Agenda Item No 7

Planning and Development Board

7 April 2025

Report of the Chief Executive

Submission of Fillongley Neighbourhood Plan for Public Consultation

1 Summary

1.1 This report informs Members of the submission of the Fillongley Neighbourhood Plan and seeks approval to go out for a formal consultation in accordance with Regulation 16 of the Neighbourhood Planning (General) Regulations 2012.

Recommendation to the Board:

That the Fillongley Review Neighbourhood Plan be publicised for a six-week public consultation.

2 Consultation

2.1 Councillors Simpson and H Phillips have been sent an advanced copy of this report for comment. Any comments received will be reported verbally at the meeting.

3 Background

3.1 The Localism Act 2011 introduced a mechanism for local communities to produce neighbourhood plans. Once a neighbourhood plan is 'made' (adopted) it becomes part of the statutory development plan for that area and will be used, alongside local and national planning policy and guidance, to determine planning applications.

3.2 The Fillongley Neighbourhood Plan was formally made in 2019 and this is a review and update of that plan. The Fillongley Neighbourhood Plan Review 2025 is brought to this Board as it is considered that it generally conforms to the development plan for the Borough.

3.3 There are 3 types of modification which can be made to a neighbourhood plan or order. The process will depend on the degree of change which the modification involves:

a) **Minor (non-material) modifications** to a neighbourhood plan or order are those which would not materially affect the policies in the plan or permission granted by the order. These may include correcting errors, such as a reference to a supporting document, and would not require formal consultation,

examination or a referendum. If the plan falls into this category, the changes can be made and there will be no examination or referendum.

b) **Material modifications** which do not change the nature of the plan or order would require examination but not a referendum. This might, for example, entail the addition of a design code that builds on a pre-existing design policy, or the addition of a site or sites which, subject to the decision of the independent examiner, are not so significant or substantial as to change the nature of the plan. Any reviews falling into this category will also see the plans going through 2 formal consultations before it is sent to the Examiner (Regulation 14 carried out by the Parish Council and Regulation 16 carried out by the Borough Council.

c) **Material modifications** which **do** change the nature of the plan or order would require examination and a referendum. This might, for example, involve allocating significant new sites for development. Any reviews falling into this category will also see the plans going through 2 formal consultations before it is sent to the Examiner and then onto Referendum (Regulation 14 carried out by the Parish Council and Regulation 16 carried out by the Borough Council.

4 Submission

4.1 Fillongley Neighbourhood Plan Review is the1st Review Neighbourhood Plan to be formally submitted to North Warwickshire Borough Council. A copy of the Neighbourhood Plan is attached as Appendix A. The Parish Council must supply other associated documents to this Council, and these are attached as Appendix B (Basic Conditions Statement), Appendix C (Consultation Statement) and Appendix D (Statement of Modifications). The Basic Conditions Statement sets out how the Neighbourhood Plan has met a series of conditions to ensure the Plan meets a minimum standard. Appendix C is the Consultation Statement setting out how the Parish Council has carried out consultation from their initial draft documents to the version now being submitted. Appendix D shows the changes that have been made to the original plan prior to the Regulation 14 Consultation.

4.2 At this stage it is only the responsibility of the Council to make sure that the submitted Neighbourhood Plan meets the legal requirements which are:

- whether the Parish Council is authorised to act
- whether the proposal and accompanying documents:
  a. comply with the rules for submission to the Council;
  b. meet the ‘definition of a Neighbourhood Plan’; and
  c. meet the ‘scope of Neighbourhood Plan provisions’
- whether the Parish Council has undertaken the correct procedures in relation to consultation and publicity

4.3 It is considered that the submitted plan accords with the legal requirements and so the Council should now publicise the plan in accordance with Regulation 16 of The Neighbourhood Planning (General) Regulations 2012.

5 Fillongley

5.1 The original Fillongley Neighbourhood Plan was made (adopted) by North Warwickshire Borough Council in August 2019.

5.2 The Parish Council (as the Qualifying Body as set out in section 38A (12) of the 2004 Act) has been working toward the production of a draft Review Neighbourhood Plan.

5.3 Prior to formal submission of the Neighbourhood Plan to the Borough Council the Qualifying Body (Fillongley Parish Council) must first publicise it, in a manner that is likely to bring it to the attention of people who live, work or carry on business in the neighbourhood area; consult any consultation body referred to in paragraph 1 of Schedule of The Neighbourhood Planning (General) Regulations 2012 (as amended) whose interests may be affected by the proposals for a neighbourhood plan; and send a copy to the Local Planning Authority. As well as the details of the proposals for the Neighbourhood Plan it should include details of how and when to make representations on the Neighbourhood Plan.

5.4 As set out in Appendix C, the Parish Council undertook a Regulation 14 consultation for a minimum 6 week period on their draft Neighbourhood Plan from 3rd February – 16th March 2025. They have now formally submitted the Plan to the Borough Council for its consideration and progression to Examination. For the Regulation 14 Consultation the Borough Council is a consultee and has no input in to how and when the consultation is carried out.

6 Next Steps

6.1 The following sets out the next steps in the production of the Neighbourhood Plan:

1. Receiving of details of those who responded to the Parish Council in the recent Regulation 14 consultation.
2. Following approval of this report officers will organise a consultation for a period of 6 weeks.
3. Any representations made during this period will be considered by an external examiner appointed by the Borough Council in consultation with Fillongley Parish Council.
4. Examiner's Report be completed. It will be up to the discretion of the Examiner as to whether the plan will need to go to referendum
5. Any recommendations in Examiner's Report to be considered by the Parish Council.

7 Report Implications

7.1 Finance and Value for Money Implications

7.1.1 The Borough Council claimed £20,000 for the original Neighbourhood Plan. This recognised the amount of officer time supporting and advising the community in taking forward a Neighbourhood Plan as well as paying for the

examiner and referendum. It has also been used for other costs such as digitising the final made Neighbourhood Plan. The Borough Council will now be eligible to claim a further £10,000 if it the revised plan comes into force following examination or £20,000 if the examiner considers it requires a referendum.

7.2 **Legal and Human Rights Implications**

7.2.1 As stated in the body of the report, the process must follow the legal requirements in regulations relating to Neighbourhood Plans. Prior to submission of the Neighbourhood Plan to this Council post Regulation 14 consultation the production of the Plan is undertaken by the Parish Council. Once a Plan has been submitted to the Borough Council together with all the required documentation, the Council must publish the Plan for consultation in accordance with those regulations and take the other steps referred to at paragraph 6.1.

7.3 **Human Resources Implications**

7.3.1 Staff time is provided by the Borough Council to support and advise the Parish Council and community in taking forward a Neighbourhood Development Plan. However, the amount of staff time is limited to an advisory role, due to the other work priorities of the Forward Planning Team and that this role must be provided to the other Parishes who are also considering undertaking Neighbourhood Plans.

7.4 **Environmental and Sustainability Implications**

7.4.1 Each Neighbour Plan will need to consider the effects of the Plan's contents in terms of environmental and sustainability issues in accordance with the relevant regulations. Fillongley Parish Council submitted to the Borough Council the Fillongley Neighbourhood Development Plan Screening for Strategic Environmental Assessment (SEA). In accordance with the European Directive 2001/42/EC and associated Environmental Assessment of Plans and Programmes Regulations 2004 (SEA Regulations), a SEA Screening Document was prepared to determine whether the Fillongley Neighbourhood Development Plan should be subject to a Strategic Environmental Assessment (SEA). The Screening Document explored the potential effects of the proposed Fillongley Neighbourhood Plan and concluded that on the basis of the SEA Screening Assessment, the Fillongley Neighbourhood Plan would not result in significant environmental effects in relation to criteria set out in the SEA Regulations or the Habitats and Species Regulations.

7.4.2 The screening document was subsequently submitted to the statutory environmental bodies of Historic England, Environment Agency and Natural England for comment, in accordance with the SEA Regulations. Out of the 3 Statutory Consultees only the Environment Agency concluded that an SEA would not be needed, the other 2 Bodies said it would be down to other consultees. The plan is not allocating any sites for development so the Borough

Council is of the opinion that the plan will not require an SEA as the one carried out for the Local Plan will suffice

7.5 **Links to Council's Priorities**

7.5.1 The designation of the Neighbourhood Plan Designation Area will have links to the following priorities;

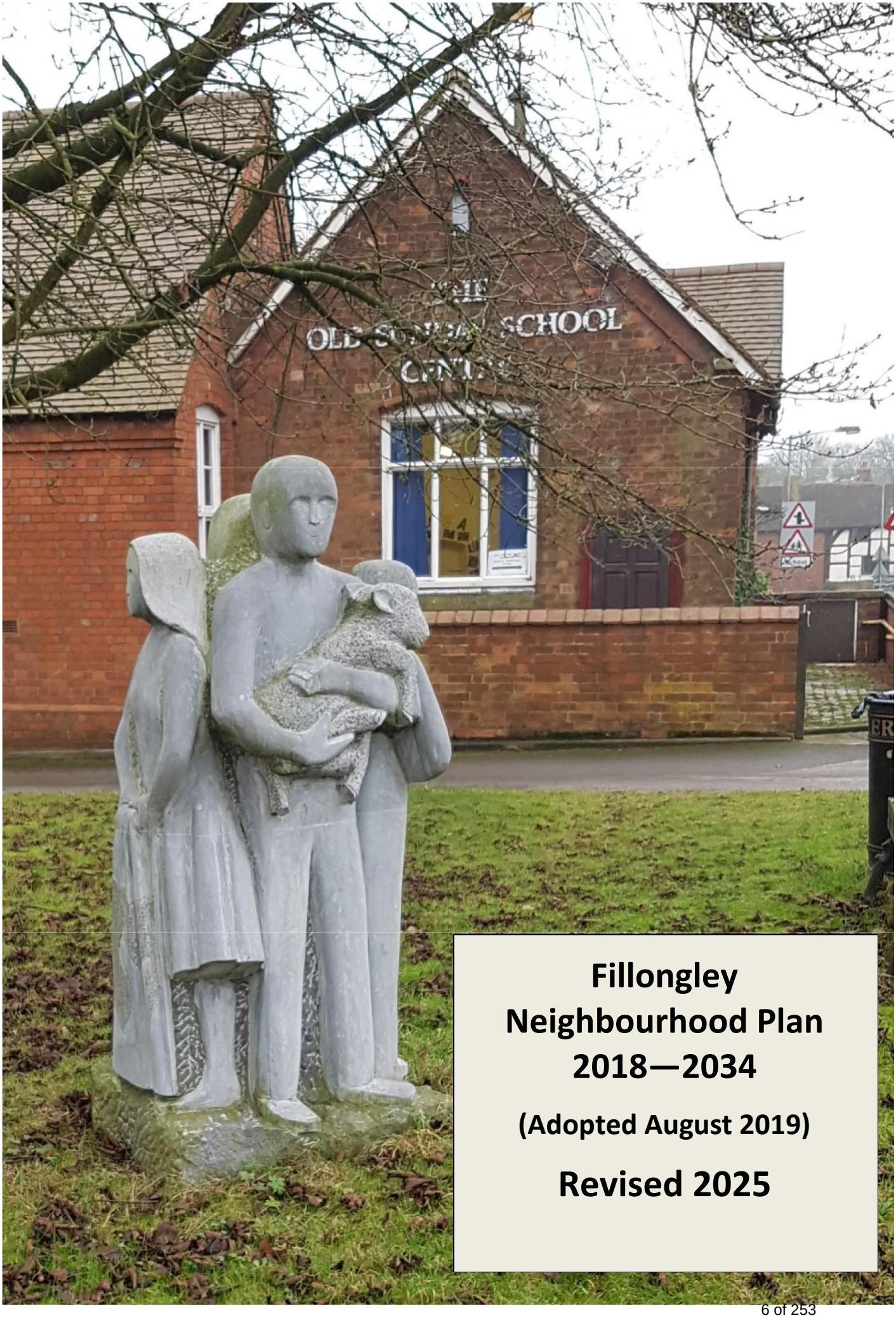
1. Enhancing community involvement and access to services
2. Protecting and improving our environment
3. Defending and improving our countryside and rural heritage

The Contact Officer for this report is Sue Wilson (719499).

Background Papers

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Background Paper No	Author	Nature of Background Paper	Date
1	Fillongley PC Neighbourhood Plan Team	Fillongley Neighbourhood Plan	February 2025
2	Fillongley PC Neighbourhood Plan Team	Basic Conditions Statement	February 2025
3	Fillongley PC Neighbourhood Plan Team	Consultation Statement	February 2025
4	Fillongley PC Neighbourhood Plan Team	Screening Assessment	February 2025



Fillongley Neighbourhood Plan 2018—2034

(Adopted August 2019)

Revised 2025

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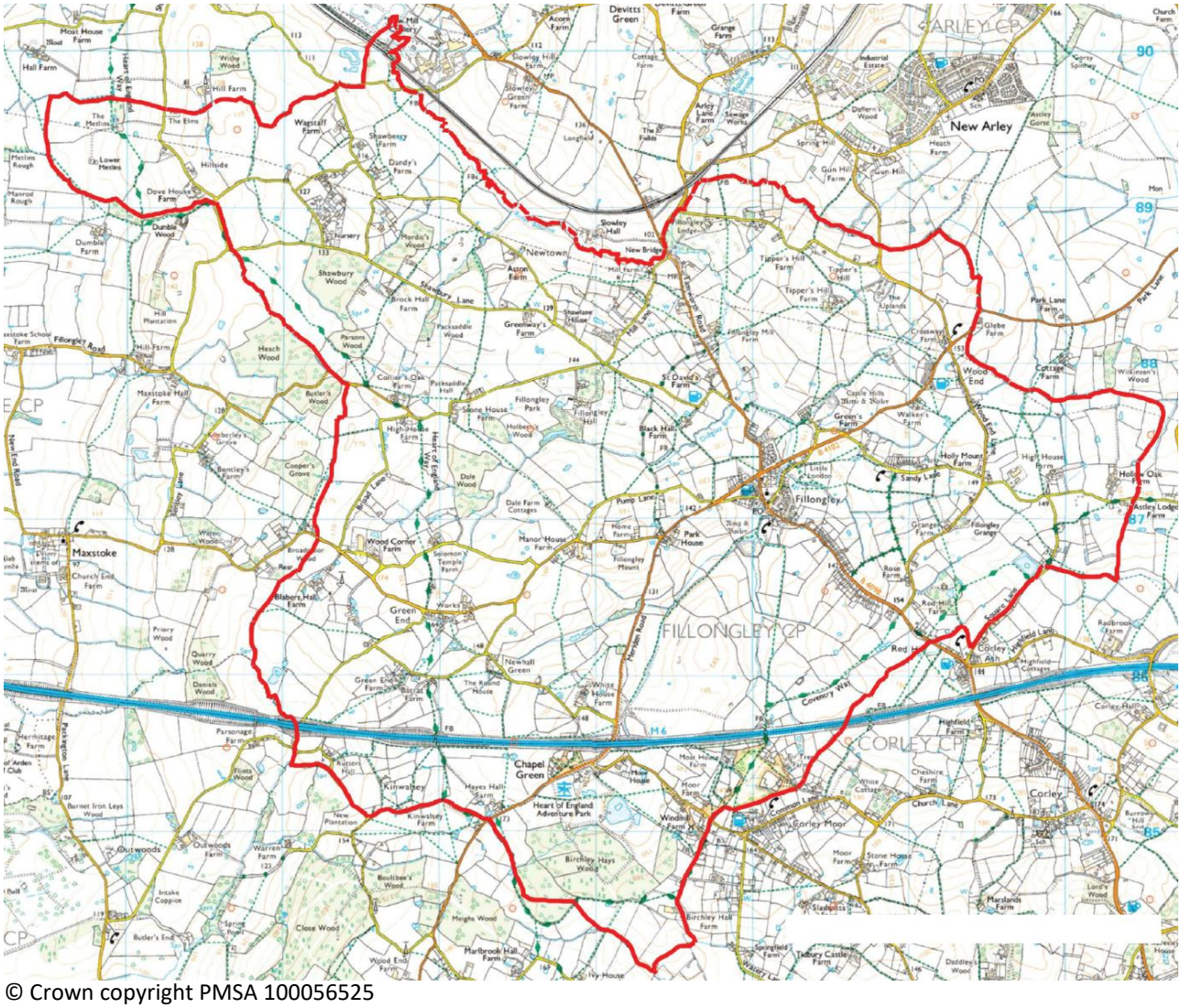
Fillongley Neighbourhood Plan

1.0 Background

In 2013 the Parish Council asked the local community for volunteers to work on the neighbourhood plan for Fillongley. The community were involved throughout the process and the Fillongley Neighbourhood Plan (FNP) was adopted in August 2019. Since 2023 Fillongley Parish Council have been reviewing the original plan. Locally and nationally there are new policies which affect our own (such as the NPPF 2024 and NWBC Local plan 2021).

