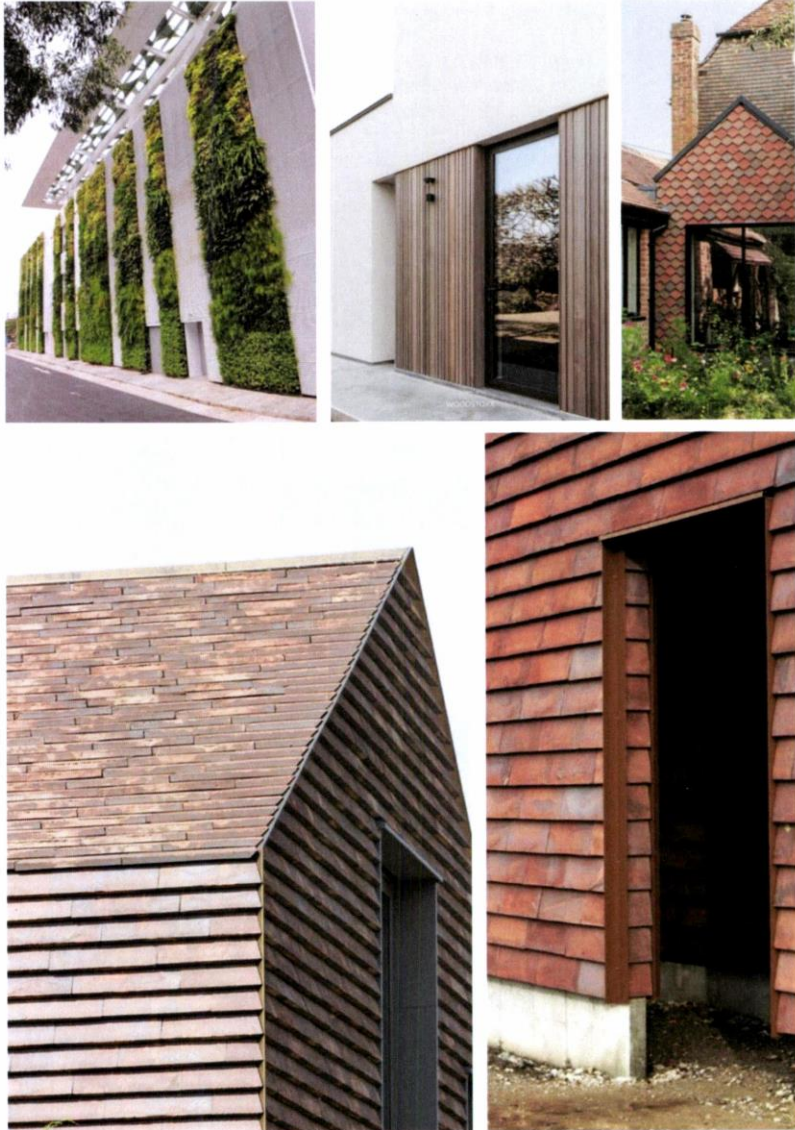
The proposals may utilise a combination of resin-bound gravel (near Kingsbury Hall), with asphalt and pavers in pedestrian areas and shared spaces.



Buff-coloured hard landscaping and pavers

Cladding and Alternative Façade Treatments

Green walls, timber cladding, render, tile hanging or metal cladding could feature in the proposals, if sensitive to Kingsbury Hall, to bring character, warmth and punctuation to the site.

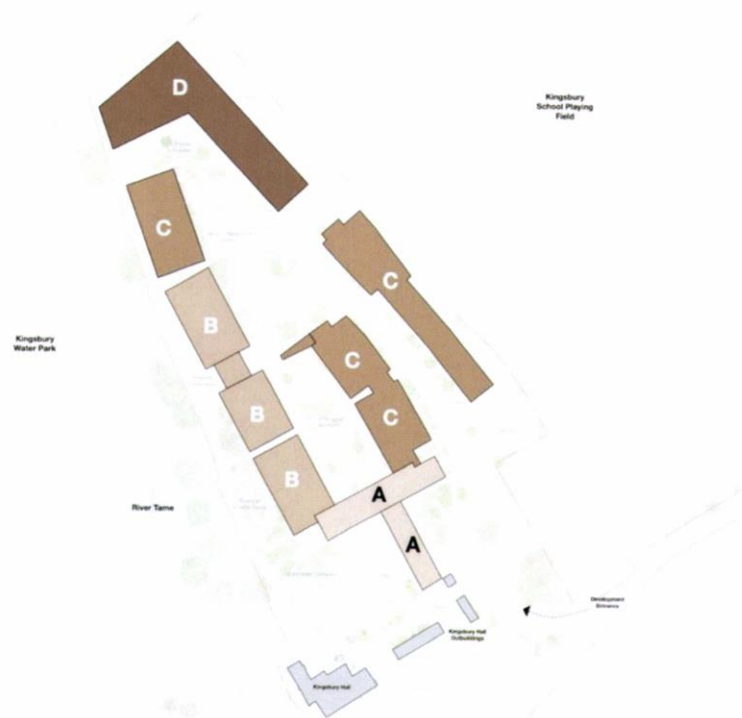


Alternative cladding options

5.3. Application of Material Choices across the development

As described above, the selection of materials for each of the buildings will depend on different factors, and indeed, it is entirely appropriate that the development includes a variety of materials. Given the number of buildings and their varying contexts (with regards to ecological, geographical and impact on heritage), a homogenous aesthetic would not be appropriate. And rather, variety would be more in alignment with the local context, where there are few developments of this scale. A range of buildings will provide interest and ensure the development is not too 'blocky'. As demonstrated in many examples of good urban design, certain 'rules' can be adhered to within a townscape yet whilst embracing variety in colour, materials and architecture.

The table overleaf sets out how different material selections may be more appropriate to the various new buildings across the site. The associated plan below categorises the different buildings as referenced in the table.



Site Plan showing categorisation of buildings re materials palette.

Building Category	Description/ Context	Material Selection
A	Buildings/ 'blocks' that are most sensitively positioned with regards to the heritage context- ether via proximity or affecting key vistas. These buildings are either single storey or 2-storey.	Palette of materials should be predominantly selected from local vernacular; e.g. brick, stone roof tiles, with close reference to Kingsbury Hall with regards to detailing, brick bonding etc.
B	Buildings are not in close promixity to the Hall nor are located close enough to impact key vistas. These buildings are mainly no more than 2-storey (above ground level) or could be 3-storey with a flat roof- where required for biodiversity.	Palette of materials should predominantly take reference from the local vernacular; brick, stone and tiles (roof or wall tiles). However, it may be appropriate to include elements of different materials, if appropriate- e.g. timber cladding, green walls or green roofs (where required for biodiversity). Detailing should be of high quality but can be less closely aligned with that of the heritage asset.
C	Buildings are significantly outside of the sightlines of Kingsbury Hall and far away enough or concealed to require less literal reference to the heritage context, and may be more appropriate to address the ecological aspirations of the scheme.	Palette of materials should be sensitive to the predominant local materials yet may be complementary rather than the same. This could include timber cladding, metal cladding and metal roofs (for small areas where green roof not possible/ required). Brick selection may include more variety in colour and detailing, especially for larger buildings, in order to create interest to the façades.
D	Buildings that are towards the northerly end of the site with no direct relationship with Kingsbury Hall. Includes the High Dependency Care Unit will have technical demands (e.g. large plant rooms) requiring specific façade treatments e.g. louvres etc.	These buildings should adopt a materials palette that is sensitive to the setting, high quality, highly durable to weather, and authentic to the building's purpose. Environmentally sustainable materials may be prioritised, especially if locally sourced and where aesthetically sensitive to the natural environment. In addition, metal cladding may be acceptable where it isn't the predominant facing material.