There were a number of areas where the Parish Council had concerns that the policies were not worded strongly enough, and do not reflect well enough, the wishes of the Parishioners and the intentions of the Parish Council. These were consulted on with the Parish in 2023. A number of policies have now been reworded. There have also been a further two new surveys (2023 and 2025), as part of the review, to understand the needs of the Parish.

MAP1 : Fillongley Parish



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Fillongley Parish covers a very large geographic area. It is made up of the village centre and numerous hamlets (noted on the map) which derive from the farming history of the Parish and are still very much in evidence today. The whole Parish is the designated Neighbourhood Plan area.

1.0.1 Characteristics of Fillongley

Fillongley falls within the Ancient Arden Landscape and has with it characteristics such as holly hedges interspersed with oak trees which are indicative of the area.

- Centre of village is a Conservation Area
- Ribbon development through centre of village
- Dispersed settlements in hamlets
- Dispersed Listed Buildings
- Predominantly rural, and historically farming village
- Red sandstone buildings and walls created from local stone that is still found in fields and has been reused from older buildings.

1.0.2 History

Fillongley has 2 Scheduled Monuments; a 12th century ring & bailey called Castle Yard that lies 80m south west of Castle Farm (in the centre of the village) and an 11th century motte & bailey castle called Castle Hills 700m north east of St Mary and All Saints Church. The origins of a settlement can be traced further back, but through the ages, the area has been a peaceful, rural, predominantly farming community.

1.0.3 Vision Statement

To value, protect and promote the parish of Fillongley; a thriving rural community, preserving its historic setting and character, whilst working to ensure its long term future by meeting the needs of those who live and work in this outstanding rural area. The built and natural heritage of the Parish will be maintained and protected. Future building should conform to the existing character by comprising small developments in keeping with their surroundings. Provision of a mix of housing for all sectors of the community must be made. Rural setting and character will be preserved and enhanced for residents and visitors alike.

1.0.4 Monitoring and Review

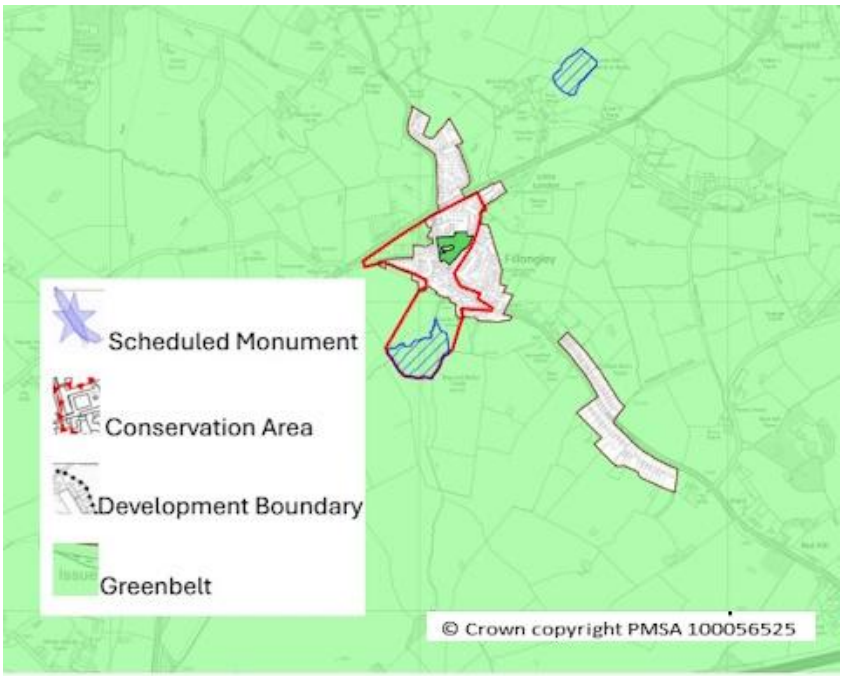
To be effective plans need to be kept up-to-date. Our neighbourhood plan is likely to require updating in whole or in part at least every 5 years. Reviews should be proportionate to the issues in hand. Once the Plan has been accepted the Parish Council will consider whether any major changes should be made to the Plan. This process should ensure that the Plan remains current and relevant during its projected life.

The Plan will be reviewed formally on a five year cycle or to coincide with a review of NWBC Local Plan.

1.0.5 Fillongley Development Boundary and Conservation Area

Fillongley Parish has two separate "*Development Boundaries*" within which development is permitted (subject to NWBC and FNP policies). Outside of development boundaries all of the land lies within the Green Belt.

NWBC has reviewed the Boundaries as part of the work for the NWLP2021 (which were put in place prior to 1995) and no alterations were made



The Conservation Area covers much of the centre of the village and includes Fillongley Castle which is a Scheduled Monument. There are further restrictions on properties and trees within the Conservation Area.

Whilst, in theory, the laws and Policies already in place should protect our Green Belt, it has been shown that to bolster these laws with a robust Neighbourhood Plan can ensure that future development fits local wishes. Future development can be where we want it and what is needed within the Parish, ensuring a good mix of accommodation, making Fillongley attractive to all ages and ensuring its survival.

NWBC requires Fillongley to grow, helping the Borough to meet its housing requirements. However, as the majority of the Parish lies within the Green Belt we would expect most future developments to take place within the Development Boundary. Housing is likely to come forward on windfall sites through the re-use of brownfield sites or the conversion of rural buildings.

1.0.6 Neighbourhood Plan Preparation Process

The Revised Fillongley Neighbourhood Plan will be the subject of an independent examination where it will be examined. The Plan needs to be in conformity with current local and national strategic planning policy.

The independent Inspector will decide if the changes warrant a further referendum or not, and if they decide so, there will be a referendum.

If no referendum is necessary and the Inspector is happy that the contents comply with other Policies, the Fillongley Neighbourhood Plan will form part of the development plan along with NWBC Local Plan, and will be used as part of the assessment of planning applications in the Parish.

1.1.0 Preparation of the Plan

1.1.1 Recording and Fact Finding

1.1.1.1 Key facts about the Parish from the Census etc, including population, age groups, where people worked etc.

1.1.1.2 Housing Needs Surveys were carried out in 2023 and 2025 to try and estimate future requirements. These have informed policy FNP04.

1.1.1.3 WCC Ecology department mapped and recorded some of the key landscape and ecological sites in the Parish in June 2015.

1.1.2 Sustainability Appraisal

1.1.2.2 A Sustainability Appraisal is not required as no site allocations for development are being proposed within the Neighbourhood Plan.

1.1.3 Consultations for Revised Plan

1.1.3.1 A number of public consultation surveys were distributed to every home in the Parish to ensure that the resulting plan concorded with the wishes of the community.

These were;

- Housing Needs Survey 2023
- Update Survey 2023
- Housing Needs Assessment 2025

1.1.3.2 Results of Housing Needs Survey 2023.

This was the same questions as used by NWBC and contained direct questions regarding finances and current Need. Results in Appendix 1

1.1.3.3 Results of Update Survey 2023

This was circulated to ensure that the proposals to amend the plan still accord with the community. For results please see Appendix 2.

1.1.3.4 Results of Housing Needs Assessment 2025

This was different to the survey of 2023 in that there was no requirement of immediate need but indication of future need to steer development towards housing stock that is lacking in the parish. Appendix 3.

1.1.3.5 Consultation 2025

Regulation 14 Public Consultation on the updated plan began on Monday 3rd February until Sunday 16th March 2025 (inclusive).

Responses received from residents and responses from statutory consultees and stakeholders have been duly reviewed and considered with alterations made to the Regulation 14 edition of the Revised Fillongley Neighbourhood Plan before its submission to North Warwickshire Borough Council for its Regulation 16 consultation.

2.0 Policies and Proposals

2.1 Built Enviroment

2.1.1 Key Facts

2.1.1 Fillongley Parish is made up of dispersed rural settlements including farms and barns with a distinct local style. The village centre includes a number of listed buildings; some showing the remains of 16th and 17th century timber framing. Most 'traditional' housing is mainly two storey, and of red brick or rendered construction with flat clay tiles or slate roofing and small vertical windows.

2.1.1.2 There is some ribbon development mainly radiating from the centre of the village, where dwellings have been built side by side on road frontages in typical suburban pre and

post war style with further development taking place in the 1960s using tile clad front elevations and interlocking tile roofing.

2.1.1.3 A Conservation Area covers an area of the village centre.

2.1.1.4 NWBC have defined 2 Development Boundaries: this allows building within those areas. Land outside these areas is designated Green Belt.

2.1.1.5 There are several areas with parking issues; predominantly either where houses have no parking area (often due to the historic nature of the Parish), or where properties have been extended and numerous members of the household have multiple vehicles such that there is not enough space for all including on-street parking.

2.1.1.6 Experience since the adoption of the FNP, is of an increase in home extensions, particularly extending bungalows into larger houses. This reduces the options of those wishing to downsize but stay in the Parish.

2.1.1.7 Only 9% of properties are 1 bedroom, (compared to 11.6% nationally) and of these 5% are the flats in Eastlang Road.

This leaves only 4% of properties in the Parish as 1 bedroom properties away from Eastlang Road.

18% of properties are 2 bedrooms; compared to a national average for England of 27.3%.

33.5% of properties are 4+ bedrooms compared to a national average of 21.1%.

This demonstrates that our parish is “top heavy”, with a lot of large homes and disproportionately fewer smaller homes available.

2.1.2 Original Survey (2014) Responses Indicated

- Desire to maintain geographical independence from Birmingham, Coventry and other settlements.
- Limit development to small plots of land.
- Preserve older houses and rural character of the village.
- Maintain village atmosphere and strong sense of community.
- Lack of parking spaces.
- New builds ‘not in keeping’ with village.
- Maximise and develop in and around the village centre.
- Safe and friendly space for families and children to grow up in and businesses to thrive.

- Policies to encourage sustainable development and renewable energy.

2.1.3 NP Objectives

The original objectives of the plan are below and have not changed since the plans inception.

- Ensure the designs of new buildings do not cause a detrimental change to the overall character of the village by encouraging developments that use the scale, shapes and forms of traditional Arden valley buildings, especially in or close to the 'Conservation Area'.
- Encourage developments that follow the existing dispersed settlement pattern throughout the Parish and that blend with the natural features of the landscape.

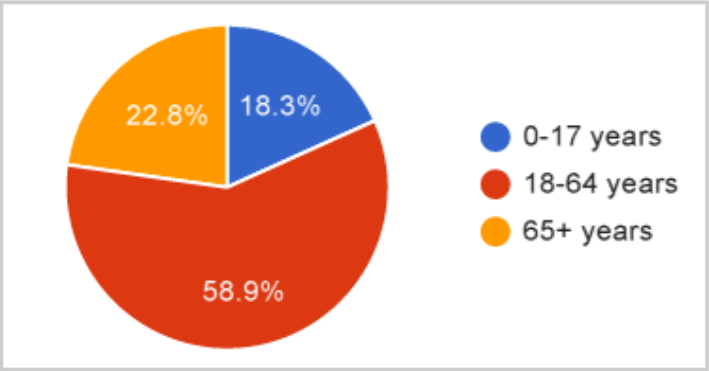
- Not to exacerbate existing parking issues or create new ones. Consider that cars driven in this rural Parish are predominantly large 4-wheel drive cars that require more space than many urban vehicles.

2.1.4 Further Evidence for FNP Revision

2.1.4.1 Further evidence was gathered from the Housing Needs Survey 2023. Please see Appendix 1

2.1.4.2 Further evidence has been gathered from the 2021 census;

- 23.2% of the Parish is comprised of 1 and 2 bedroom properties.
- Number of people in 1 and 2 household size was 64.9%
- Occupancy rating of bedroom 2 or more was 55.4%
- 16.6% of households are all over the age of 65.

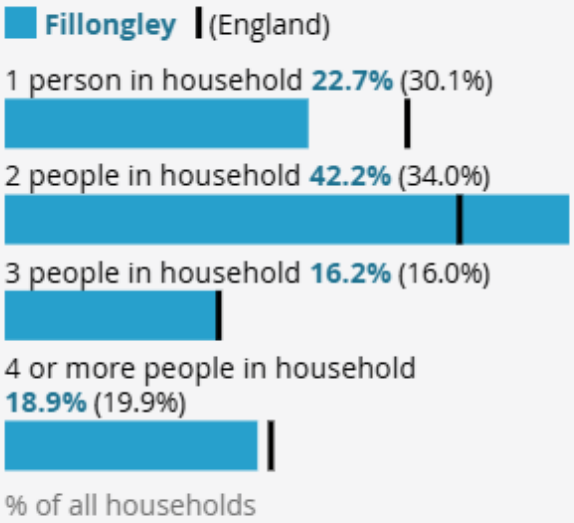


Age Groups (C 2021)	
0-17 years	288
18-64 years	929
65+ years	359

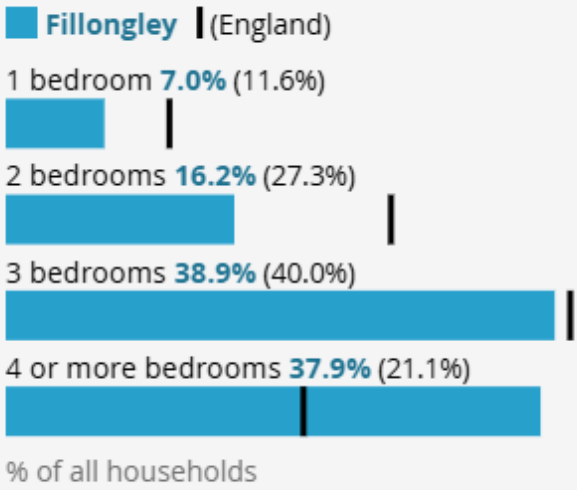
Source: UK Office for National Statistics (web).