5.4. Inappropriate and unsuitable materials.

The following materials should be avoided or their use restricted, as described:

Type	Application	Comment
PVC-u	Cladding, window frames, doors, fascias or barge boarding	Use of this material should be avoided for any of these applications - and in any visible locations.
PVC-u	Exposed rainwater goods (e.g. gutters, downpipes)	Use of this material for this application may be appropriate only for building categories B, C and D. Choice of colours should be sympathetic to the architecture, such that rainwater goods do not stand out.
Render	External walls to buildings and to landscaping	Render (generally) is subject to a much speedier deterioration in appearance compared to other materials- especially where painted, exposed to driving rain or damp/ shaded areas, and where poorly detailed- and therefore highly vulnerable to staining. Use of this material should be avoided, generally and where its use is justified, it should be restricted to locations that are easy to access for maintenance. Use of this material on exposed north facing façades should also be minimised.
Softwood (other than highly stable/ durable softwoods)	Cladding, window frames, fascias, boarding, landscape features (as a finish)	The successful use of softwood as a finish in external settings is highly dependent upon regular maintenance, without which buildings can quickly deteriorate in appearance. Generally, its use should be avoided with a preference for hardwood, and, where possible, species that do not need to be treated or painted are preferable.
Artificial stone, artificial wood, artificial architectural features	Faux chimneys, timber effect plastic cladding, pilasters, decorative features on buildings or landscaping	The use of artificial materials (e.g. fibre glass, plastic wood, reconstituted fibrous products) to replicate heritage features or as a cheap alternative to the authentic material or feature should be avoided entirely. These are entirely inappropriate to the heritage context.

6. Conclusion

This Design Guide has set out some key parameters to inform the detailed design of the Later Living scheme at Kingsbury Hall.

Any detailed design will be subject to approval via a Reserved Matters planning application, and therefore it is not the intention of the guidance contained here to provide a specific pre-prescribed design. Rather, the guidance given here is providing criteria for the more detailed design to meet, and is also intended to demonstrate that an architecturally high quality scheme that is sensitive to its historic context can be delivered here.

This guide also shows how the principles set out in the National Design Guide should be approached in the context of this scheme.



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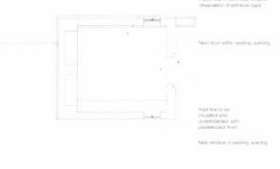
FOR PLANNING

PREPARED BY: JACOBSON ASSOCIATES, INC.

DATE: 09/12/2024

PROJECT: [REDACTED]

APC Architects



RECEIVED 9/12/2024 PLANNING & DEVELOPMENT DIVISION

FOR PLANNING

PREPARED BY: JACOBSON ASSOCIATES, INC.

DATE: 09/12/2024

PROJECT: [REDACTED]

APC Architects



Your ref: PAP/2018/0686
My ref: 180686



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FAO : Jeff Brown

10 October 2019

PROPOSAL: Hybrid planning application comprising 1) Full planning application for the restoration and conversion of Kingsbury Hall and outbuildings to A3, C1 and D2 use classes; 2) Outline planning application (all matters reserved except access) for a high-dependency care centre of up to 4,565sq mtrs (use class C2) and 81 dwellings for over 55s (use class C3).

LOCATION: Kingsbury Hall, Coventry Road, Kingsbury.

APPLICANT: Kingsbury Hall Developments Ltd

Having undertaken a full assessment of the development proposals, the response of Warwickshire County Council as the Local Highway Authority to the above application is one of **no objection subject to conditions**. The justification for this decision, along with advice for the Local Planning Authority in regard to the private access arrangements, is provided below.

Analysis

The development proposals have been assessed in accordance with the following national and local policy and guidance documents:

- National Planning Policy Framework published by Department for Communities and Local Government in February 2019;
- National Planning Policy Guidance: Travel Plans, transport assessments and statements in decision making published by the Department for Communities and Local Government in March 2014; and,

*Working for
Warwickshire*

- Warwickshire Local Transport Plan 2011 – 2026, published by Warwickshire County Council in 2017.

Background

A previous response of objection was made to this planning application citing the following reasons:

- The Highway Authority does not consider the proposed vehicular trip rates to be acceptable, as the Edge of Town parameters have been selected. The Highway Authority does not consider the use of the Edge of Town parameter to be representative of the application site.
- The Highway Authority considers the existing vehicular accesses onto the private access road to be below standard. The development proposals will increase vehicle flows along the private access road, which could increase the potential for collisions between vehicles egressing from the vehicular accesses and vehicles travelling along the private access road.
- The Highway Authority does not support the provision of shared space/surfaces since the Government has temporarily suspended Local Transport Note 1/11 (Shared Space).
- The Highway Authority is not satisfied that all of the problems identified within the Stage 1 Road Safety Audit have been addressed to a satisfactory level.
- The Highway Authority has concerns that the proposed footway does not provide a direct connection onto the public highway footway or onto the footway proposed within the application site, which would result in pedestrians walking along the carriageway creating a potential for conflict between pedestrians and vehicles

Further information has been provided by the applicant which has been considered by the Highway Authority and this has overcome the Highway Authority's reasons for objection, however and as explained below, North Warwickshire Borough Council as the Local Planning Authority (LPA) and determining body will have to form their own opinion over some of the access proposals for the private driveway access.

Existing Conditions

A private road currently serves the application site, which is accessed off Tamworth Road (D360). The existing vehicular access is approximately 3.8m wide and currently serves the application site and three dwellings. The private access road is also a public footpath (T26) which connects onto adjoining public footpath T27. Footways and street lighting are not currently provided along the private access road.

Development Proposals

The development proposals include the restoration and conversion of Kingsbury Hall and outbuildings into A3 (153.7sq.m), C1 (167sq.m) and D2 (724.1sq.m) class uses; the erection of a 120-bed high dependency care centre of up to 4,565sq.m (Use Class C2); and the erection of 81 dwellings comprising 39 independent living houses and 42 independent living apartments. The development proposals also include alterations to the existing vehicular access onto Tamworth Road.

Transport Statement & Technical Note

The Transport Statement (TS) was considered as part of the previous LHA consultation response, and further to the five reasons for objection a Technical Note (TN) (rev C) has been submitted by the applicant to address those matters. The TN has been prepared by David Tucker Associates (DTA) on behalf of the applicant.

Trip Rates

Further to the issue raised in regard to the inclusion of sites within the TRICS database with Edge of Town locations, the TN provided revised trip generation forecasts for the site.

The results showed a marginal change in arrival and departure flows in the morning and evening peak hour periods over those detailed in the November 2018 TS:

	AM Peak		PM Peak	
	Arrivals	Departures	Arrivals	Departures
PAP/2008/0482 consented development	4	13	12	7
PAP/2018/0686 TS (Nov 2018)	18	34	29	13
PAP/2018/0686 TN rev C (Jan 2019)	17	31	27	17

The proposed development would generate an additional 31 two-way trips in the morning peak and 25 two-way trips in the evening peak over the previous consented development (PAP/2008/0482).

Given the forecast flows, and those on the network as detailed in the Transport Statement, such volumes would not expect to create a capacity concern on the local transport network.

Access Arrangements

A revised layout for the access arrangements is shown in Drawing no. 17161-03 rev D.