Fillongley

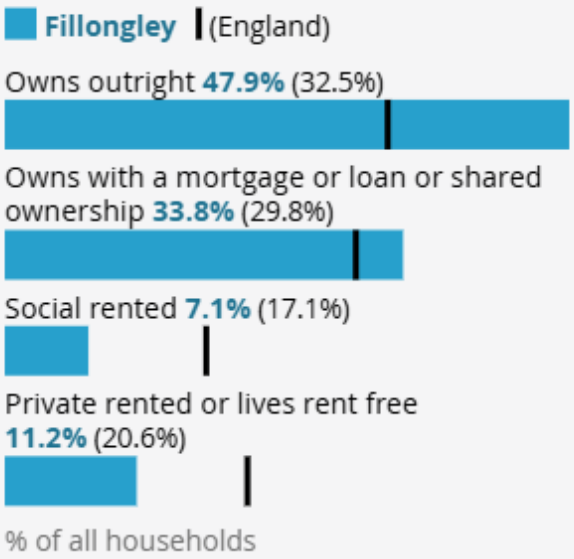
Household size



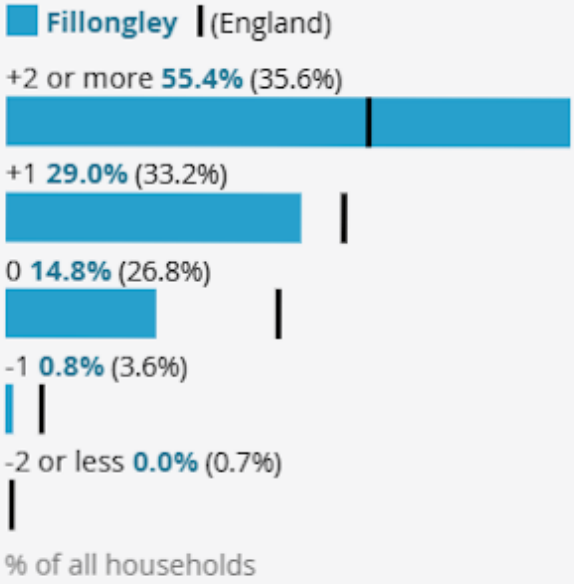
Number of bedrooms



Tenure of household



Occupancy rating for bedrooms



Source: Office for National Statistics - Census 2021

FNP01 Built Environment

- The Parish's historic and rural character is well recognised, with the Church's setting and the broader rural landscape being particularly important. To preserve the balance of the entire landscape, no development should be allowed to disrupt this harmony.
- Development proposals, as appropriate to their scale, nature and location, should ensure the designs of new buildings (including extensions) do not cause a detrimental change to the overall character to the neighbourhood plan area, the rural landscape of the parish and the setting of the Church through;
    - Encouraging developments that use the scale, shapes, forms of "traditional Arden Valley buildings", especially in or close to the Conservation Area.
    - Development should conserve the built character of Ancient Arden Landscape by ensuring that new development reflects vernacular features as stated in "Design Guidelines for Development in Ancient Arden" (WCC Character Guidelines 1993) (Evidence Base Ref 05/03 National Character Assessment Area 97 Arden)
- Development that will affect the setting of the Church should be in accordance with the Fillongley Neighbourhood Plan, North Warwickshire Local Plan and the advice of Historic England.
- Development proposals should be designed to take account of the landscape, the landscape character and topographical setting of the local area which contributes to the distinctive character of the Parish.
- The layout, scale and boundary treatment of any applicable development should seek to retain a sense of space, place and (where relevant) separation.
- Buildings should be designed in such a way so as to;
    - Make a positive use of local landform, mature trees, hedgerows and other vegetation and for larger proposals has had a suitable regard to landscape setting and settlement pattern;
    - Seek to minimise the encroachment of development into visually exposed landscapes and where development is proposed on the edge of the village. Designs should not lead to inappropriate incursion into the surrounding countryside by reason of its siting, design, materials or use of landscaping.
    - As appropriate to its scale, nature and location, development proposals across the Parish should demonstrate they are sympathetic to the landscape setting as defined in the NWBC Landscape Character Assessment. All applicants shall show that they have taken into account the matters identified above.
- Designs must include features to minimise light pollution.

2.2 Green Belt

2.2.1 Key Facts

The Green Belt has five main purposes including safeguarding the countryside from encroachment and protecting the setting of historic towns. It is an important planning policy designation and has a huge impact on Fillongley. Fillongley has two separate areas that are defined by a development boundary. The remainder of the Parish lies within the Green Belt.

2.2.1.2 National Planning Policy Framework (NPPF) 2024 states that Green Belt boundaries should only be altered in "exceptional circumstances".

2.2.2 Original Survey (2104) Responses Indicated

- Maintain geographical independence from Birmingham, Coventry and other settlements.
- Protect Green Belt including area around village.
- Protect Green Belt, restore Daw Mill to a green belt designated site as per 1996 planning consent.

2.2.3 NP Objectives

To protect the Green Belt

2.2.4 Summary

As per the NPPF 2012 Fillongley is in the Green Belt and inappropriate development will not be permitted unless very special circumstances can be demonstrated.-The Greenbelt Policy is set out in the NPPF 2024 and so no separate policy is required within this plan.

2.3 Natural Environment

2.3.1 Key Facts

2.3.1.1 The Landscape Character Assessment (Appendix 8, ref EB 05/14) records the landscapes of Fillongley as Ancient Arden: Arden Valleys. This is a specialist description of the local character and distinctiveness of the area. The Neighbourhood Plan has collected evidence of the ecology of the Parish—both the species that live here and the way they use

the fields, woodland and hedgerows to move around. (Appendix 4 Biodiversity Interconnectivity Mapping, ref EB 05/01).

2.3.1.2 There are many relatively small green open spaces around the Parish that contribute to the overall nature of the area and the well-being of the Community.

2.3.1.3 Experience since the development of FNP is that there are significant applications in the Borough for Solar Farms. At the time of the original survey, the trend was for wind generator applications. These were not wanted by respondents. The FNP already states the high value that residents put on being part of a rural, farming community.

2.3.1.4 FPC has received complaints regarding properties installing exterior lighting. This has reduced the dark skies, especially since WCC have switched off street lighting late at night – it has made the exterior lighting more obvious and also more intrusive to other residents and wildlife.

2.3.2 Original Survey (2104) Responses Indicated

- The rural environment is important for living & working
- Countryside is valued
- Want protection from wind turbine development
- There is some existing trace noise pollution
- Natural water sources are valued
- Natural darkness is preferred to light pollution
- Protect ancient woodland, hedges, trees, and wildlife
- Enjoy walks in the countryside
- Peaceful surroundings

2.3.3 NP Objectives

The original objectives of the plan are below and have not changed since the plans inception.

- To protect and enhance the natural environment.
- To protect the visual appearance and important scenic aspects of the village centre (the setting) and other rural and natural features in the landscape.
- Ensure new residential and commercial development meets the following criteria;
    - Blends sympathetically with the landscape
    - Does not spoil any scenic aspect of, or distract from, the visual appearance of the village centre or countryside
    - Not unduly prominent
    - Not create adverse impact on an area when added to existing buildings in that area

- Does not disturb the tranquillity of rural life

- To protect the existing health and well-being of the local community.
- To maintain the existing and traditional availability of farmland for food production and contribution towards food security.
- To reduce light pollution in order to reduce the possibility of complaints to the Council due to issues for both residents and wildlife.

2.3.4 Further Evidence for FNP Revision

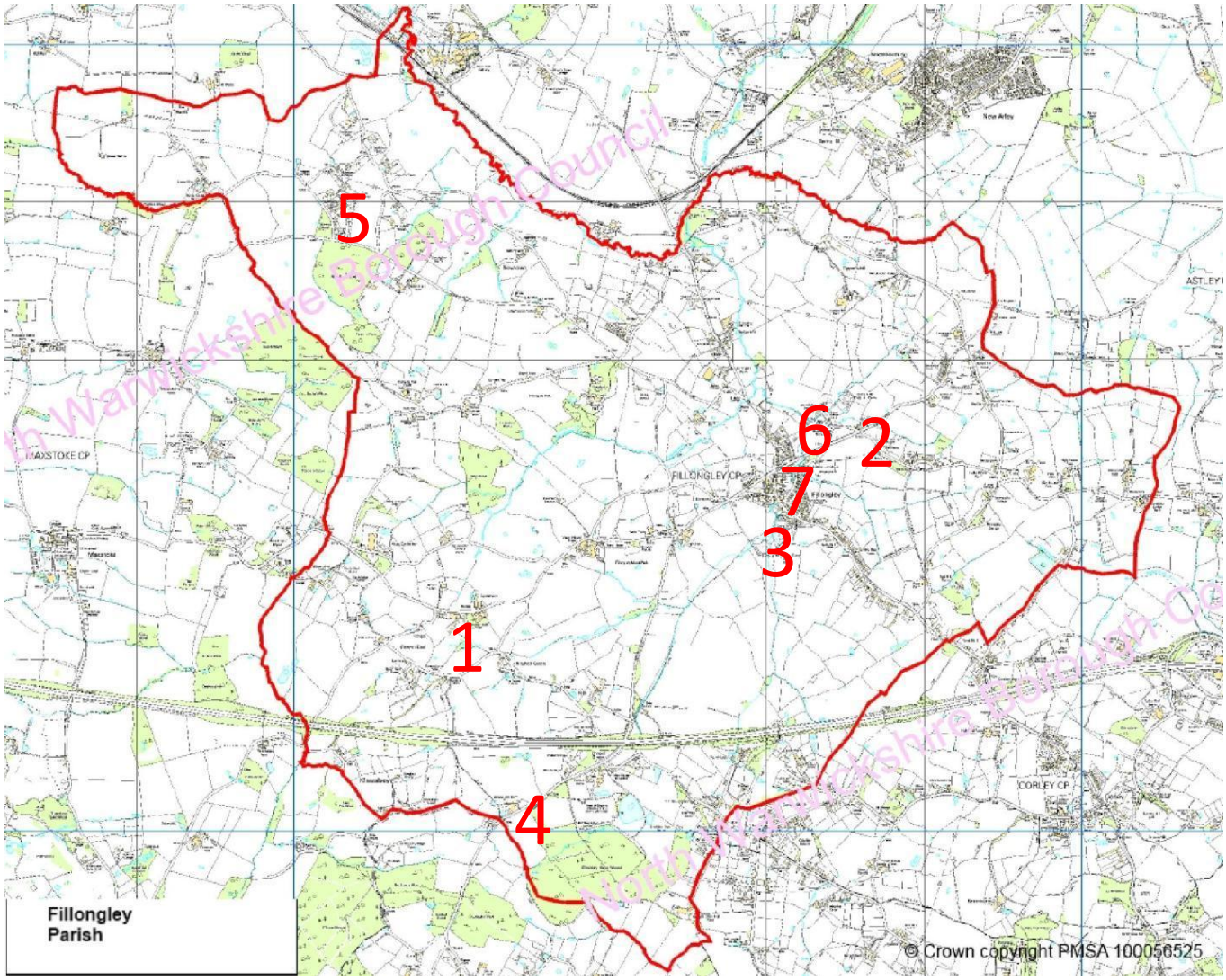
2.3.4.1 Comments from the FNP Revision consultation 2023 "The extent of light pollution is terrible", "The increase in external lighting on residential properties is a blight on the area and completely unnecessary", "in favour of motion sensors or just down lights, but those that light up and down are pretty but pointless and cost money to run, wasting electricity, money, adding to carbon footprints and not helping wildlife".

FNP02	Natural Environment

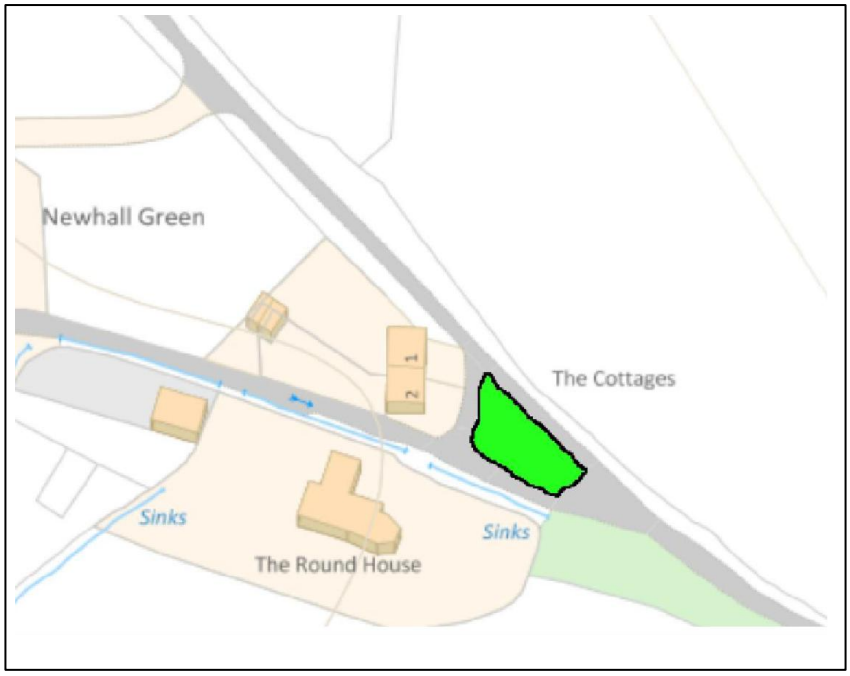
Development proposals, should wherever possible, seek to enhance and conserve the Natural Environment.
Proposals will be supported in principle providing they meet the following considerations;

- No adverse impacts on the visual appearance and important scenic aspects of the village centre (the setting) and other rural and natural features in the landscape. Existing open spaces that already exist within and on the edges of the developed areas of the Parish should be protected and enhanced wherever possible (See maps on pages 18-20).
- Protect and increase, in accordance with Habitat Biodiversity Net Gain, current levels of biodiversity and interconnectivity by ensuring current wildlife corridors (using data from Biodiversity Interconnectivity Mapping) are maintained, and increased.
- Any development should have regard to the Fillongley Ecological Report (Appendix 4, ref EB 05/01)
- Section 106 payments/CIL financial contributions, should go towards improvements to levels of biodiversity and interconnectivity using data from the Fillongley Ecological Report (Appendix 4, ref EB 05/01) in the locality of the development
- Existing definitively mapped footpaths that criss-cross our Parish should be protected and enhanced.
- Existing habitats of native species should be protected (using data from Habitat Distinctiveness Area map).
- Protect traditional Arden landscaped hedges and native trees.
- Plans must include features to minimise light pollution.

2.4 Open Spaces



1. Newhall Green (Outside the cottages)
2. Sandy Lane (between the main road and the crescent)
3. Butts Field (surrounding your Village Hall)
4. Chapel Green “Godcake” opposite the entrance to the Heart of England Centre
5. Shawbury (outside no 12 + others Shawbury Lane, Shustoke)
6. Recreation Ground
7. Corner of Eastlang Road/Junction with Coventry Road



Newhall Green (Outside the cottages)

Sandy Lane (between the main road and the crescent)

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Butts Field (surrounding your Village Hall)

Chapel Green "Godcake" opposite the entrance to the Heart of England Centre

Shawbury (outside no 12+others) Shawbury Lane Shustoke

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Recreation Ground

Corner of Eastlang Road/Junction with Coventry Road

2.5 Flooding

2.5.1 Key Facts

2.5.1.1 The village centre and some properties downstream have a history of periodic flash flooding of the Bourne Brook.

2.5.1.2 Severn Trent has said that some foul and storm water sewers in the village are not currently adequate and could exacerbate flooding with contaminated water.

2.5.1.3 Severn Trent are unable to object to additional housing; they have a duty to ensure water services are provided.

2.5.1.4 Global warming predictions indicate more frequent incidences of flooding in the future.

2.5.1.5 The 2010 NWBC Fillongley Flood Alleviation Report(Appendix 9, ref EB 08/02) has predicted village flood zones and properties at possible risk of flooding after rainfall events.

2.5.1.6 Use of Sustainable Urban Drainage Systems (SUDS) can reduce the frequency and/or severity of flooding if the scale and size of the measures can accommodate larger rainfall events. On a smaller scale it can also be designed to slow water down (attenuate) before it enters a watercourse, provide areas for water storage in natural contours, and can be used to allow water to soak (infiltrate) into the ground, be evaporated from surface

water and/or transpired from vegetation (known as evapotranspiration). It can also provide or enhance biodiverse ecological habitats.

2.5.2 Original Survey (2104) Responses Indicated

- Improve flood defences.
- Better drainage needed.
- Improve drainage through road gullies.
- Reduce storm water flow through village culvert and improve downstream watercourse.
- Request for balancing ponds to slow the flow of water in heavy rain periods.
- A specific proposal to reduce flooding before any further planning proposals are considered.

2.5.3 NP Objectives

The original objectives of the plan are below and have not changed since the plans inception.

To minimise flood risk within the village.

2.5.4 Further evidence for FNP Revision

2.5.4.1 Comments from FNP Revision 2023 consultation; “Anything having a detrimental impact on flood risks must be avoided given current weather trends”, “ this is common sense”, “flood prevention is very important”, “no building should take place to impact this”.

2.5.4.2 2023 Report from hydrologist; Clive Young of Edenvale Young Associates regarding water flowing into the centre of the village (Evidence Base ref EB/02/05).

FNP03 Flooding

- Development should minimise flood risk within the village whilst maintaining balance with other policies. Any developments will ameliorate flood risks by providing SUDS (Sustainable Drainage Systems) as required in consultation with the Fillongley Flood Group or other entity nominated by FPC and the lead local flood authority.
- Development within flood zone 3 will be required to show no increase to the site and to others in line with the requirements of the NPPF 2024, and where possible a reduction in flood risk to the site and others should also be encouraged.
- Surface water management strategies should demonstrate how site-specific guidance in the Strategic Flood Risk Assessment has been implemented and should be in accordance with Drainage Hierarchy
- Drainage systems should maintain or, where applicable, enhance the aesthetic, recreational and ecological quality of the area and be available, where appropriate, as recreational space.
- Development should incorporate SUDS. SUDS proposals should be managed in line with the Government Water Strategy. In particular SUDS proposals should;
    - Provide multifunctional benefits (eg enhance biodiversity by providing natural flood management and mitigation through the improvement or creation of green infrastructure such as ponds, wetlands, woodlands and swales).
    - Take account of advice from Warwickshire County Council as the Lead Flood Authority, the Environment Agency and Severn Trent Water (as the sewage management company)
- Proposals will be supported to include the replacement of tarmac or equivalent non-porous surface with a SUDS scheme in the area identified as Flood Zone 3.
- Surface water runoff rates in all new developments to be not in excess of 2L/s.