The existing vehicular access with the one-way loop off Tamworth Road is shown as being improved with the creation of a bellmouth junction with the 2.4m x 43m visibility splay within the existing adopted highway.

To the west of the adopted highway, and within private ownership, to the west of the access to the property known as 'Blencarn' the access road is proposed to have a raised table creating a short section (approx. 10m in length, circa 4.5m in width narrowing to 3m) of 'shared space'. To the west of the raised table, and on the southern side of the access, a 1.5m footway is proposed that would run flush from the raised table with a bollard to prevent overrunning by vehicles, to connect with the existing track around 120m to the west and providing a pedestrian route to Kingsbury Hall. The carriageway would widen from 3m at the raised table to 5.5m as it continues west to provide a vehicular route to the development, and widened to 6m around the bend.

Due to the land width constraints, a set of give way road markings are proposed immediately to the west of the access to the property known as 'Riviera', and this provides around 45m of forward inter-visibility between the give way point and the access from Tamworth Road which is acceptable based on the low vehicle speeds at this location.

The Highway Authority previously raised a concern with the level of visibility splays at the existing vehicular accesses serving the three dwellings along the private access road. The Highway Authority acknowledges that the existing vehicular accesses are located on a private access road and the visibility splays are currently below standard, and this is largely a result of the high and dense hedgerows that form part of the properties themselves, and in the case of 'Kerrycroft' additionally the bend in alignment of the driveway to Kingsbury Hall.

The TN states that this matter has not been raised when previous planning applications were determined (PAP/2008/0482 and PAP/2010/0615), and which would have generated 29 and 30 two-way trips in the morning and evening peak hours respectively, nor was it raised in the Stage One Road Safety Audit carried out for the latter application or this application.

The Highway Authority accepts that the forecast level of generated traffic under this application will only be around 20 additional two-way trips in the peak hours, the proposed alterations to the private access road should not adversely affect the existing visibility splays, the proposed arrangements in the vicinity of 'Blencarn' and 'Riviera' would assist in reducing vehicle speeds, and the planning history demonstrates the principle for additional vehicle movements along the private access having been accepted. For these reasons, the impact of the additional forecast trips are not considered to be severe as set out by the NPPF. However if the LPA is minded to approve the application, it is recommended that conditions be imposed for 1) a scheme of signage and road markings to be submitted and approved by the LPA; 2) that a

Stage 2 Road Safety Audit be submitted for review and approval by the LPA of the whole scheme, with particular reference to the layout in the vicinity of the bend given the proximity of the access to 'Kerrycroft', clarification should be provided if a footway is to be provided on the outside of the bend as suggested on drawing no.s DD 3.050 rev B, DD 3.014 rev B & DD 3.001 rev E but not indicated on drawing no. 17161-03 rev D, the proposed pedestrian crossing over the private access road east of 'Kerrycroft' connecting PROW's T26 & T27, and the shared space table; and 3) that any planting/landscape treatment should not adversely impact on the visibility splays to/from the private driveways on the northern side of the private access road.

Shared Space

Following the publication of the Department for Transport's Inclusive Transport Strategy on 25th July 2018, the Government has temporarily suspended Local Transport Note 1/11 (Shared Space), and asked that "*your authority pause the introduction of new shared space schemes which incorporate a level surface, and which are at the design stage. This pause will allow us to carry out research and produce updated guidance. We have also suspended our guidance note Local Transport Note 1/11: Shared Space while this work takes place*". Therefore the Highway Authority is not currently supporting the provision of shared spaces/surfaces as the underlying guidance has been withdrawn and we are awaiting further guidance from DfT.

In withdrawing LTN 1/11 the Department for Transport advised (28th September 2018) the following to try to clarify the situation:

In response to concerns raised about shared space and navigability, the Inclusive Transport Strategy asked local authorities to pause the introduction of new shared space schemes that feature a level surface, and which are at the design stage. This therefore does not apply to development schemes that are currently at the planning application stage or beyond. For the avoidance of doubt, a level surface is a design feature in which the level difference between the footway and the carriageway is removed. The request to pause such schemes has led to a number of enquiries from developers, practitioners and planning authorities.

While authorities need to ensure that all schemes are designed with the needs of different users in mind, and satisfy their obligations under the equalities legislation, the focus of the pause is on level-surface schemes in areas with relatively large amounts of pedestrian and vehicular movement, such as high streets and town centres (outside of pedestrian zones). The pause does not apply to streets within new residential areas, or the redesign of existing residential streets with very low levels of traffic, such as appropriately designed mews and cul-de-sacs, which take into account the relevant aspects of the National Planning Policy Framework and associated guidance.

Features often included in a shared space scheme, such as the minimal use of traffic signs and other traffic management related street furniture, removing traffic signals, removing/modifying formal and informal crossings, raised side road entry treatments,

continuous footways, table junctions and shared use routes for pedestrians and cyclists are often integral parts of other traffic management schemes. The use of these features in traffic management schemes is not included in the request to pause level surface shared space schemes. The availability of formal crossings is particularly important for visually impaired people. Local authorities should consider how this need can be met in all schemes, including shared space.

As shown on drawing no. 17161-03 rev D a shared surface 'ramped' area has been proposed at the first 'pinch-point' along the access road, in between the vehicular access and the give way markings at 'Riviera'. The TN states that the narrow section of the private access road exists now, and has been included (albeit not ramped or having a different surface treatment) as part of the previously approved designs under PAP/2008/0482 and PAP/2010/0615.

Whilst it is acknowledged that this scheme is at the planning application stage, and the vehicle flows associated with the proposal are not high, representations have been made by third parties regarding the use of the PROWs and pedestrians using them to travel to and from the local school, to the west of 'Riviera' the access road has not been designed with any speed reducing features, and the DfT advice requires that authorities should satisfy their obligations under the equalities legislation. Consideration should also be given to the occupants of this proposed development and their visitors, many of whom may be mobility and/or visually impaired and who may be reliant on public transport.

The Stage One Road Safety Audit carried out in support of the development has not identified any safety concerns over the proposed ramped shared surface and the letter to NWBC dated 5th March states that *"in the view of the audit team, inter-visibility between users would be good, that predicted traffic volumes were demonstrated as low, and speeds likely to be low along the Hall Access Road."* And whilst the auditors confirmed that the audit was carried out in accordance with the Design Manual for Roads and Bridges Highway Directive HD19/15 and considered all road users when carrying out the audit, they also state that *"it is not the audit team's role to approve or reject the Engineer's response of any design amendment to overcome a road safety related issue identified within the audit, it is the responsibility of the Overseeing Organisation who is responsible for the highway affected by the proposed highway improvement scheme to make the final decision. We understand that the road in question is a privately owned road."* The letter concludes in stating that *"the scheme proposal should be subject to a Stage 2 Road Safety Audit once the detail design has been completed, assuming planning permission is granted."*

WCC's Road Safety Team have reviewed the Stage One Road Safety Audit, the designers response, and modified proposal shown in drawing no. 17161-03 rev D. Comments regarding the issues raised in the audit are detailed below, but in addition,

the Road Safety Team have raised concerns for pedestrian safety over the area of shared surface.

In an effort to investigate an alternative to the proposed provision of the shared surface and the provision of a narrow footway to connect with the existing footway adjacent to the bus shelter, the matter of land ownership was raised with the applicant and LPA. The redline and blue line boundaries submitted in support of the application (Location Plan dwg no. SV.3.001 rev B), show that there is additional land within the control of the applicant that could be used to provide such a footway. At the time of raising this query the applicant undertook to review the land ownership issue, however no further information has been provided, and therefore as requested by DTA (transport consultants) the scheme as presented with the pinch point has been assessed.

As the shared surface arrangement is proposed to be constructed on the private access road, and would not be adopted by the Highway Authority, the layout and safety of the scheme will not be reviewed further as part of any technical approval process (including further Road Safety Audits) by the Highway Authority. Therefore should the Planning Authority be minded to approve the application, the Highway Authority would recommend a condition be secured for the provision of further Road Safety Audits (Stage 2 & 3) at the appropriate stage of development and use.

Road Safety Audit

Of the 5 issues raised in the Stage 1 Road Safety Audit, 3 items required further consideration by the Design Team.

1. lack of dropped kerb crossing facilities at the bus stop – RSA recommended the uncontrolled pedestrian crossing facilities be improved. Drawing no. 17161-03 rev D includes dropped kerb facilities with tactile paving.
2. Lack of footway at the vehicular access ie. area of shared space – RSA recommended that pedestrian desire lines be assessed and appropriate footways and pedestrian crossing facilities be provided to connect the shared development access road to the existing footway network. The Designers Response within the TN is that the proposal as shown should be acceptable given the planning and design history of the proposal and the forecast traffic flows and speeds.
3. Lack of connectivity to the existing footway network from within the application site – RSA recommended the proposed footway be extended to link to the existing footpath and appropriate dropped kerbs be provided. Drawing no. 17161-03 rev D shows the proposed footpath to be repositioned on the southern side of the private access road, to link to PROW T27 and dropped kerb crossing adjacent to Kerrycroft.

WCC's Road Safety Team have reviewed the designers responses and commented that:

1. Proposal shown on drawing no. 17161-03 rev D is not accepted, pedestrian crossing facilities should be installed away from the bus stop to avoid pedestrians stepping out from behind the bus into any oncoming vehicles.
2. The proposed tactile paved crossing points should be checked for forward visibility for pedestrians crossing at these points to ensure adequate stopping sight distances, otherwise they should be relocated or removed as appropriate.

With regards to these points, the pedestrian crossing facilities to be installed in the existing adopted highway will require further highway design work and technical approval (including Stage 2 Road Safety Audit) to deliver the facilities under a s278 minor works agreement, the precise location of the crossing facilities could be agreed at that time – therefore a condition is recommended.

WCC's Road Safety Team raised 4 further concerns, one in regard to forward inter-visibility between vehicles at the give way line and turning from the main road and the potential for inbound drivers to consider they have right of way; and the others around the shared space (insufficient width at the shared space for the safe passage of a pedestrian and a standard sized vehicle) and the various pedestrian crossing arrangements.

As detailed in the previous consultation response, the inter-visibility has been reviewed previously and considered to be acceptable, the concern over the shared space arrangement remains, and the pedestrian crossing points are recommended to be reviewed at the detailed design stage for the adopted highway and a Stage 2 Road Safety Audit should be submitted for the scheme to be constructed on the private land.

Vehicle Swept Path Analysis

Drawing no.s 17161-03-1 rev A & 17161-03-2 rev A have been submitted, which shows the carriageway widened to 6m at the bend to allow two vehicles (2 no. MPVs / 1 no. MPV and Phoenix Duo refuse HGV) to pass one another. The speed of tracking was assessed at 5kph and 25kph and the speeds found not to have an effect on the swept paths. This provides clarification over the point raised in the previous consultation response and is acceptable.

Drawing no. 17161-02 has been submitted and demonstrates that a refuse HGV can access the proposed bin store (southern building facing Kingsbury Hall curtilage) and the proposed internal road layout.;

The Highway Authority has assessed the following drawings:

- Drawing no. DD 3.050 B– Kingsbury Hall Proposed Site Plan Full Application*
- Drawing no. DD.3.014 B – Outline Application Illustrative Proposed Site Plan*
- Drawing no. DD.3.001 E – Illustrative Masterplan*

Drawing no. 17161-02 – Phoenix 2 Duo Recycler Tracking Exercise
Drawing no. 17161-03-1 rev A – Proposed Access Arrangements with vehicle tracking
Drawing no. 17161-03-2 rev A – Proposed Access Arrangements with vehicle tracking
Drawing no. 17161-03 rev D – Proposed Access Arrangements

The Highway Authority has assessed the development proposals and provides a response of no objection in so far as the proposals impact on the adopted highway, and requests conditions relating to the access arrangements that fall within the extents of the existing adopted highway. Further detail and advice is provided within this response for the LPA to consider in regard to the approval of the access arrangements on the private land.

Conditions:

1. The development shall not be occupied until the public highway (D360 Tamworth Road) has been improved so as to provide for the creation of a radius bellmouth junction, and pedestrian dropped kerb crossing facilities across Tamworth Road and the service roads in the general vicinity of the existing bus stop, in general accordance with the scheme shown in drawing no. 17161-03 rev D.
2. The private access road to the site shall not be constructed in such a manner as to reduce the effective capacity of any drain or ditch within the limits of the public highway.
3. The development shall not be occupied until forward visibility splays of 45m have been provided between the existing public highway (D360) at a point where two vehicles can pass, and the location of the give way markings on the private site access road (indicated on drawing no. 17161-03 rev D). No structure, tree or shrub shall be erected, planted or retained within the splays exceeding, or likely to exceed at maturity, a height of (specify) metres above the level of the public highway carriageway.
4. The Applicant/Developer shall install suitable measures to ensure that mud and debris will not be deposited on the highway as result of construction traffic leaving the site. Prior to the commencement of the development, the details of these measures (including type, method of operation and control of use) shall be submitted in writing to the Local Planning Authority for their approval in consultation with the Highway Authority.

Recommended for LPA:

5. A scheme of signage and lining for the access arrangements that are to remain private shall be submitted to the Local Planning Authority for approval and shall be installed prior to occupation of the development.

6. A Stage Two Road Safety Audit for the development layout and access arrangements that are to remain private shall be submitted to the Local Planning Authority for assessment and approval prior to the commencement of development.

Notes

1. Condition number 1 requires works to be carried out within the limits of the public highway. The applicant / developer must enter into a Minor Highway Works Agreement made under the provisions of Section 278 of the Highways Act 1980 for the purposes of completing the works. The applicant / developer should note that feasibility drawings of works to be carried out within the limits of the public highway which may be approved by the grant of this planning permission should *not* be construed as drawings approved by the Highway Authority, but they should be considered as drawings indicating the principles of the works on which more detailed drawings shall be based for the purposes of completing an agreement under Section 278.

An application to enter into a Section 278 Highway Works Agreement should be made to the Planning Delivery Group, Environment Services, Communities, Warwickshire County Council, Shire Hall, Warwick, CV34 4SX.

In accordance with the Traffic Management Act 2004 it is necessary for all works in the Highway to be noticed and carried out in accordance with the requirements of the New Roads and Streetworks Act 1991 and all relevant Codes of Practice. Before commencing any Highway works the applicant / developer must familiarise themselves with the notice requirements, failure to do so could lead to prosecution.

Applications should be made to the Street Works Manager, Budbrooke Depot, Old Budbrooke Road, Warwick, CV35 7DP. For works lasting ten days or less ten days, notice will be required. For works lasting longer than 10 days, three months notice will be required.