2.6 Housing

2.6.1 Key Facts

2.6.1.1 Census 2021 Fillongley Parish currently has a population of 1083 people in approximately 640 households.

2.6.1.2 Census 2021 Fillongley Parish currently has 20% of its population under 20 years of age, 26% are aged 50 – 70 years and 17% are over 70 years old. The number of older people as a percentage of the population is above average for England

2.6.1.3 Census 2021 There are approximately 22.7% of one person households.

2.6.1.4 Census 2021 Approximately 81.7% of households in Fillongley are owned outright or with a mortgage by the occupants.

2.6.1.5 Census 2021 11% are privately rented households, with 7% being socially rented accommodation.

2.6.1.6 Evidence shows that since the original plan was out for consultation (January 2018) to date (December 2024) permission has been granted for 23 new dwellings and 43 extensions in the parish.

2.6.2 Survey Responses

Please see Appendix 1 and Appendix 3 for results from the Housing Surveys of 2023 and 2025.

2.6.3 Neighbourhood Plan Objectives

The original objective of the plan was to encourage a mix of housing. Development since the adoption of the FNP show that encouragement has not worked, and more large homes have been built rather than the ones identified as needed. Therefore, whilst the objective remains broadly the same, the policy is reworded to ensure that the policy can be enforced.

2.6.4 Further evidence for FNP Revision

There is currently (2024) a disproportionately low number of bungalows to the number of residents over 60.

2.6.4.1 Housing Needs Survey 2023
Do you feel that the Parish suffers from a lack of adequate housing?
61 responses. No - 47.5%, Yes - 29.5%, Don’t know 23%.

"Yes" submitted varying needs response; affordable housing/affordable housing for local people/ starter homes/single storey retirement accommodation.

2.6.4.2 Housing Needs Assessment 2024

This survey was intended to reflect less on residents' imminent "Need" and to remove the requirement to complete financial details, in an effort to encourage residents to participate. It includes wishes and aspirations, whether to downsize or move to an independent property etc and thoughts as to the balance of the properties in the Parish.

2.6.4.3 Housing Needs Assessment 2024 Result

(If you currently rent your home) Would you like to own your own home, but cannot afford to buy one in Fillongley that suits your needs?

10 responses 80% yes, 20% no

2.6.4.4 Housing Needs Assessment 2024 Result

Do you need to move to a larger accommodation, either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?

70 responses 7% Can't afford, 1% not available, 5% yes, 87% No

2.6.4.5 Housing Needs Assessment 2024 Result

Do you need/wish to move to a smaller/single storey accommodation either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?

73 responses 33% yes, 67% no

2.6.4.6 Housing Needs Assessment 2024 Result

If you answered Yes to the above question: Do you need?

- Affordable property to release equity for retirement 4%
- Single storey accommodation 12%
- Sheltered accommodation 0 %
- Quality, spacious, single storey accommodation but not as large as your current property 72%
- first time buyer 4%
- affordable new housing 4%

FNP04 Housing

- Proposals for residential development will be expected to contribute to the objective of creating a mixed and balanced community.
- To achieve this objective, new residential development should seek to include in their housing mix a majority (greater than 50%) of 1 bedroom and 2 bedroom dwellings. These should provide for a range of needs including; homes for those with mobility issues; homes for older people; homes for young people. Where possible this should include a mixture of ownership tenures to enable younger residents to stay in the Parish and purchase their own homes.
- Development proposals for housing will be required to demonstrate that they take into account the most up to date published independent evidence of housing needs in Fillongley parish.
- Where possible, affordable housing should be made available to eligible households with a local connection to the Parish in the first instance.
- The affordable dwellings should include a mix of affordable home ownership and affordable dwellings for rent.
- Proposals for new dwellings which incorporate flexible layouts (to facilitate home working and/or adaptations required by the occupiers over their lifetime) will be supported if the required housing mix is achieved.
- Subject to viability assessment, new homes that are accessible and adaptable (as defined in the Building Regulations) will be supported where they otherwise comply with development plan policies.
- Development proposals will be required to demonstrate that residents and visitors parking requirements can be accommodated off street to facilitate traffic flow and accessibility for service and emergency vehicles. Proposals should ensure that enough off-street parking is integrated into the layout of the scheme or provided off site.
- New developments should include sufficient amenity space to serve the needs of the development and its users.

2.7 Economy

2.7.1 Key Facts

2.7.1.1 In 2021 Census 60% of population (who are of working age) are employed. Of these, 22% are self employed, mainly rural (farms) and small businesses.

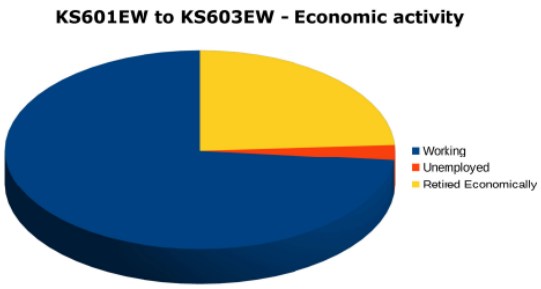
2.7.1.2 In 2021 Census 1% are unemployed.

2.7.1.3 In 2021 Census 39% are economically inactive (retired/students etc). This has increased by 9% since the previous census.

2.7.1.4 There are 26 working farms

2.7.1.5 A wide variety of rural businesses serving existing residents

2.7.1.6 Inconsistent broadband speed throughout Parish



Working	805
Unemployed	28
Retired Economically Not Contributing	264

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2.7.2 Original Survey (2104) Responses Indicated

- Enjoy having the facilities of local pub
- Enjoyed having a local shop (since closed)
- Would like to see a Post Office re-open
- Improve broad band connection
- Improve mobile phone signal
- Recognition that employment & residential occupation need to be considered together
- Flexibility to create employment/business
- Wish to be a centre for rural business
- To support local businesses
- Lack of public transport
- Support for more sustainable business practices

2.7.3 NP Objectives

The original objectives of the plan are below and have not changed since the plans inception.

- Support development of new rural businesses/rural employment opportunities when they are not to the detriment of existing residents.
- Ensure that new employment developments provide/ensure sustainable transport provision.
- Support digital infrastructure provision. Support local business/amenities such as shops/pubs.

2.7.4 Further Evidence for FNP Revision

The result was that 84.6% of respondents felt that there was nothing to add to the original policy. Comments made referred to online businesses, not permitting development of agricultural or green belt land for businesses, housing being built on agricultural land, flooding and noise pollution. Almost all of these refer to other policies. Original responses have also contributed to the strengthening of the policy.

FNP05	Economy

- Proposals for the development of new rural businesses and rural employment opportunities will be supported in principle, provided that;
  - there would be no adverse impact on the amenities of neighbouring businesses or residential properties, for example in relation to factors such as noise and disturbance; and
  - the development is supported by sufficient car parking and access arrangements to meet its needs
  - it is accessible by other sustainable transport means (walking, cycling, car-share and public transport).
- Business development will be supported when it is a) on brownfield sites or b) where small scale employment uses already exist in a suitable location, or c) as part of mixed-use schemes.

2.8 Heritage

2.8.1 Key Facts

2.8.1.1 The Historic Environment Record shows the extent to which Fillongley is rich in built and natural heritage, of both local and national importance.

- 50 listed structures
- 2 Scheduled Monuments
- Ridge and furrow fields
- Parkland surrounding manor houses
- WW2 defence remains

2.8.1.2 Written records relating to Fillongley refer back to the year 900 showing significant settlements then. In the Domesday book in 1086 Fillongley had a recorded population of 38 households putting it in the largest 20% of settlements recorded in Domesday. Parts of the Church are from the 12th Century.

2.8.1.3 Two moated sites from Norman and earlier times, and related parkland in the central location form part of the evidence of the steady development of a settlement throughout the centuries.

2.8.1.4 Strong sense of Community with numerous extended families having resided within the Parish for generations.

2.8.2 Original Survey (2104) Responses Indicated

- Value the character and atmosphere of the village
- Protect the castle remains
- Value the Church
- Value the Ancient woodland
- The strong sense of history matters in the living, working and leisure environment.
- Protect the village, keeping it's 'feel'.

2.8.3 NP Objectives

The original objectives of the plan are below and have not changed since the plan's inception.

- Work towards further protection and enhancement of both the recorded assets of the parish, and other locally identified heritage assets.
- Work towards building on existing 'Design Guidelines for development in Ancient Arden' and for 'Fillongley Conservation Area' which describe local distinctiveness, character, and historic context.
- Encourage maintenance of existing community spirit.

2.8.4 Further Evidence for FNP Revision

- Statement of Case by Keystone Heritage discovering further historic information about the Parish (Appendix 7 EB 06/12)
- Response from FNP Revision Survey 2023 requested including old style stone boundary walls as protected heritage assets.

FNP06 Heritage

- Development should protect, enhance and respect the local built, historic and natural heritage assets or any other locally identified heritage features of the village (Appendix EB06/04 Fillongley Parish Historic EnvirRecord Monuments)
- Applications for development that will harm designated and non-designated heritage assets will be refused unless the circumstances that would permit approval specified in the appropriate part of the NPPF 2024 apply.
- Development should demonstrate an understanding of the history of the area. Proposals for development, including change of use that involve a designated heritage asset, or the setting of a designated heritage asset will be expected to
    - conserve, enhance or better reveal those elements which contribute to the heritage significance and/or its setting;
    - respect any features of special architectural interest, including where relevant the historic curtilage or context, its value with a group and/or its setting, such as the importance of a street frontage, traditional roofscape or traditional shopfronts;
    - be sympathetic in terms of its siting, size, scale, height, alignment, proportions, design and form, building techniques, materials and detailing, boundary treatments and surfacing, or are of a high quality contemporary or innovative nature which complements the local vernacular, in order to retain the special interest that justifies its designation;
    - ensure significant views away from, through, towards, and associated with the heritage asset(s) are conserved or enhanced.
- Proposals that will lead to substantial harm or total loss of significance to a designated heritage asset will be dealt with in accordance with Para 208 of the NPPF 2025
- Proposals that would result in less than substantial harm to the significance of a designated heritage asset (including their setting) will only be supported where it can be demonstrated that the public benefits will outweigh any harm identified.
- The restoration of Listed Buildings on Historic England's Heritage at Risk register, will be supported where the proposal is compatible with the designation provide that the proposal; a) recognises the significance of the heritage asset as an integral part of the proposal and its design and layout, b) recognises the significance of the heritage asset as a central part of the design and layout, c) has special regard to the desirability of preserving the asset and its setting and any features of special architectural or historic interest, and d) removes or seeks to remove the risk to the heritage asset.
- The former drovers' lanes are narrow country lanes and have a historic and rural landscape character being mainly single width carriageways which are sunken and with mature, high hedges in place. Where possible, proposals should demonstrate they have regard to this historic rural landscape character in the proposals for the movement of vehicles, pedestrians and cyclists along them.
- Stone boundary walls should be protected.

2.9 Traffic and Transport

2.9.1 Key Facts

2.9.1.1 As the origin of the Parish is scattered settlements, a large number of the houses in the Parish are on single track roads with high banked hedges obscuring forward vision.

2.9.1.2 Fillongley Village centre is set on two main roads. The B4098 from Coventry to Tamworth and the B4102 from Meriden to Nuneaton.

2.9.1.3 The village has a pinch point near the church which makes it difficult for HGV's to pass oncoming traffic.

2.9.1.4 The pavements in the village are in places extremely narrow and somewhat uneven and in some places non-existent.

2.9.1.5 There is a school, church and a public house in the centre of the village, which generate between them the majority of the pedestrian traffic .

2.9.1.6 The use of cycles by the village residents is low.

2.9.1.7 The village is poorly supported by public transport; villagers mainly use private cars to commute to and from work.

2.9.1.8 There are future threats on our roads from potential developments from; UK Central, at Meriden (Coleshill South), 800 Housing Development Keresley.

2.9.2 Original Survey (2014) Responses Indicated

- The volume of traffic travelling through the village has been highlighted as a concern to many residents.
- The speed of traffic through the village causes concern.
- Better public transport would be welcomed.
- HGV's travelling through the village are a nuisance to the community, including at night time.
- Crossroads need to be made safer.
- Residents would like road safety measures introduced.
- There have previously been requests for traffic lights at the crossroads.
- Lack of Car Parking.
- Concerns regarding "rat running" through Church Lane and Ousterne Lane.

2.9.3 NP Objectives

The original objectives of the plan are below and have not changed since the plans inception.

- To promote good vehicular access, parking/garaging and turning provisions for new developments without detriment to existing residents and the street scene.
- To ensure that the number of car parking spaces be related to the size of the property.
- To support accessibility and the use of public transport.

2.10 Further Evidence for FNP Revision

FNP update 2023 (Appendix 2) demonstrates that the above issues have not gone away and are still relevant today.

FNP07	Traffic and Transport

Proposals for development should;

- provide safe vehicular access, parking/garaging and turning provisions without detriment to the amenity of existing residents
- comply with current NPPF 2024, NWBC and WCC Guidelines, and
- ensure that the number of car parking spaces be related to the size of the new and extended properties.
- All development proposals will be required to demonstrate that residents' and visitors' parking requirements can be accommodated off street to facilitate traffic flow and accessibility for service and emergency vehicles. Proposals should ensure that off-street parking is integrated into the layout of the scheme or provided off site.

3.0 Community Aspiration

3.1.0 Key Facts

- Strong sense of Community with numerous extended families having resided within the Parish for generations.
- Wide variety of community activities throughout the Parish aimed at all ages of Parishioners.
- Maintenance of definitive footpaths in the locality.
- Support digital infrastructure provision such as mobile phone/broadband.
- Support local business/amenities such as shops/pubs.

3.2.0 Original Survey Responses Indicated

- Protect the village keeping it's 'feel'.
- Great community spirit
- Friendly place to live

3.3.0 NP Objectives

The original objectives of the plan are below and have not changed since the plans inception

Whilst it is recognised that these are valued parts of Fillongley, it is not practical to embody them in a Policy, however, Parishioners would wish the spirit of their sentiments to be acknowledged when shaping the future of the Parish.

- Encourage maintenance of existing community spirit to protect the health and wellbeing of the local community.
- Encourage developments that follow the existing dispersed settlement pattern throughout the Parish and that blend with the natural features of the landscape.
- To support accessibility and the use of public transport.
- Encouragement will be given to land owners and developers to reduce/minimise flood risk within the village whilst maintaining balance with other policies. This could be by a range of provisions such as additional ditches, ponds etc.
- Work towards building on existing 'Design Guidelines for development in Ancient Arden' and for 'Fillongley Conservation Area' which describe local distinctiveness, character, and historic context .

4.0 Appendices

Appendix 1 Results of Housing Needs Survey 2023

Appendix 2 Results of FNP Update Survey 2023

Appendix 3 Results of Housing Needs Assessment 2025

Appendix 4 Biodiversity Interconnectivity Mapping (Fillongley Ecological Report EB 05/01).

Appendix 5 Fillongley Parish Historic EnvirRecord Monuments (EB06/04)

Appendix 6 Monument Records (EB06/04a Monument_Records)

Appendix 7 Statement of Case - Keystone Heritage 2024

Appendix 8 National Landscape Character Assessment Area 97 Arden (ref EB 05/03)

Appendix 9 Flood Alleviation Report 2010 (ref EB 08/06)

5.0 References

References to relevant policies to our plan, this is not an exhaustive list and there may be others that are also relevant.

FNP01: Built Environment

EB01/04 Footpaths Fillongley Parish Definitive Map

EB 01/05 Settlement and Hamlet Areas

EB 05/01 Fillongley Ecological Report 2015

EB 05/02 Fillongley Landscape Study

EB 05/03 National Character Assessment

EB05/04 DEFRA Land Use Fillongley

EB 05/05 Tranquility Map England

EB 05/06 Light Pollution and Dark Skies

EB 05/07 Agricultural Land Qualification Data

EB 05/08 DEFRA Soilscape

EB 05/09 Warwickshire Landscapes Project

EB 05/10 Assessment of Green Spaces on FNP

EB 06/02 Extensive Urban Survey

EB 06/06 Fillongley Historic Landscape Characterisation

EB 06/10 Fillongley Historic Character Assessment

EB 06/12 Keystone Heritage Report

EB 07/03 Parish Planning Applications Dwellings

EB 07/11 Number of bedrooms ONS

EB 08/06 Fillongley Flood Alleviation Report

NWBC LP 01 Sustainable Development

NWBC LP14 Landscape

NWBC LP29 Development Considerations

NWBC LP30 Built Form

NWBC LP34 Parking

NPPF 2024 Specifically 124, 132, 134, 135, 139

Greenbelt

NPPF 2024 145. "Green Belt boundaries should only be altered where exceptional circumstances are fully evidenced and justified through the preparation or updating of plans".

FNP02: Natural Environment

EB01/04 Footpaths Fillongley Parish Definitive Map

EB 01/05 Settlement and Hamlet Areas

EB 05/01 Fillongley Ecological Report 2015

EB 05/02 Fillongley Landscape Study

EB 05/03 National Character Assessment

EB05/04 DEFRA Land Use Fillongley

EB 05/05 Tranquility Map England

EB 05/06 Light Pollution and Dark Skies

EB 05/07 Agricultural Land Qualification Data

EB 05/08 DEFRA Soilscape

EB 05/09 Warwickshire Landscapes Project

EB 05/10 Assessment of Green Spaces on FNP

EB 06/03 Fillongley Historic Enviroment Record Events

EB 06/06 Fillongley Historic Landscape Characterisation

EB 06/08 Fillongley Ridge and Furrow

EB 06/09 Fillongley Scheduled Monuments

EB 06/12 Keystone Heritage Report

NWBC LP 01 Sustainable Development

NWBC LP14 Landscape

NWBC LP 15 Historic Environment

NWBC LP16 Natural Environment

NWBC LP20 Green Spaces

NWBC LP21 Open Spaces and Recreational Provision

NWBC LP29 Development Considerations

NPPF 2024 Specifically 106, 135, 139, 187

FNP03: Flooding

EB 08/01 Surface Water

EB 08/02 Flood Zones

EB 08/03 EA Data Map

NPPF 2024 162, 170, 181

FNP04: Housing

EB 01/05 Settlement and Hamlet Areas

EB 06/06 Fillongley Historic Landscape Characterisation

EB 06/10 Fillongley Historic Character Assessment

EB 07/03 Parish Planning Applications Dwellings

EB 07/04 Housing Needs Assessment Questionnaire 2025

EB 07/05 Summary of Responses Housing Needs Assessment 2025

EB 07/06 Fillongley Housing Needs Survey 2023

EB 07/07 Fillongley Housing Needs Survey Summary of Responses 2023

EB 07/11 Number of bedrooms ONS

EB 08/01 Surface Water

EB 08/02 Flood Zones

EB 08/03 EA Data Map

EB 08/06 Fillongley Flood Alleviation Report

NWBC LP07 Housing Development

NWBC LP09 Affordable Housing Provision

NWBC LP13 Rural Employment

NWBC LP29 Development Considerations

NWBC LP30 Built Form

NWBC LP34 Parking

NPPF 2024 63 and 65

FNP05: Economy

EB 03/07 Economic Activity

EB 04/D01 Public Transport

EB04/01 Map of Parish Road and Rail Links

NWBC LP11 Economic Regeneration

NWBC LP13 Rural Employment

FNP06: Heritage (AND COMMUNITY)

EB 01/05 Settlement and Hamlet Areas

EB 05/03 National Character Assessment

EB 05/06 Light Pollution and Dark Skies

EB 06/02 Extensive Urban Survey

EB 06/03 Fillongley Historic Environment Record

EB 06/04 Fillongley Parish Historic Environment Record Monuments

EB 06/05 Fillongley village Historic Environment Records Monuments

EB 06/06 Fillongley Historic Landscape Characterisation

EB 06/07 Fillongley Listed Buildings

EB 06/08 Fillongley Ridge and Furrow

EB 06/09 Fillongley Scheduled Monuments

EB 06/10 Fillongley Historic Character Assessment

EB 06/11 British Museum Portable Antiquities Scheme - Fillongley Sites

EB 06/12 Keystone Heritage Report 2024

NPPF 2024 208

FNP07: Traffic and Transport

EB 04/03 Fillongley Village Traffic Plan 2008

EB 04/04 Fillongley Road Safety Assessment 2011

NWBC LP01 Sustainable Development

NWBC LP07 Housing Development

NWBC LP13 Rural Employment

NWBC LP34 Parking

NPPF 2024 109 and 112

Key:

NPPF; National Planning Policy Framework, December 2024
NWBC; North Warwickshire Borough Council Local Plan 2021
EB; FPC Evidence Base

Appendix 1

Results of Housing Needs Survey 2023

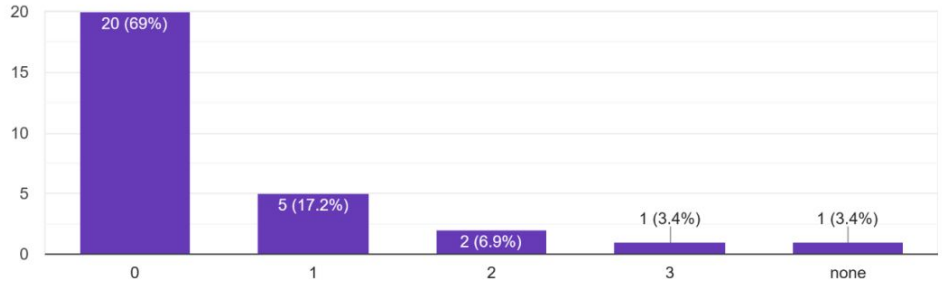
Fillongley Housing Needs Survey Summary of responses 15th June 2023

679 distributed

64 responses

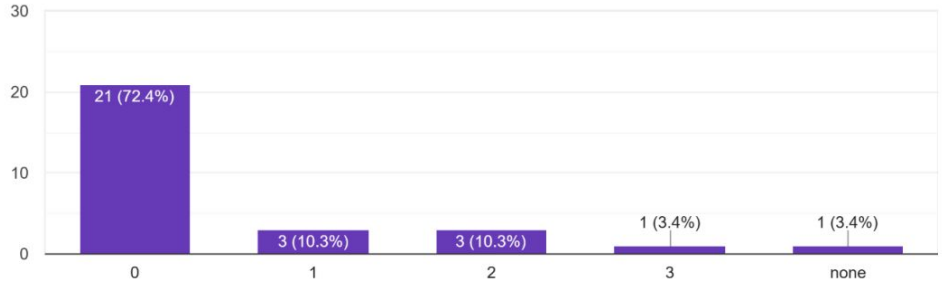
Child (0-16 years)

29 responses



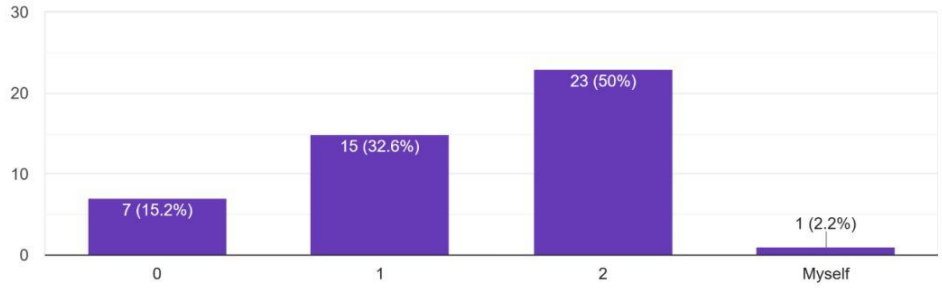
Young Adult (17-24 years)

29 responses



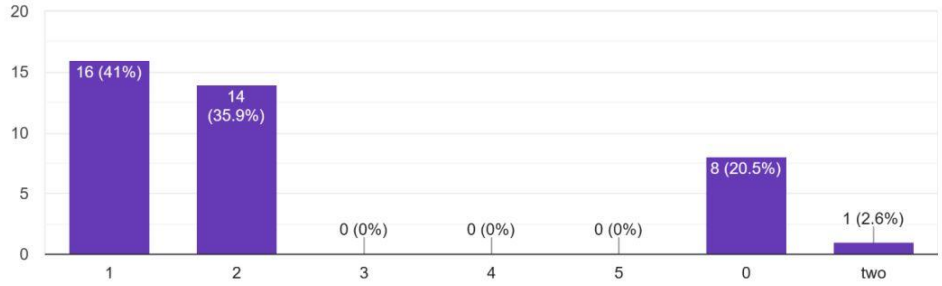
Adult (25 - 64 years)

46 responses



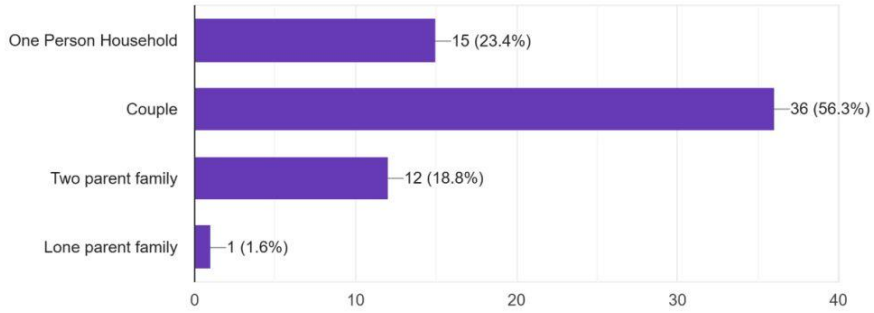
Pensioner (65+ years)

39 responses



Which category best describes your household?

64 responses

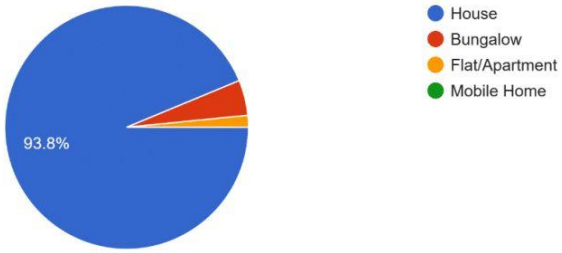


What is your current housing situation?

64 responses

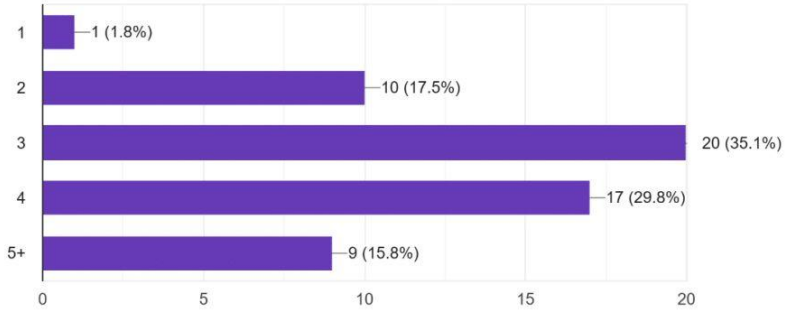
Do you live in:

64 responses



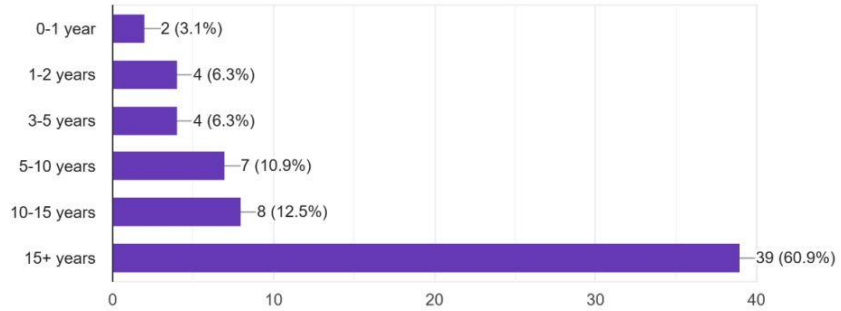
No. of bedrooms in your current housing

57 responses



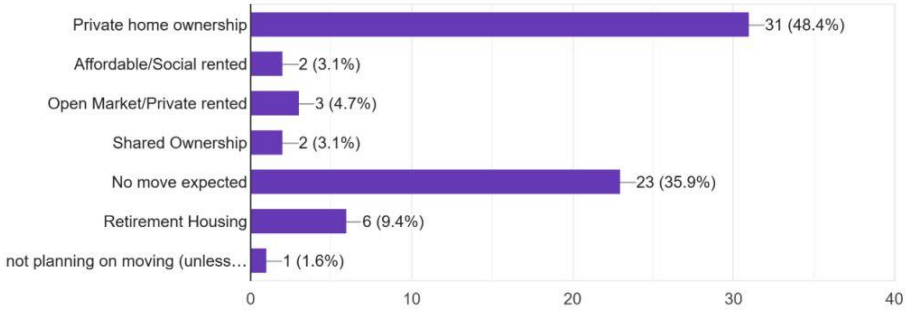
How Long have you lived in the Parish?

64 responses



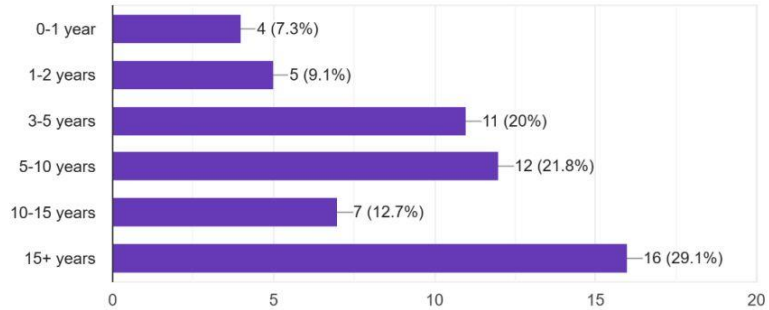
In what tenure do you expect your next home move to be?

64 responses



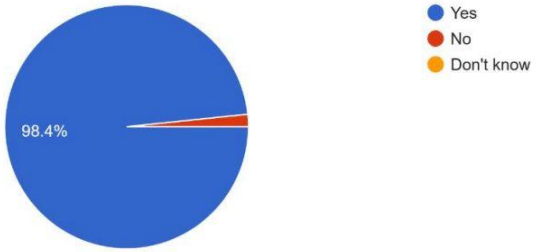
When do you anticipate your next home move will be?

55 responses



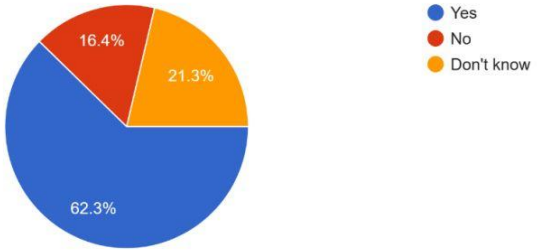
Do you feel that the Parish..... Is a desirable place to live?

61 responses



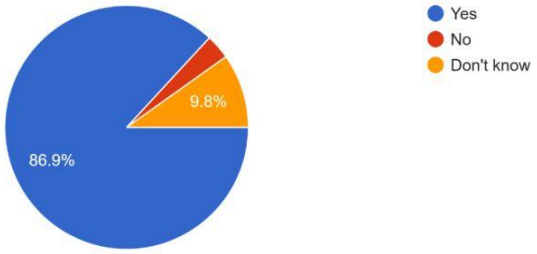
.... Has a balanced population?

61 responses



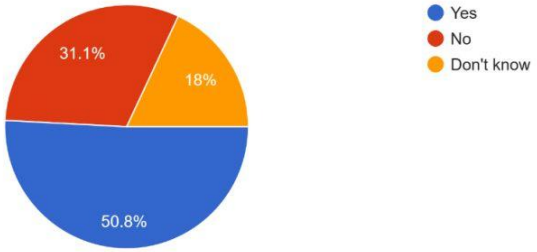
.... Has a sense of community?