2. Section 39 of the Road Traffic Act 1988 requires local authorities to take such measures as appear to the Authority to be appropriate to reduce the possibilities of accidents when new or improved roads come into use. In submitting plans for the approval of reserved matters/discharge planning conditions the applicant is advised that an independent stage [1/2] safety audit of the proposals must be provided to satisfy the requirements of the Act.
3. Public footpaths T26 and T27 cross/lie adjacent to the site on which planning permission for development is hereby permitted. It is an offence to obstruct or damage public footpaths/ bridleways. This permission does not authorise the interference in any way of the footpaths/bridleways which must be properly protected. For advice about the protection of public footpaths/bridleways during the construction of the development the applicant should contact the County Council's Countryside Recreation Section – tel: (01926) 413427.

4. Prior to commencement of development, the applicant is required enter into an agreement with the Highway Authority under Section 59 of the Highways Act 1980. Prior to works taking place on site and following completion of the development, a joint survey shall be undertaken with the County's Locality Officer to agree the condition of the public highway. Should the public highway be damaged or affected as a consequence of the works being undertaken during the development of the site, the developer will be required to undertake work to remediate this damage as agreed with the Locality Officer.

Yours sincerely



Joanne Archer
Principal Development Management Engineer
Planning Delivery

CC – Cllr Jenns – Kingsbury -For information only.

Appendix B

2022 WCC Consultation Response

Your ref: PAP/2018/0686
My ref: 180686
Your consultation received: 12 December 2022



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13 January 2023

Dear Mr Brown

PROPOSAL: Hybrid planning application comprising: i) Full planning application for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 use classes; Outline planning application (all matters reserved except access) for a high-dependency care centre (use class C2), assisted living accommodation (Use Class C2) and dwellings for over 55s (use class C3).

LOCATION: Kingsbury Hall, Coventry Road, Kingsbury.

APPLICANT: Kingsbury Hall Developments Ltd

The Highway Authority has the following comments to make in regard to your consultation dated 08 December 2022:

The proposed access to the site from the public highway has not changed from the last application. As such, the previous conditions and notes can be considered still valid.

The proposed development shows an increase in units. But based on the TRICS information vehicle movements in peak periods on the highway network will reduce. During off-peak periods the vehicle numbers will increase but should be below the peak demands shown for the previous proposals. As such, the extra off-peak vehicle movements should be acceptable.

However, this is based on the accommodation being used by people over 55 and retired. It does not appear clear in the information provided how many of the units will be C2 and how many will be C3. As long as a condition can be attached stating that residents must be over 55 and retired, then the proposed highway impacts should be acceptable.

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Therefore, the Highway Authority's response to your consultation is one of no objection subject to the following conditions:

1. The development shall not be occupied until the public highway (D360 Tamworth Road) has been improved so as to provide for the creation of a radius bellmouth junction, and pedestrian dropped kerb crossing facilities across Tamworth Road and the service roads in the general vicinity of the existing bus stop, in general accordance with the scheme shown in drawing no. 17161-03 rev D.
2. The private access road to the site shall not be constructed in such a manner as to reduce the effective capacity of any drain or ditch within the limits of the public highway.
3. The development shall not be occupied until forward visibility splays of 45m have been provided between the existing public highway (D360) at a point where two vehicles can pass, and the location of the give way markings on the private site access road (indicated on drawing no. 17161-03 rev D). No structure, tree or shrub shall be erected, planted or retained within the splays exceeding, or likely to exceed at maturity, a height of (specify) metres above the level of the public highway carriageway.
4. The 157 properties (not including high dependency care centre) shall only be occupied by people over 55 and retired.
5. The Applicant/Developer shall install suitable measures to ensure that mud and debris will not be deposited on the highway as result of construction traffic leaving the site. Prior to the commencement of the development, the details of these measures (including type, method of operation and control of use) shall be submitted in writing to the Local Planning Authority for their approval in consultation with the Highway Authority.

Recommended for LPA:

6. A scheme of signage and lining for the access arrangements that are to remain private shall be submitted to the Local Planning Authority for approval and shall be installed prior to occupation of the development.
7. A Stage Two Road Safety Audit for the development layout and access arrangements that are to remain private shall be submitted to the Local Planning Authority for assessment and approval prior to the commencement of development.

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Notes

- a. Condition number 1 requires works to be carried out within the limits of the public highway. The applicant / developer must enter into a Minor Highway Works Agreement made under the provisions of Section 278 of the Highways Act 1980 for the purposes of completing the works. The applicant / developer should note that feasibility drawings of works to be carried out within the limits of the public highway which may be approved by the grant of this planning permission should *not* be construed as drawings approved by the Highway Authority, but they should be considered as drawings indicating the principles of the works on which more detailed drawings shall be based for the purposes of completing an agreement under Section 278.

An application to enter into a Section 278 Highway Works Agreement should be made to the Planning Delivery Group, Environment Services, Communities, Warwickshire County Council, Shire Hall, Warwick, CV34 4RL.

In accordance with the Traffic Management Act 2004 it is necessary for all works in the Highway to be noticed and carried out in accordance with the requirements of the New Roads and Streetworks Act 1991 and all relevant Codes of Practice. Before commencing any Highway works the applicant / developer must familiarise themselves with the notice requirements, failure to do so could lead to prosecution.

Applications should be made to the Street Works Manager, Budbrooke Depot, Old Budbrooke Road, Warwick, CV35 7DP. For works lasting ten days or less ten days, notice will be required. For works lasting longer than 10 days, three months notice will be required.

- b. Section 39 of the Road Traffic Act 1988 requires local authorities to take such measures as appear to the Authority to be appropriate to reduce the possibilities of accidents when new or improved roads come into use. In submitting plans for the approval of reserved matters/discharge planning conditions the applicant is advised that an independent stage [1/2] safety audit of the proposals must be provided to satisfy the requirements of the Act.
- c. Public footpaths T26 and T27 cross/lie adjacent to the site on which planning permission for development is hereby permitted. It is an offence to obstruct or damage public footpaths/ bridleways. This permission does not authorise the interference in any way of the footpaths/bridleways which must be properly protected. For advice about the protection of public footpaths/bridleways during the construction of the development the applicant should contact the County Council's Countryside Recreation Section – Tel: (01926) 413427.
- d. Prior to commencement of development, the applicant is required enter into an agreement with the Highway Authority under Section 59 of the Highways Act 1980. Prior to works taking place on site and following completion of the development, a joint survey shall be undertaken with the County's Locality Officer to agree the condition of the public highway. Should the public highway

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be damaged or affected as a consequence of the works being undertaken during the development of the site, the developer will be required to undertake work to remediate this damage as agreed with the Locality Officer.

Yours sincerely

A. Burrows.

Tony Burrows
Development Management Engineer

Copy to: Councillor Mr A Jenns, - Kingsbury, for information only.

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7. Planning Case for Care for the Elderly

7.1. Introduction

7.1.1. The following section of the Planning Addendum discusses the planning case for development, making reference to appropriate strategies, research and case studies to highlight the benefits of such development.

7.2. Relevant Strategies and Research

Living Well in Warwickshire – Health and Wellbeing Strategy 2020-25

7.2.1. The Warwickshire Health and Wellbeing Board drafted a Health and Wellbeing Strategy for 2020-2026, using findings from the most recent Joint Strategic Needs Assessment (JSNA), a Covid-19 recovery survey and a health impact assessment (HIA). This consultation aimed to find out the views of statutory organisations, the community/ voluntary sector and Warwickshire residents, on the draft strategy.

7.2.2. The majority of respondents supported three main ambitions:

Ambition 1: People will lead a healthy and independent life through encouraging people to adopt healthy lifestyles and behaviours – 93% agreed.

Ambition 2: People will be part of a strong community recognising the importance of education, employment, quality housing and leisure to provide good quality of life – 87% agreed.

Ambition 3: People will have access to effective and sustainable services through the development of accessible, responsive and high-quality services – 90% agreed.

7.2.3. The majority of respondents also supported the Board's priorities for the next two years:

- Help improve their mental health and wellbeing, particularly focusing on prevention and early intervention (69%)
- Help children and young people have the best start in life (63%)
- Reduce inequalities in health outcomes and the wider determinants of health (52%).

Warwickshire Health and Wellbeing Strategy 2021-2026

7.2.4. The Health and Wellbeing Strategy (HWS) is Warwickshire's high-level plan for improving health and wellbeing and reducing differences, or inequalities, in health within Warwickshire. The HWS is owned by Warwickshire's Health and Wellbeing Board (HWB), a collaborative partnership bringing together senior leaders from the county, borough and district councils, the third sector represented by Warwickshire Community and Voluntary Action (WCAVA), Healthwatch Warwickshire, NHS Coventry and Warwickshire Clinical Commissioning Group (CCG), NHS trusts, Warwickshire Fire Service and the Police & Crime Commissioner.

7.2.5. The 2021-2026 HWS is informed by data and engagement evidence from the Council's Joint Strategic Needs Assessment (JSNA) learning from the 2014-2020 Health and Wellbeing Strategy, as well as drawing on national research and good practice. Key stakeholders, including people living and working in Warwickshire, were consulted with during the early stages of strategy development. The findings from the consultation

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have been reflected within the final draft. The HWS responds to the rapidly changing context for health and social care by setting out a five-year vision for health and wellbeing in Warwickshire. It will be used by local health and care partners to inform plans for commissioning services and to shape how we will work together to address the wider determinants of health.

- 7.2.6. The NHS long-term plan and Warwickshire Five Year Health and Case Plan both confirm a greater focus on prevention and a move to a more integrated health and care system. The Council have stated that they want to build on the momentum from their previous Strategy and the Year of Wellbeing 2019 to drive further commitment around improving health and wellbeing.
- 7.2.7. Warwickshire has a growing older population, whereby there are more people over the age of 65 than the national average (20.8% in Warwickshire and 18.4% for England) and those over 85 are expected to almost double from 16,561 in 2020 to 30,132 in 2040¹. The prevalence of dementia (all ages) is higher than the national average in South Warwickshire (similar to the national average for Coventry and Rugby and below the national average for Warwickshire North)². Across the CCG, the estimated dementia diagnosis rate for these aged 65 and above is below the national average. These issues ultimately add pressure on services and carers who provide support. Therefore, the Local Planning Authority should support opportunities whereby demand for care services can be supported through development.

North Warwickshire Local Plan (September 2021)

- 7.2.8. The 2011 Census data for North Warwickshire records proportionally more people “limited a lot” by health or disability at 9.3% than the County average of 7.7%, with fewer residents at 79.9% rating their health as good or very good when compared to the County average of 82%. Similarly, North Warwickshire performs less well than the national and county averages against a range of health indicators, and with the trend towards more aged (65+) and one person households this along with the lower performing health indicators carries implications for the demand for appropriate housing and delivery of a range of services.
- 7.2.9. Increases in the proportions of unpaid care to 12.1% of the population and in hours of care provided per week over (with the highest increases being those providing more than 19 hours per week a third of whom provide more than 50 unpaid hours of care), reflect the increases in health and/or disability in the North Warwickshire population noted above. As the population ages the role of carers will grow with implications for their support and needs as well as those under care. These key messages highlighted through the Census health indicators and County Council’s profiles for North Warwickshire identify and support the need for development to provide an element of special needs housing and that the size, and suitability of that housing should be adaptable to also reflect the potential longer term health care implications and any potential carer accommodation needs that may arise.
- 7.2.10. Evidence suggests that developments should provide for special needs accommodation for the elderly and for those with mobility issues. The Borough has an ageing population. It is clear from the data available that the Borough has an ageing population with also well over 20% considering they have bad or very bad ill

¹ Warwickshire County Council (2020) *Warwickshire Health and Wellbeing Strategy 2021-2026*. Available at: <https://api.warwickshire.gov.uk/documents/WCCC-1350011118-2972> pp. 7

² Office for Health Improvement & Disparities (2023) *Public Health Profiles*. Available at: https://fingertips.phe.org.uk/search/dementia#page/3/gid/1/pat/219/par/E54000018/ati/165/are/E38000038/iid/247/age/1/s/ex/4/cid/4/tbm/1/page%02options/ovw-do-0_car-do-0

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health. This evidence indicates that the type of housing being developed in the Borough must reflect this need.

- 7.2.11. The Local Planning Authority make direct reference to the increasing demand to provide for an element of special needs housing, and this will be sought in all major developments and relative to evidence of need.

Department for Levelling Up, Housing & Communities and Ministry of Housing, Communities & Local Government
– Housing for Older and Disabled People

- 7.2.12. The need to provide housing for older people is at a critical stage. The UK population are living longer lives and the proportion of older people in the population is ultimately increasing. In mid-2019 there were 1.6 million people aged 85 and over; by mid-2041 this is projected to double to 3.2 million. Therefore, offering older people a better choice of accommodation to suit their changing needs can help them live both independently and supported for longer, feel more connected to their communities and help reduce costs and pressure on the NHS health systems. Understanding how the ageing population affects housing need is important in identifying housing needs in areas.

- 7.2.13. The provision of appropriate housing for people with disabilities, including specialist and supported housing, is crucial in helping them to live safe and independent lives. Unsuitable and unadapted housing can have a negative impact on disabled people and their carers. This can lead to mobility problems inside and outside the home, poorer mental health and a lack of employment opportunities. Providing suitable housing can enable disabled people to live more independently and safely, with greater choice and control over their lives. Without accessible and adaptable housing, disabled people are at risk facing discrimination and disadvantage in housing. The ageing population will see the numbers of disabled people continuing to increase and it is important we plan early to meet their needs throughout their lifetime.

- 7.2.14. The future need for specialist accommodation for older people increases annually. Where an identified need exists, plans are expected to make use of the optional technical housing standards³ to help bring forward an adequate supply of accessible housing. Therefore, plans for new housing should accord with the following standards:

M4(1) Category 1: Visitable dwellings (the minimum standard that applies where no planning condition is given unless a plan sets a higher minimum requirement)

M4(2) Category 2: Accessible and adaptable dwellings

M4(3) Category 3: Wheelchair user dwellings

- 7.2.15. The Local Planning Authority should consider the location and viability of a development when assessing planning applications for specialist housing for older people. Such proposals should promote an inclusive environment that can be accessed and used by everyone, as well as recognising and accommodating different abilities. The proposal at Kingsbury Hall seeks to promote such opportunities in creating a truly accessible and inclusive care village in a location which is optimum for both residents and visitors.

³ Policies and decisions should not make use of or reflect the former Design Bulletin 32, which was withdrawn in 2007.

7.3. Case Studies

- 7.3.1. This section outlines relevant case studies that demonstrate the successful integration of care facilities within heritage or listed buildings, focusing on the preservation of historic structures while meeting contemporary needs. These examples – spanning locations such as Tudor Grange House in Solihull, The Castle Club in Fulham, and others – illustrate best practices for developing care environments in a way that both respects and enhances the architectural and historical integrity of significant buildings.
- 7.3.2. Each case study highlights various approaches to balancing the adaptive reuse of heritage assets with the requirements of modern care facilities. Key elements such as sympathetic restoration, integration with the surrounding community, and thoughtful design interventions are central to these developments. Drawing upon these precedents, the proposed development at Kingsbury Hall aims to achieve similar success by preserving and enhancing the historical value of the building while introducing a sustainable care facility that responds to local needs.