61 responses



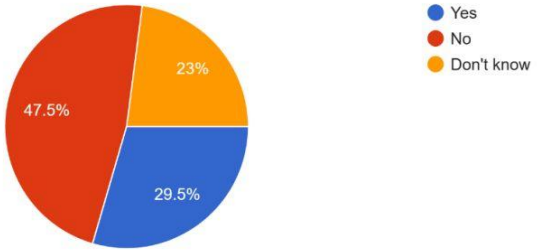
.... Has a suitable range of housing?

61 responses



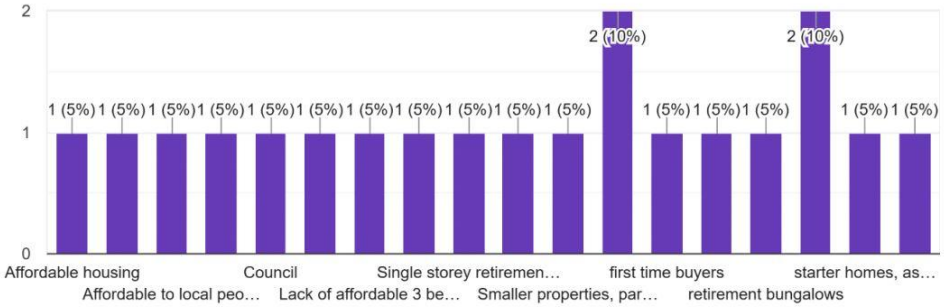
Do you feel that the Parish suffers from a lack of adequate housing?

61 responses

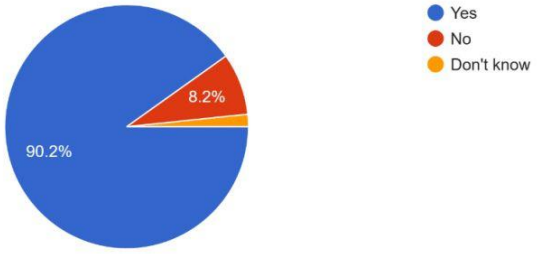


If Yes, what sort?

20 responses



Do you feel that the Parish suffers from a lack of facilities? (e.g. shop/transport)
61 responses



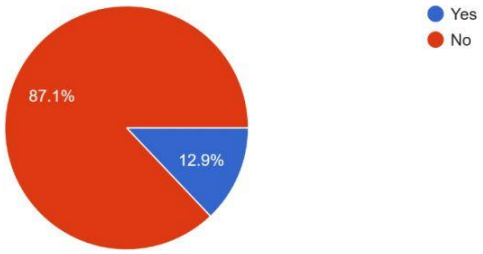
Shops – 41

Post Office - 10

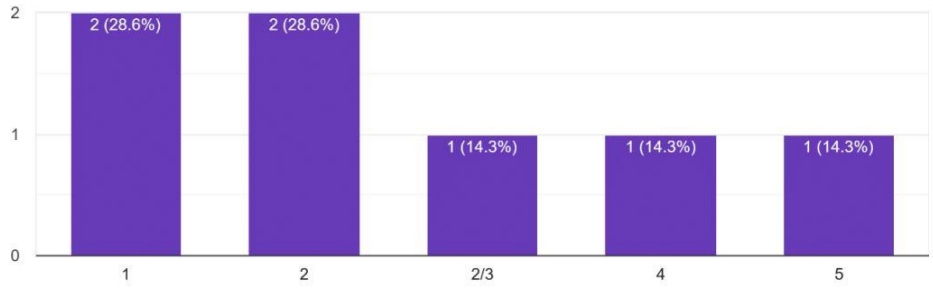
Transport/Bus Service - 21

Police – 1

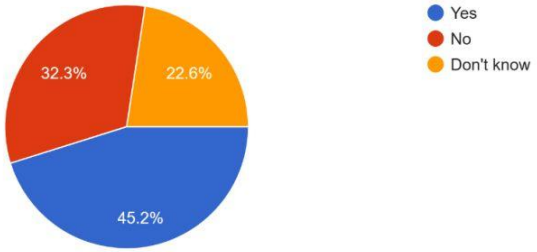
Do you know of anyone who has had to leave the Parish in the last 5 years through lack of suitable affordable housing?
62 responses



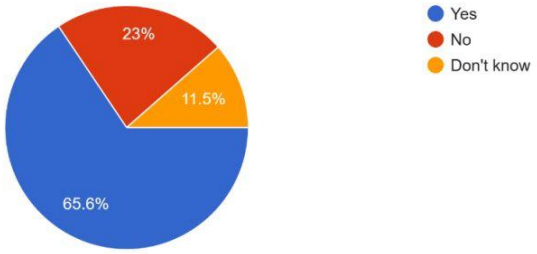
If Yes, how many people? If the people referred to would like to complete a Housing Needs Survey questionnaire, please ask them to fill in this form... Council on 01676 549193 to request a survey form.
7 responses



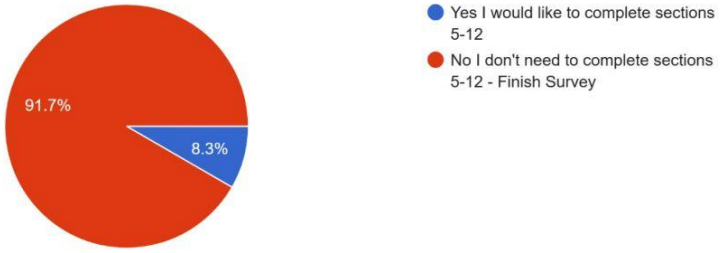
Would you be in favour of a scheme of new homes to meet the local housing needs?
62 responses



Do you think that the current mix of housing in the village fulfils your family's housing needs?
61 responses

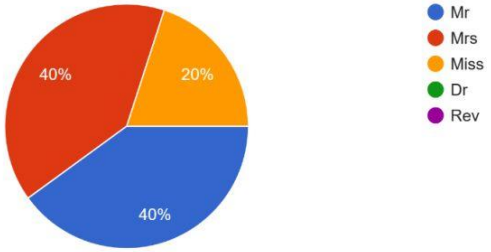


Please complete Sections 5-12 if any of the following apply: - You are in need of local housing of any type. - Someone in your household needs, or is l...s includes those who no longer live in the village).
60 responses

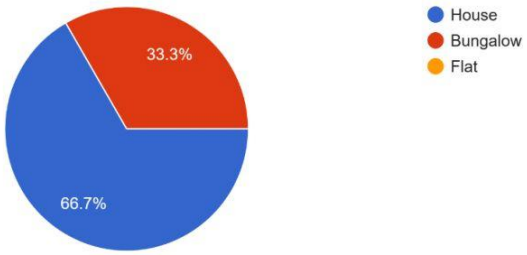


5 people with needs identified for 5 properties

Title
5 responses

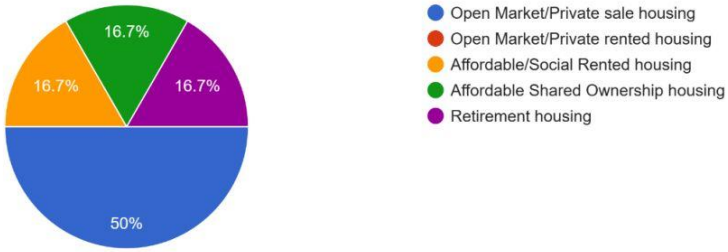


What type of accommodation would be suitable?
6 responses



What would be the most suitable type of housing for you?

6 responses



Appendix 2

Results of FNP Update Consultation 2023

Summary of FNP Update Consultation and responses 2023

Policy FNP01 Built Environment

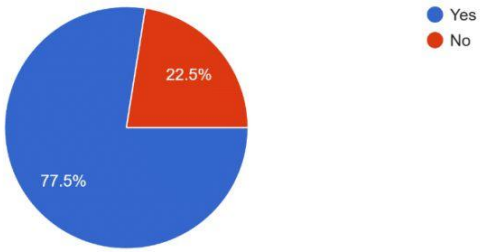
Development proposals where possible should ensure the designs of new building (including extensions) do not cause a detrimental change to the overall character of the village, the rural landscape of the parish and the setting of the Church through:

- **Encouraging developments that use the scale, shapes, forms of "traditional Arden Valley buildings", especially in or close to the Conservation Area**
- **Development should conserve the built character of Ancient Arden Landscape by ensuring that new development reflects vernacular features as stated in "Design Guidelines for Development in Ancient Arden" (WCC Arden Character Guidelines 1993)**
- **Development that will affect the setting of the Church should be in accordance with the North Warwickshire Local Plan and the advice of Historic England.**

There are only approximately 10 bungalows left in the Parish as a number have been bought, and extended upwards, either because it was a cheap way of buying a house or has been done by developers for profit. Either way, the result is that there are only around 10 bungalows out of a housing stock of approximately 673, which limits the possibility for existing residents to downsize and also for those needing single storey living.

***Q1**. Would you be in favour of a policy limiting the extension of bungalows into dormer bungalow/houses in order to maintain a stock of bungalows in the parish for those needing single storey living accommodation and those wishing to downsize?* *40 responses*

Yes 77.5% (31) No 22.5% (9) *Any additional comments to Q1?*



- The parish council needs to priority its current population as well as to strategically plan for the future.
- Two storey extensions often have objections from neighbours.
- Single storey ground floor living is key for older people to maintain their independence and mobility, so it is really important to enable residents to stay in the village among their social and family communities with a stock of bungalow style housing, both new and old.

1

- As a condition of planning permission for new build bungalows.
- Bungalows into houses are onl for profit no for village life
- Whilst I appreciate the need for bungalows, I think that would feel very unfair to the 10 households impacted. If new bungalows are built, I would be in favour of restrictions on those.
- Many extensions are destroying the eyeline of the village.
- I have difficulty with stairs and may need a bungalow myself. After 40 years don't want to leave Fillongley
- If bungalows are built as a part of social housing solution then stipulations should be they remain as bungalows.
- Depends on individual circumstance. No new bungalows being built instead of 2 storeys
- All age groups in the Parish should be considered
- one for, one against!
- re the above as it limits the ability for downsizing
- Already not enough bungalows.
- Build/allow bungalows to be built(smaller non-developable) not 4/5 bed detached houses.
- set ratio 60% 3 beds and under, 40 % over 3 beds.
- Bungalows should be for those needing single storey living and not for downsizing
- Additional "executive homes" were built on the former coach garage despite the developer asking to change the planning permission to allow smaller (starter and retirement) homes instead, albeit greater density. It was a shock to find their application was unsuccessful because Fillongleys needs are more acute for lower cost properties.
- We NEED houses for the disabled and elderly. It is not fair for developers to buy bungalows, increase the size and move on for profit. It does not benefit those who want to live here.

***Q2**. The setting of the Church is protected by FNP01. Which other specific settings do you feel should be protected? Please comment…*

- Fillongley Social Club
- Manor house pub, The Cottage pub, Weavers pub, Fillongley village hall site, Fillongley castle site and surrounding fields
- No comment
- Fillongley Castle remains. The Church Tree, Kinwalsey Lane.
- The Manor House public house
- There are no others which need this protection
- Playing fields
- Farm buildings near crossroads which recently was targeted for more homes. Too close to roads for development
- The School
- Please no solar farm on our precious fields

- The Manor House Public House and ancillary buildings to maintain the current visual appearance of the village setting and to protect the immediate neighbours from encroaching built development
- The green space around the Village Hall and the allotments. Both are well used by the village and those living on Coventry Road
- Anything considered Green Belt
- Berryfields and Cemetery Surround

Policy FNP02 Natural Environment

"Development proposals should wherever possible seek to enhance and conserve the Natural Environment. Proposals will be supported in principle providing they meet the following considerations:

- **No adverse impact on the visual appearance and important scenic aspects of the village centre (the setting) and other rural and natural features in the landscape.**
- **Existing green spaces that already exist within and on the edges of the developed areas of the Parish should be protected and enhanced wherever possible.**
- **Protect and increase, where possible, current levels of biodiversity and interconnectivity by ensuring current wildlife corridors (using data from Biodiversity Interconnectivity Mapping) are maintained and increased where practicable.**
- **Any development should have regard to the Habitat Biodiversity Audit (EB DOC NO 05/01)**
- **Section 106 payments/CIL financial contributions will go towards improvements to levels of biodiversity and interconnectivity using date from the Habitat Biodiversity Audit in the locality of the development (Reference EB05/01)**
- **Existing definitively mapped footpaths that criss-cross our parish should be protected and enhanced where possible.**
- **Existing habitats of native species should be protected wherever possible (using data from Habitat Distinctiveness Area map)**
- **Protect traditional Arden landscaped hedges and native trees wherever possible."**

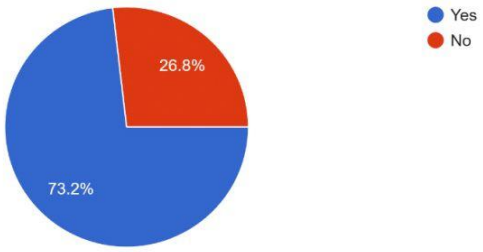
The increase in availability of economical LED lights has led to an increase in homes being lit through the evening and night rather than, as previously, on movement sensors only coming on as necessary.

There is increasing pressure to reduce light pollution for the benefit of wildlife, those watching the skies and those trying to reduce carbon emissions.

***Q3**. Would you be in favour of a policy minimising external lighting to ensure dark skies and minimal light pollution?* 41 responses

Yes 73.2% (30) No 26.8% (11)

3



Any additional comments to Q3?

- I feel strongly that Fillongley must be eco friendly and think about the environment.
- With streetlights operating restricted hours, it maybe that residents feel more secure with their own lights that are on all night instead? Movement sensor operated lights are useful but perhaps seen as less of a deterrent for any criminal activity.
- Coventry road is already unsafe with vehicles travelling at higher speeds than the limit, we have proof of this with the speed awareness on going work. At night with no lights it makes it even more dangerous for exiting drivers and pedestrians. Also we have had an influx of village crime, individuals trying door locks on houses and cars, light can deter thieves.
- Unenforceable for private residences. Could be advisory for public buildings, church and street lighting
- The extent of light pollution is terrible. Home owners should turn outside lights off overnight even if they are on during the evening.
- Most definitely; the increase in external lighting on residential properties is a blight on the area and completely unnecessary.
- lighting needed due to the increase in rural crime
- We have bright driveway lights shining into our house all night. I appreciate they are there, but further lighting affecting others should be controlled.
- Downward lighting only rather than lanterns
- If afraid of the dark go back to the cities.
- Security is main concern. Lighting to me is essential
- Adequate provision of litter bins might reduce amount of rubbish left around
- Some external all-night lighting is for security cameras? Perhaps these could also be linked to motion sensors.
- Garden solar lights that "die" during the evening ok but no need for powered lights to be on all night.
- Lighting that goes off at midnight or presence detection lighting.
- Commercial farms businesses curfew 23.00 - 06.00 hrs lights off
- All in favour of motion sensors, or just down lights, but those that light up and down are pretty but pointless and cost money to run, wasting electricity, money, adding to carbon footprints and not helping wildlife.

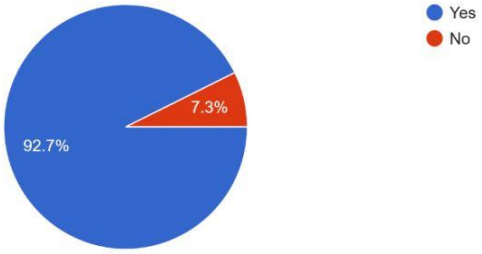
The evidence in the original FNP surveys indicated that residents;

- Value the countryside
- Enjoy walks in the countryside

- Want protection from wind turbine development
- The rural environment is important for living & working

***Q4**. With these responses in mind, FPC wish to introduce an amendment to the policy to restrict industrialisation where it affects the openness of the Parish and the loss of agricultural land. Would you be in favour of this proposal?* 41 responses

Yes 92.7% (38) No 7.3% (3) *Any additional comments to Q4?*



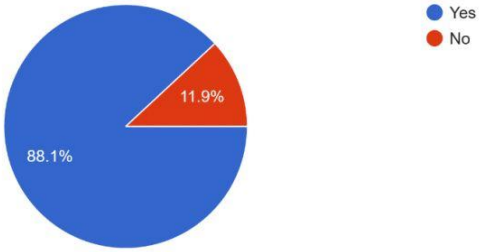
- I feel it depends where these houses are situated and the proposal. Each case should be treated individually.
- Industrialisation often results in associated traffic, noise and/or smells which can have a big impact in small communities-could this be mentioned as well?
- Solar farms should be added to the list of wanting protection from ruining the countryside
- We need to eat and good quality agricultural land should not be taken out of production unless for rewilding green reasons.
- No to the solar farm development, thank you!
- Completely dependent on type. Have no objection to wind turbines.
- Retention of the rural environment is very important for health & well-being
- The village is too small for industrialisation and any greenland should be carefully considered before any planning permission is given to build on
- However, I think that sustainable energy should be considered and I am not against a wind tubine within a field..
- Just look at Keresley.
- We have to recognise a lot of farming land is not productive and for instance using it as a solar farm would be better for the climate
- This might be difficult as this already happens though there is no loss of agri land at present
- But everything needs to be judged on its own merits. We believe renewable energy is essential for future generations , but so is sustainable farming.
- No consent for solar panel industrial estates under any conditions
- We would not be against wind turbines or small scale solar farms. Also smaller scale methane digestion for food waste etc. It depends what you mean by "industrialisation"
- The solar farm in particular
- The previous comments should be honoured.

There are a number of open spaces currently protected under the FNP. These are;

- Newhall Green (outside the cottages)
- Sandy Lane (between the main road and the crescent)
- Butts Field (surrounding your village hall)
- Chapel Green "godcake" opposite the entrance to the Heart of England Centre
- Shawbury (outside no 12 etc, Shawbury Lane)
- Recreation Ground, Church Lane

***Q5**. FPC propose to include the grassed area on the junction of Eastlang Road and Coventry Road. Would you be in favour of this being included?* 42 responses

Yes 88.1% (37) No 11.9% (5)



Are there any other locations that you would like to be included?

- The green area opposite St Marys Road.
- Village hall site
- No comment
- Not that i can think of just now.
- The grass area in St Mary's Road
- I would strongly oppose including the grassed area at the junction of Eastlang Road and Coventry Road to the list of protected areas. As a resident there, along with other residents on the junction of Coventry Road and Eastlang Road, what we need much more is a place to park vehicles. There are no parking spaces for these houses - the only current solutions are to park just off the pavement on the Coventry Road which causes an obstruction when turning out of Eastlang Road and the ground becomes very muddy and waterlogged. Alternatively we park on Eastlang Road which is contributing to parking issues there and I do have concern about whether emergency vehicles would be able to get through when cars are parked on both sides of the road. The garages behind us on Eastlang Road are not available to rent (all are occupied) and the grassed area is usually full and becomes very muddy. We would very much welcome the Parish Councils advice and suggestions on what could be done to resolve the parking issues.
- farm land opposite St Marys Road and backing onto the properties on Tamworth Road. Currently rented by local farm.
- Grassed area bordering Greenways farm Shawbury Lane
- the grassed area at the junction of Sandy Lane, Breach Oak Lane and Wood End Lane

- No strong feeling either way. The area might even be enhanced by a house to match the new ones next to Castle Close! Who is this area for? Children are banned from playing on it.
- Proposed building of dwellings. Potters sheds Gorsey Green Lane - should be protected services??

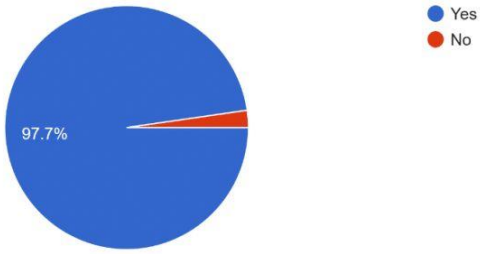
Policy FNP03 Flooding

Development should minimise flood risk within the village whilst maintaining balance with other policies. Any developments will ameliorate flood risks by providing SUDS (Sustainable Drainage Systems) as required in consultation with the lead flood authority.

FNP wish to add to the flooding Policy wording to add that ANY development (not just housing) should not increase the flood risk to the Parish.

Q6. *Would you be in favour of this Yes/no?* 44 responses

Yes 97.7% (43) No 2.3% (1)



Any additional comments to Q6?

- This is common sense.
- Flood prevention is very important
- ditches and culverts should be maintained to protect the village from future flooding.
- No building should take place to impact this.
- The flood defence committee are doing an excellent job around Bournebrook and Church Lane
- Bearing in mind Q4 hopefully limits new developments. ANYTHING having a detrimental impact on flood risks MUST be avoided given current weather trends.
- Emptying storm drains far more frequently would be helpful, as would installing storm drains in sites where road regretfully flood (due to poor design or execution).
- Restoring and clearing roadside ditches adjacent to agricultural land would also help.

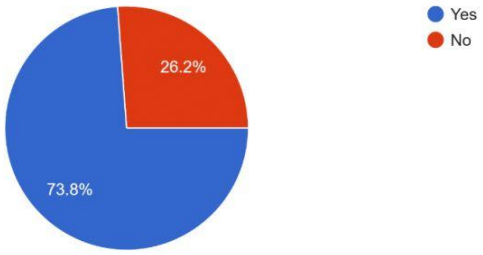
Policy FNP04 Housing

All new developments should encourage a broad mix of housing types including smaller starter homes and retirement dwellings together with provision for 'Affordable Housing' for local people as per NWBC requirements.

As before, there are only approximately 10 bungalows left in the Parish as a number have been bought, and extended upwards, either because it was a cheap way of buying a house or has been done by developers for profit. Either way, the result is that there are only around 10 bungalows out of a housing stock of approximately 674 which limits the possibility for existing residents to downsize and also for those needing single storey living.

***Q7**. Would you be in favour of a policy limiting the extension of bungalows into dormer bungalow/houses in order to maintain a stock of bungalows in the parish for those needing single storey living accommodation and those wishing to downsize?* 42 responses

Yes 73.8% (31) No 26.2% (11)



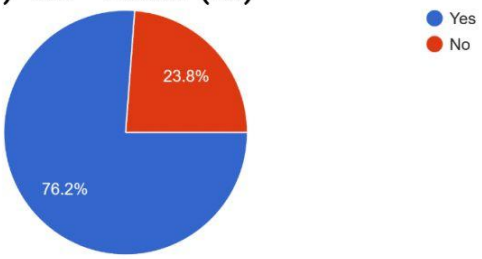
Any additional comments to Q7?

- I would also like a policy that encouraged the building of bungalows over two storey dwellings.
- Back garden development can be a useful way of increasing housing stock in the central village area, but could approval favour single storey, low impact housing for single people or couples?
- As before, as a condition of planning permission for new build bungalows
- it is very important to cater for all the needs of the community.
- if this new ruling could be enforced on new builds only then this would keep a happy balance to residents who own a bungalow and looking to extend upwards. Bungalow new builds could then be sold at an affordable price and kept in there original size.
- Would it be possible to put any restriction on new buyers/ developers so that people who have lived here for some years would not be unfairly discriminated against?
- though depends on individual circumstances
- As before, one for, one against!
- Recent development in the village has only provided expensive housing. No new development for local young people. No provision for elderly.
- Q1
- Existing bungalow owners should be able to change as they see fit. If their requirements change then so they should be able to adjust thir property. If there is a need for single storey accommodation - Build some!
- Existing bungalow owners may wish to put a covenant on their properties to prevent future development.

Often houses are extended due to growing families. Inevitably, as time passes these children need cars and therefore more parking space is necessary per property. Some houses already have ample parking and some have none. We have existing problems with inadequate parking particularly in Church Lane, Crossways Cottages, and Eastlang Road. In order to ease the burden of on-street parking and/or parking on pavements we are simply suggesting that when a property is extended to include additional bedrooms, there should be a matching number of car parking spaces i.e. a 3 bed home has at least 3 vehicle spaces excluding the garage. If Planning Departments continue to apply maximum parking standards in all cases and ignore the flexibility available within the NPPF then they will continue to perpetuate poor parking standards and inevitably individuals breaking the law.

Q8. *Would you be in favour of a policy that requires residents to only be able to increase the number of bedrooms in their property if they could also increase the number of car parking spaces?* 42 responses

Yes 76.2% (32) No 23.8% (10)



Any additional comments to Q8?

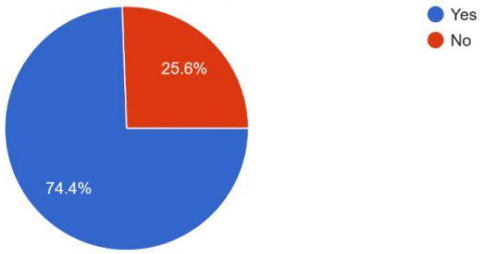
- In theory yes for the reasons stated but I am not sure we should be developing policy that enables increased car use, adding to pollution, climate change and traffic problems.
- This would be too restrictive to existing residents where there is not enough space for additional parking spaces
- The problems are getting worse so this is an important aspect to planning. As public transport gets worse and worse to and from the village cars are more essential for residents than ever.
- My answer is yes, but there is a danger that green space in gardens of properties will be replaced by concrete, and this is not a very positive result. Are there parking areas adjacent to properties e.g. the playing field car park that could be allocated to private individuals?
- I don't believe it is necessary as having three bedrooms does not automatically mean three parking spaces are required and would be very restrictive for families who would like to extend.
- I think this may be an unpopular rule to try and bring in.
- Whilst I feel that parking should be considered, some people will need extensions but be unable to afford to move to a suitable larger house. I understand that historically

there were council garages which could be rented. It would be useful if some new parking areas could be sensitively created, to also enable safer parking at school times.

- but at 50% not 100% - 4 bed 2 car space, 3 bed 2 car space, 2 bed 1 car space
- The pavement opposite Crossways Cottages is often not able to be used by people walking dogs or with a child in a pushchair. Accidents will happen.
- It is unfair to restrict planning flexibility for everyone because some people park illegally. Surely they should be more effectively deterred? Its important to be able to add rooms for growing families/caring for older relatives in the midst of a housing crisis.
- Must be looked at with compassion and thought. The proposal needs to consider all individual circumstances - disable/Land availability etc
- Neighbours fighting for car parking is always in danger of escalating & ruins enjoyment of own property.
- Young families don't have 3/4 cars but need bedrooms
- yes but only if they can park their cars on their own drive and not leave one on the road outside their house.
- but it is excessive to require these spaces in addition to the garage. Government could encourage moving rather than "over-developing" by restoring the SDLT regime that levied the tax on the difference between sale value achieved and purchase price agreed.
- Car parking spaces should also be appropriate for the size of cars that are used in rural areas - very few Smart cars round here!

Q9. Would you be in favour of a policy that requires new properties to have a matching number of car parking spaces to bedrooms? 43 responses

Yes 74.4% (32) No 25.6% (11)



Any additional comments to Q9?

- For the bigger issue reasons given above, I would hope that future new housing development would not be so large that the houses had multiple bedrooms and space for multiple cars. We need smaller starter homes or later living homes for older people, not more executive detached mansions !
- This is a reasonable requirement for new build properties
- As above.

- The number of bedrooms does not necessarily equate to the number of car owners
- again it's difficult to match a property to the number of cars. people come and go throughout the years
- see above - 4 bed 2 car space, 3 bed 2 car space, 2 bed 1 car space
- This isnt aligned with govt policy which is to reduce parking to encourage car sharing, public transport etc. IT would lead to even more areas of concrete around houses which is bad for biodiversity, the rural nature of the village and flooding!
- As with Q9 these proposals could become hard nosed or despotic and require consideration by Council before planning decisions.
- New properties should not impinge on other residents.
- cars need external space usually hard standing and this is increasing flood risk and biodiversity issues.
- New build to have parking IAW SUDS
- yes but only if they can park their cars on their own drive and not leave one on the road outside their house.
- If you include garages
- Car parking spaces should also be appropriate for the size of cars that are used in rural areas - very few Smart cars round here!

Policy FNP05 Economy

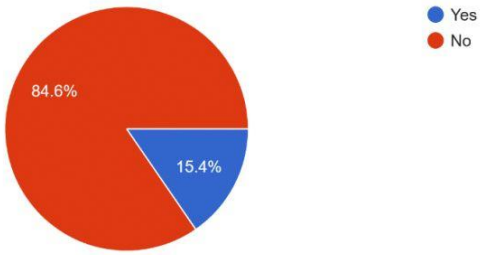
"Proposals for the development of new rural businesses and rural employment opportunities will be supported in principle provided that there would be:

- **No adverse impact on neighbouring businesses or residential properties for example in relation to factors such as noise and disturbance**
- **The development is supported by sufficient car parking and access arrangements to meet it needs**
- **It is accessible by other sustainable transport means (walking, cycling, car share and public transport) "**

FPC do not currently see a need for any changes to this policy.

Q10. Is there anything that you would add to this policy? 26 responses

Yes 15.4% (4) No 84.6% (22)



If so, why?

11

- Economic activity in the village seems to be changing from customer facing retail and hospitality businesses serving local residents to home based online service businesses, operating both locally, nationally and globally?
- Development is not built on current agricultural, green belt lands or green spaces not currently deemed green belt
- charging points for electric vehicles
- Depends on individual circumstances. No new bungalows being built instead of 2 storeys
- Add flood risk to reinforce other flood measures. Also noise pollution especially in relation to hospitality venues
- the "no adverse impact" requirement is excessive and technically could never be achieved.

Policy FNP06 Heritage

FNP06 Heritage

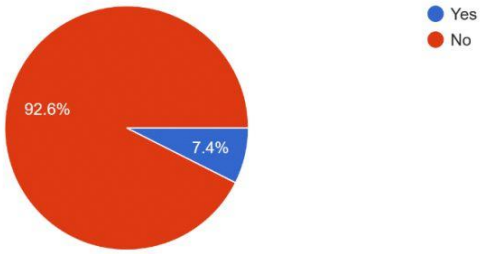
"Development should protect, enhance and respect the local built, historic and natural heritage assets or any other locally heritage features of the village.

Applications for development that will harm designated and non-designated heritage assets will be refused unless the circumstances that would permit approval specified in the appropriate part of paragraphs 133 to 135 of the NPPF (2012) apply."

FPC do not currently see a need for any changes to this policy.

Q11. Is there anything that you would add to this policy? 27 responses

Yes 7.4% (2) No 92.6% (25)



If so, why?

- This should include old style stone boundary walls
- although we don't know what parrs 133 - 135 say!

Policy FNP07 Traffic and Transport

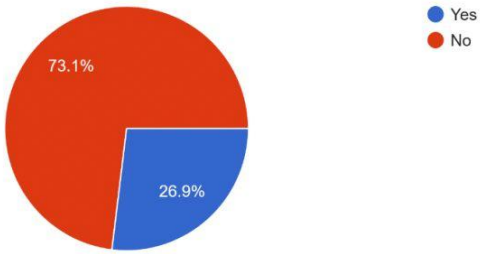
"Proposals for development should:

- **Provide safe vehicular access, parking/garaging and turning provisions without detriment to the amenity of existing residents.**
- **Comply with current NPPF, NWBC, and WCC guidelines, and**
- **Ensure that the number of car parking spaces be related to the size of the new extended properties. "**

FPC are aware of the lack of public transport available to Parishioners. Sadly, as these are operated on a commercial basis by privately owned companies, we are not in a position to directly improve this service.

Q12. Is there anything that you would add to this policy? 26 responses

Yes 26.9% (7) No 73.1% (19)



If so, why? (Traffic and Transport)

- The Manor House pub are attracting a large number of motorbikes. This has an impact on noise (very frustrating when putting a toddler to bed) but also the Manor pub is no longer being managed for the village and is now controlled by this crew. I do not doubt they do great things for charity but they are taking over a previously family orientated dwelling. They were removed from Coundon and Fillongley Social Club for trying to take over. It is a shame they are doing it to the villages central pub.
- Maybe we should encourage and enable alternative transport instead- cycling, electric bike hire, car sharing, etc?
- As the parish council you can still work with these companies, 2 buses a day mid morning and mid afternoon gives no chances to any commuters to use public transport. The lack of use of buses could be put down to the pointless times they come through the village.
- Speeding on Coventry, Meriden, Tamworth and Nuneaton road is still a problem, especially at rush hours. Accidents at the crossroads still occur despite the improved street furniture. Some physical traffic calming would help. If it's possible in Meriden then why not in Fillongley
- Improved flow at the crossroads
- I think it's important to maintain a public transport system for the village, as most facilities have now closed and travelling into Coventry is needed.
- Fillongley is a village for car owners, sadly.
- Would there be a facility for a Ring and Ride Service?
- Again, strict rules should always be modified by individual circumstances

- signage to limit size of vehicles on rural roads which are unsuitable for their use eg Gorsey Green Lane. 38 ton Artic vehicle using this road.
- Few properties occupy a plot large enough to facilitate turning of vehicles without using the public footpath &/or road. Great care is needed to avoid use of even more imperveable surfaces for parking and turning, because that compounds the "run-off" problem for storm drains through the loss of gardens.