Tudor Grange House, Blossomfield Road, Solihull [Reference: PL/2020/00198/LBC]



Figure 5 Photograph of Tudor Grange House, Blossomfield Park

- 7.3.3. In 2020 an application was submitted and approved by Solihull Council for the following:
- Listed building consent for C2 and C3 development comprising the provision of 80 No. care home units, 12 assisted living units and 47 No. residential units, internal alterations and extension to Tudor Grange House and associated works.*
- 7.3.4. The site is located alongside Blossomfield Road (B4102), Solihull and comprises a Grade II* Listed Building which also encompasses the associated coach house, stable block and walled garden within its curtilage.
- 7.3.5. The purpose of this application was to provide a holistic care and residential scheme that would provide a much more vibrant community than is often the case with C2 environments, and with diversity and appeal that can suite with a Grade II* Listed Building to form a 'place' of high quality.

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7.3.6. The site presented an opportunity to provide a mix of independent residential and extra care accommodation that will serve to enhance and protect the Listed Building, while maintaining the historic relationship between the site and Solihull College alongside.

7.3.7. The proposal included:

- Sympathetic restoration and retention of Tudor Grange House, whereby the proposed use fits with the existing fabric. The key ground floor rooms will be used as communal spaces (matching the original functions as formal entertaining areas), thus protecting the interior features and allowing the building to continue to be “read” as a grand house;
- Retention of the walled garden enclosure and of the cut flower garden;
- Ensure the legacy of the relationship between Solihull Council and the application site, through the utilisation of the site in general and the cut flower garden in particular for the teaching of its Horticultural course;
- Ability for engagement with Solihull College for possible apprenticeships and educational relationships with respect to care and nursing;
- Provision of a much-needed care facility for the elderly, across a spectrum of needs;
- Improvement in the viability of significant trees that currently sit isolated and awkward within the existing tarmac car park— the strategy is to improve the permeability of the surfacing and irrigation potential at the base, with soft landscape around the trunks;
- There is great potential to improve the previously suggested use of the existing stable block and coach house, with the siting of the main reception plugging directly into both the new care facility and to a series of active uses, forming an ‘activity hub’ connecting the existing main house and the new buildings;
- Create new courtyard spaces to the Care Home allowing views out whilst also keeping new development as far away from the heritage assets as possible;
- There is potential for new sympathetic and low-scale development on the site of former glasshouses to the east of Tudor Grange. There is evidence of previous development and demolition in this area.

7.3.8. The proposed development went to committee consultation where the following were identified as the main issues:

- Impact of the proposed works required to convert Tudor Grange House and its stables and works to make good fabric upon heritage assets;
- Impact of the proposed works to existing conservatory area;
- Impact of the proposed works to stable block and garaging; and
- Impact on setting of Tudor Grange and curtilage Listed Garden walls.

7.3.9. Nevertheless, it was stated that whilst many of the works proposed would indeed preserve and even enhance the designated heritage asset, there are certain aspects of the scheme that would cause less than substantial harm to this design to this designated heritage asset by way of impacts upon its fabric or special interest in terms of room layout.

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- 7.3.10. The balance here includes the benefit of better revealing the significance of the designated heritage asset to a greater number of people as residents, staff, visitors and other. This is an aim of the NPPF. Using the principal rooms as communal spaces with greatest accessibility is ideal and the house would have again gatherings and a sense of entertaining for which it was built.
- 7.3.11. Therefore, the less than substantial harm identified would be offset and justified by the benefits that the overall scheme would bring for the viability and vitality of the wider area. The application was therefore considered to be wholly compliant.
- 7.3.12. In terms of the proposed development at Kingsbury Hall, the proposals have been influenced by the desire of preserving and enhancing the historical asset whilst optimising in for a required need and sustainable use.
- The Castle Club, Fulham, Thackery Estate [Reference: 2019/00732/FUL]
- 7.3.13. In 2019 an application was submitted and approved by Hammersmith and Fulham Council for the following:
- Alterations and extensions to the Grade II listed building including the demolition of the summer house, erection of a part-one, part-two and part-three storey extension and excavation of a partial basement beneath the extension, in connection with the use of the site as a 33-bedroom nursing home (Use Class C2) together with the demolition and replacement of front and side boundary walls, and re-instatement of a means of access to the highway on Daisy Lane.*
- 7.3.14. The Castle Club is a Grade II listed building located along the eastern side of Hurlingham Park at the heart of Parsons Green. The site is in a state of disrepair and successive owners have failed to maintain or repair the building.
- 7.3.15. The building owner was committed to the restoration of the building as close as possible to its original condition. Various restoration works were executed as per Planning Application Ref: 2017/02287/FUL.
- 7.3.16. The works looked at maintaining and restoring a building, emblematic for the area, making it fit for future purpose. The submission concluded that the proposed design was interesting, attractive and thoughtful in terms of its relationship to the Listed Building and its setting, whilst achieving the goal of providing the necessary floor space to allow the Listed Building to function once more. Additionally, the proposals caused no harm to the Listed Building and they accord with local and national policies and are in the best interest of the conservation of the building and providing it with a sustainable new use.

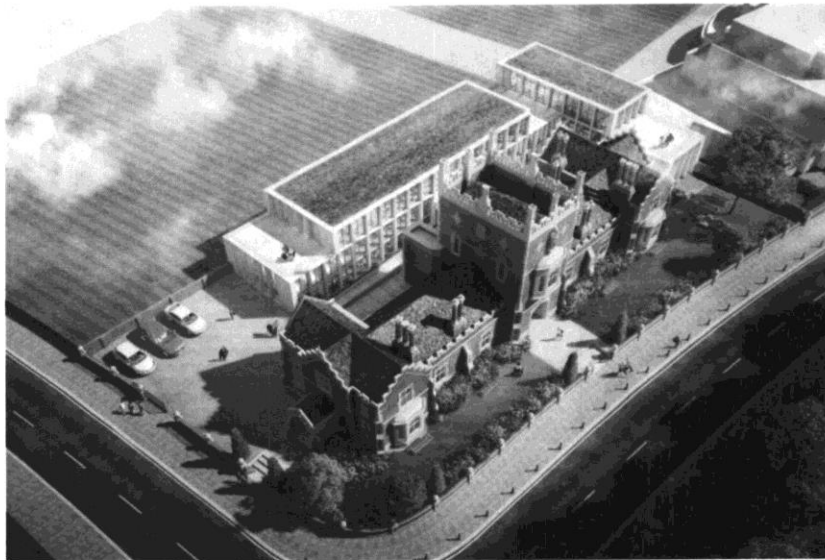


Figure 6 Photograph of The Castle Club, Broomhouse Lane, Fulham

7.3.17. The principle of the design was based on the following:

- To ensure that there are step-free routes to all parts of the development wherever possible;
- To ensure that access to enter, circulate and exist the building is inclusive for all and does not present barriers for people with disabilities; and
- To ensure that passenger lift access is provided to all main floor area.

7.3.18. In terms of the proposal at Kingsbury Hall, the 'care village' has been designed to highlight the importance of the Listed Building as a core in an adapted way for future use. As identified in The Castle Club example, it is important to look for opportunities to create interesting, attractive and thoughtful development in terms of proposal relationship to the Listed Building and their setting. At Kingsbury Hall, careful consideration has been given to the proposals to ensure inclusive and respectful design, adapting a building and area with heritage to provide an identified use.

Land West of Station Road North, West Malling ME19 6HN [Appeal Reference: APP/H2265/W/21/3284350]

7.3.19. In October 2022, an appeal was allowed and permission was granted for the erection of a care home (within use Class C2) including parking, access, landscaping and other associated works at Land West of Station Road North, West Malling, ME19 6HN in accordance with the terms of the application reference TM/21/00598/FL.

7.3.20. Tonbridge and Malling Borough Council opposed the scheme because of various reasons. The main issues consisted of:

- The effect of the development on the significance of heritage assets, including St Mary's Abbey and the West Malling Conservation Area;
- The effect of the development on the character and appearance of the area; and

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- If there would be harm in relation to the significance of the Conservation Area or any Listed Buildings, whether any public benefits of the proposal would outweigh that harm.
- 7.3.21. The proposed care home was situated within a greenfield site in the area which the Planning Inspector considered to be a 'modest' contribution to the West Malling Conservation Area, St Mary's Abbey (scheduled monument) that includes eleven Listed Buildings, five of which are listed at Grade I and two at Grade II.
- 7.3.22. The Inspector found that the new care home would introduce a substantial building to the setting and impact the rural atmosphere of the Conservation Area. They also noted that the general visual impact as a result of its urbanising effect would be mitigated by landscaping. The Inspector acknowledged the benefits of the proposal to provide a range of care including dementia services for which there is a particular identified demand in Kent, hence, suggested that this would contribute immensely to addressing the existing undersupply of care accommodation in the borough including the housing land supply shortfalls in the area.
- 7.3.23. The Inspector concluded that whilst there would be conflict with the development plan resulting in some harm to the character and appearance of the area and to the setting of designated heritage assets, this would be outweighed by the public benefits, which provides a clear and convincing justification for the proposal of sufficient weight to indicate that planning permission should be granted.
- 35 Cannock Hall, Stafford, ST17 0QE [Appeal Reference: APP/Y3425/W/23/3326519]
- 7.3.24. In January 2024, an appeal was allowed and permission was granted for demolition of the existing structures and the construction of a 76no. bedroom care home (Use Class C2) with associated access, parking, landscaping, plant and site infrastructure at 35 Cannock Road, Stafford, ST17 0QE in accordance with the terms of the application, Ref 21/34912/FUL, dated 2 September 2021, subject to the conditions listed in the attached schedule.
- 7.3.25. Stafford Borough Council opposed the scheme because of various reasons. The main issues consisted of:
- Whether the proposed development would result in the unacceptable loss of trees; and,
 - Whether the proposed development would be acceptable in terms of its transport and highways impacts, with particular regard to vehicular parking, manoeuvrability with the site, and safe access and egress.
- 7.3.26. The inspector concluded that the proposal would have an unacceptable effect on trees, albeit the harm would be moderate in the short term, as any future planting scheme would eventually mature. This is because the scheme conflicts with Policies N1 and N4 of The Plan for Stafford Borough 2011-2031, adopted on 19 June 2014 (PfsB) which require the retention of significant landscaping features and any new development where damage to the natural environment is unavoidable must include measures to mitigate and/or compensate such impacts, through the establishment of replacement habitats or features, including appropriate site management regimes.
- 7.3.27. The inspector also concluded that the proposed development would not give rise to conditions prejudicial to highway safety, including safe access and egress. Therefore, the proposed development complies with the highway safety aims of PfsB Policies T1 and T2, which seek a sustainable transport system and that adequate parking and manoeuvring is provided in all new development, amongst other things.

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Land to the South of Western Way, Melksham, Wiltshire [Appeal Ref: APP/Y3940/W/23/3324031]

7.3.28. In November 2024, an appeal was allowed and permission was granted for an outline application (with all matters reserved except for access) for the erection of up to 210 residential dwellings (class C3) and a 70-bed care home (class C2) with associated access, landscaping and open space, in accordance with the details submitted with planning application Ref: PL/2022/08504 on land South of Western Way, Melksham, Wiltshire (Easting 390741 Northing 162689), subject to the conditions set out in Annex A.

7.3.29. Wiltshire Council opposed the scheme because of various reasons. The main issues consisted of:

- The suitability of the location for the proposed development having regard to the policies of the development plan;
- The position of the Council with regard to a 5-year supply of deliverable housing sites, including the status of the Neighbourhood Plan;
- Whether the requirements of the Council in terms of the need for affordable housing, the provision of open space, the provision of public art, healthcare provision, public transport provision, strategic transport provision and waste collection provision are necessary in terms of paragraph 57 of the National Planning Policy Framework (the Framework) and Regulation 122 of the Community Infrastructure Levy Regulations 2010 and, if these requirements are found to be necessary, whether they are capable of being addressed through an agreed planning obligation.

7.3.30. The planning inspectorate concluded that the site lies outside the development limits/settlement boundary of Melksham where the current policies of the development plan restrict new housing development. However, the recently adopted briefing note weakens the Policy stance regarding the importance of settlement boundaries. Consequently, whilst I find that the proposal is in conflict with Policy CP2 of the WCS and Policy 6 of the MNP and therefore the development plan, I find that I cannot give full weight to this policy conflict.

7.3.31. The parties agree that the Council currently lacks a demonstrable 5-year supply of deliverable housing sites, with discrepancies in their calculations of the shortfall. The Council asserts a supply of approximately 4.6 years, while the appellant contends it is around 3.9 years, primarily due to differing assessments of the deliverability of identified sites within the 5-year period. Upon reviewing the appellant's evidence, it becomes apparent that some sites crucial to the Council's supply calculation may not meet the 'deliverable' criteria outlined in the Framework. Consequently, the 5-year supply situation falls between the appellant's 3.9 years and the Council's 4.6 years. Regardless, the Council fails to demonstrate the required 5-year supply of deliverable housing sites. In such cases, where this supply is lacking, key policies become outdated. Since no Framework policies concerning protected areas or assets of particular importance apply to the site, the decision-making process must assess whether the potential adverse impacts of approving the appeal significantly and demonstrably outweigh the benefits, considering the Framework's policies as a whole. This balancing exercise will be conducted later in the decision.

7.3.32. A planning obligation made under s106 of the Town and Country Planning Act 1971 has been submitted in order to make the proposal acceptable in planning terms. However, an assessment needs to be made as to whether the requirements of the obligation comply with paragraph 57 of the Framework and Regulation 122 of the Community Infrastructure Levy (CIL) Regulations 2010. In order to do this the obligations, need to be necessary to make the development acceptable in planning terms, directly related to the development and fairly and reasonably related in scale and kind to the development. The Council has supplied a CIL compliance statement to support its position that the obligations it requires meet the requirements set out above.

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- 7.3.33. The case studies examined demonstrate that with careful planning and sensitivity, it is possible to create thriving, sustainable care environments within heritage buildings without compromising their historical significance. By learning from these precedents, the proposed development at Kingsbury Hall will prioritise the preservation of the building's character while meeting a pressing need for care services. The vision for Kingsbury Hall is to blend contemporary care facilities with the historic fabric of the site, ensuring that the building remains a vibrant and functional space that continues to serve the community for generations to come.
- 7.3.34. As demonstrated in the examples from Tudor Grange House, The Castle Club, and others, careful restoration, innovative design, and community integration can result in a development that offers both heritage conservation and modern care solutions, ensuring