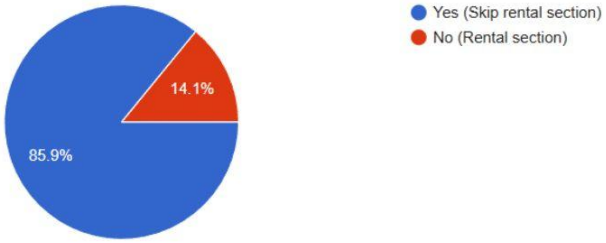
Appendix 3

Results of Housing Needs Assessment 2025

Q1. Do you own your own home (with or without a mortgage)?

Copy chart

71 responses

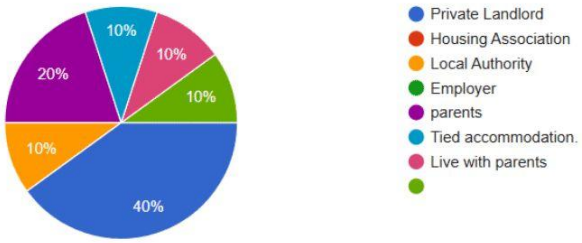


Renting

Q2. If you rent your home, which one of the following do you rent from?

Copy chart

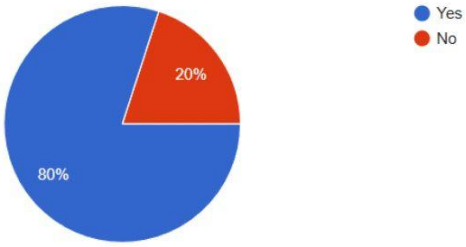
10 responses



Q3. Would you like to own your own home, but cannot afford to buy one in Fillongley that suits your needs?

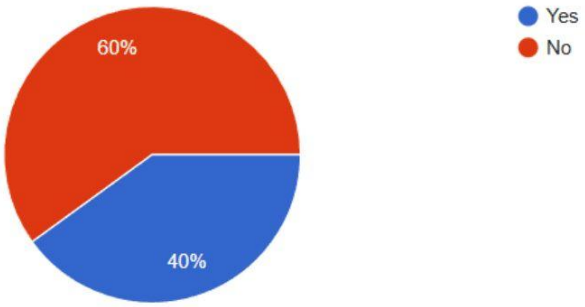
Copy chart

10 responses



Q4. Would you be happy to continue to rent your home or consider moving to another form of rental arrangement?

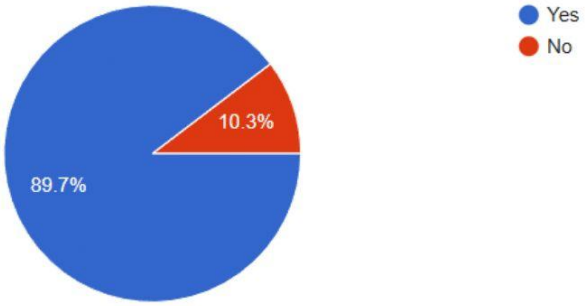
10 responses



Your Home

Q5. Is your home the right size for your current needs?

58 responses



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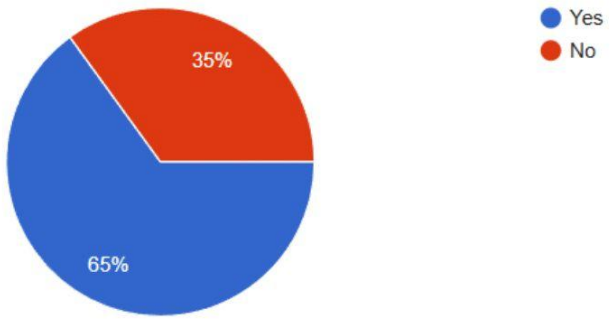
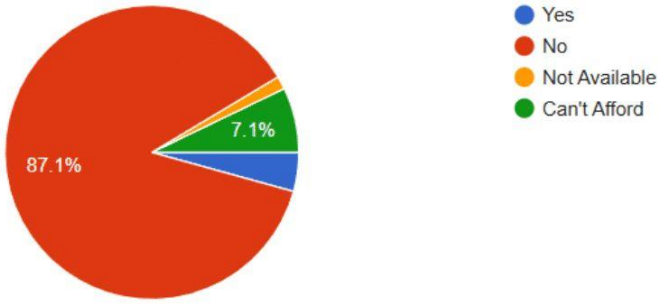
Q.6 Is your home the right size for your future needs?

60 responses



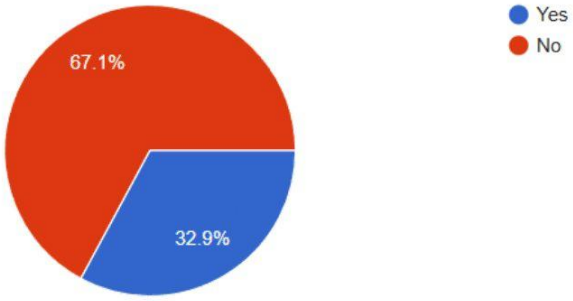
Q7. Do you need to move to a larger accommodation, either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?

70 responses



Q8. Do you need/wish to move to a smaller/single storey accommodation either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?

73 responses



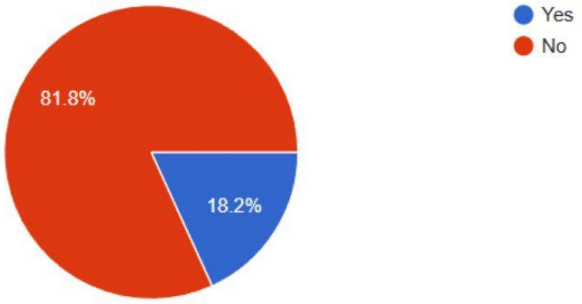
Q8a. If you answered Yes to the above quesion: Do you need?

Copy chart

25 responses

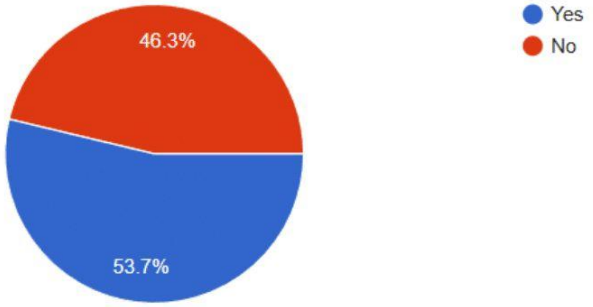
Q9. Do you know of anyone who works in Fillongley, but who cannot afford to live in the village?

66 responses



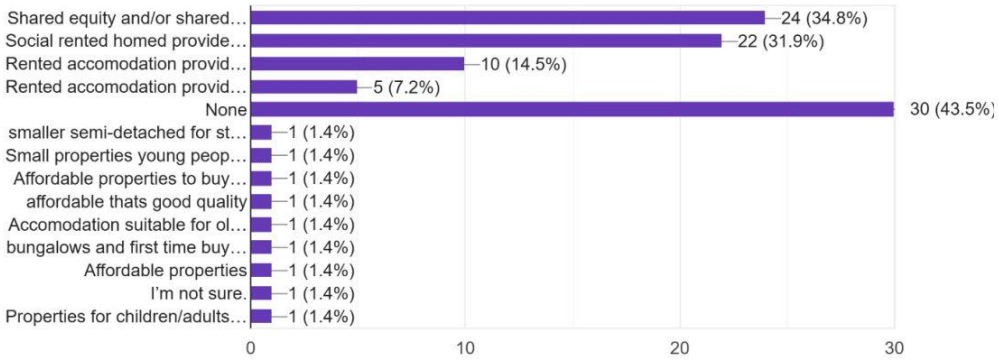
Q10. In your opinion do you think Fillongley suffers from the wrong type of housing provision for local people and their families?

67 responses



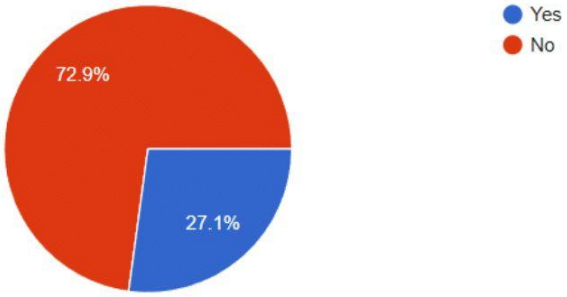
Q11. Do you think that Fillongley should develop any of the following over the next 20 years? (please choose all that apply)

69 responses



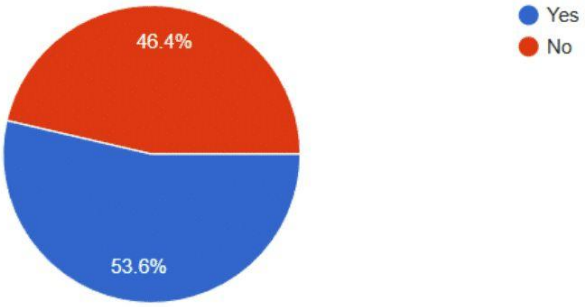
Q12. Do you think that in the next 20 years, Fillongley should provide affordable homes for people, who **do not** live, work or have a family connection to the village?

70 responses



Q13. Do you think that Fillongley should provide live/work units within the village? (A live/work unit is a property that will incorporate a commercial space mixed with residential spaces to allow you to run your business from home)

69 responses



Q14. Please let us know below your comments on the current housing situation in Fillongley and any particular needs that you would like to see addressed, including the type of housing that you think the village is lacking in.

46 responses

I would say there are not enough 2/3 bed affordable bungalows in the village. Definitely needs a village shop opening.

Not enough 1st time buyers houses, or Rental houses, Or Bungalows for the elderly residents in the village , who wish to down size, ...No more 4-5 bed houses !!!!

The need for a different home is linked to our ability to drive. Ref Q10 there is a wide variety of house sizes in the village but unlikely to be available to younger couples; times don't change as in 1963 we had to go to Polesworth in order to buy our first house.

Proper affordable housing. Stop building 4 & 5 bedroom homes that generally only outsiders can afford. Profits for the builders!!!

I also think additional amenities/services would be useful in attracting people making life easier, particularly increased public transport, a local shop. ie without access to a car it is harder to live/work here

Only live/work should be for farm workers.

No further housing should be built. Only building should be renovating/refurbishing existing properties AND/OR building on 'brown field' sites that are currently unused/derelict. NO building should be allowed on existing farm land unless it is directly related to the continuance of farming of such land.

More affordable housing for Fillongley parishioners

I would like to see better availability of smaller characterful properties. New builds are often large and unlikely to fall within the budget of individuals or young families. However the facilities within the village are limited so potential new residents need to be able to drive and therefore would also need appropriate parking space.

I think the area has enough large detached 4-5 bedroom properties costing 600k plus. Smaller two bedroom terrace or similar are needed.

Fillongley requires more single storey accommodation with planning restrictions not allowing alterations into double storey or more

not enough bungalows at affordable prices

Very poor for local people who have been brought up in village but can't afford to buy

Fillongley is in need of more bungalows and housing affordable to first time buyers

Need 'multi generational' housing that allows older people to have a separate annexe that can be used initially for rental/holiday let then to swap from larger unit to the annexe as they get less capable. The larger unit could then be made available at low rent to younger couple/family in return for care support. Planners should allow such developments to go through planning without need for CIL or reserved matters.

A need for smaller houses/bungalows at affordable prices

The
Village has been greatly developed in the last 10 years and I would not want to see further development as it will become too urban. Where new planning applications are submitted there should be smaller starter homes that cannot be extended included within the development. It should be mandatory that the developers stick to this and should be a condition on which they obtain pp in the first place. Only brown field sites should be built on.

My main interests are increasing the number of children at Bournebrook school to make it more financially viable, keeping the pubs open and attracting more business to the village. I'm not in favour of losing fields to housing estates. I'm not in favour of attracting non-working families but do value schemes promoting diversity and equality and enabling all to find employment.

I will need to onsite at some point. It is unlikely that this would be in Fillongley as lack of infrastructure, transport, healthcare precludes it as ideal for living in later life.

There is a lack of public transport. If we have more affordable housing/or rented accomodation young parents need to be able to have access to shops/schools/doctors via these means

New housing should not be considered until the lack of village facilities is addressed. Fillongley desperately needs a shop (e.g Co-op or similar) since not all residents are able to drive out of the village to pick up provisions.

In addition, a study needs to be done to ensure that the local schools and doctor surgeries can cope with the increased population from new housing. Public transport should also be improved.

Nothing needs to be done

The village needs affordable starter homes with agricultural ties for young farmers. If bungalows were buit for people to downsize to all their bigger houses would become available and the residents can stay in the village

The current housing situation is one where the FPC take care of when reviewing planning applications for the good of the community. Any further developments on Green Belt should be strongly opposed.

The village is lacking a younger community who are able to buy and then work either in, or close to the village which will lead to houses eventually becoming vacant for large periods of time and turning to ruin and in turn making the village dirty and unkept.

None

I think it is the lack of amenities in the village is as big a problem as the housing. Affordable smaller housing is needed but these will only attract people with members of a household all having cars, so parking and traffic becomes an issue.
I appreciate there is pressure to build more homes but consideration and investment in infrastructure should come first

Bungalows for older people. Releasing family housing back into the market. Bungalows should be kept as bungalows only, no sizeable extensions allowed.

The village lacks affordable housing either to buy or rent. All recent developments have consisted of all large expensive houses.

Any future developments should have stipulations imposed on them that they must include affordable social housing so that local people are not priced out of the village.

Developers could also be asked to provide amenities for the village as part of planning permissions as has been done by other villages and towns in the region.

Less 'executive' type detached homes (4+ bedroom) and more bungalow accommodation.

More affordable housing for 1st time buyers who are residents or have family living in the vilage required

I think that it lacks bungalows for people to downsize to; the village has alot of very nice large homes but not many very nice smaller homes or bungalows. There is nothing that plans for disability/ older peoples needs

Like many couples living in the village we are 'getting on' and have contributed to to village hall, church and social activities in the village. We would like to continue living here for the foreseeable future but 'downsized 'suitable properties are few and far between.

Affordable housing for the young ones to start on the property ladder or rented

N/A

The village does not lack housing.

Affordable family homes

afordability

My husband and I have community connections to Fillongley but cannot afford to live in the village. We are hoping to extend our family and are actively trying to save enough to move into the village in the next few years.

Shared ownership homes

Some, smaller manageable properties for the more elderly.

I think it would be nice to have the cottage inn back up and running creating jobs.
I think the village is lacking a shop.

More affordable housing but in keeping with the village, not a modern sprawl like Kersley.

could do with a shop

We desperately need good quality smaller properties that the older members of the parish can downsize to, thus releasing the larger properties for families.

Before you tackle housing, travel to/from the village needs to be addressed. You can only live in Fillongley, regardless of wealth, if you have a car to get you to/from your place of work/school/college. Even school children have to rely on mom/dad to get outside of the village. Social housing by definition means that there is less likelihood of the occupants having access to transport so until buses are available to get people to their place of work at all times of day. For example the first and only? bus to Nuneaton is around from the crossroads and then 2pm coming back. Who can have a job when there is only type of service. I know most villagers have cars (which is probably why the bus service is dire) but transport needs to be available for workers / and those who can't work before you look at social housing. Even the GP practice whilst in Fillongley relies on it's other surgeries to provide some services, so no car, no health care.

Appendix 4

Biodiversity Interconnectivity Mapping (Fillongley Ecological Report EB 05/01).

Ecological Review for Fillongley and Corley Parishes

Prepared by

Habitat Biodiversity Audit Partnership for Warwickshire, Coventry and Solihull, Warwickshire Wildlife Trust

Habitat
Biodiversity
Audit

and

Warwickshire Biological Record Centre

Ecological Services, Warwickshire County Council

March 2015

Warwickshire County Council

THE wildlife TRUSTS Warwickshire

THE UNIVERSITY of York

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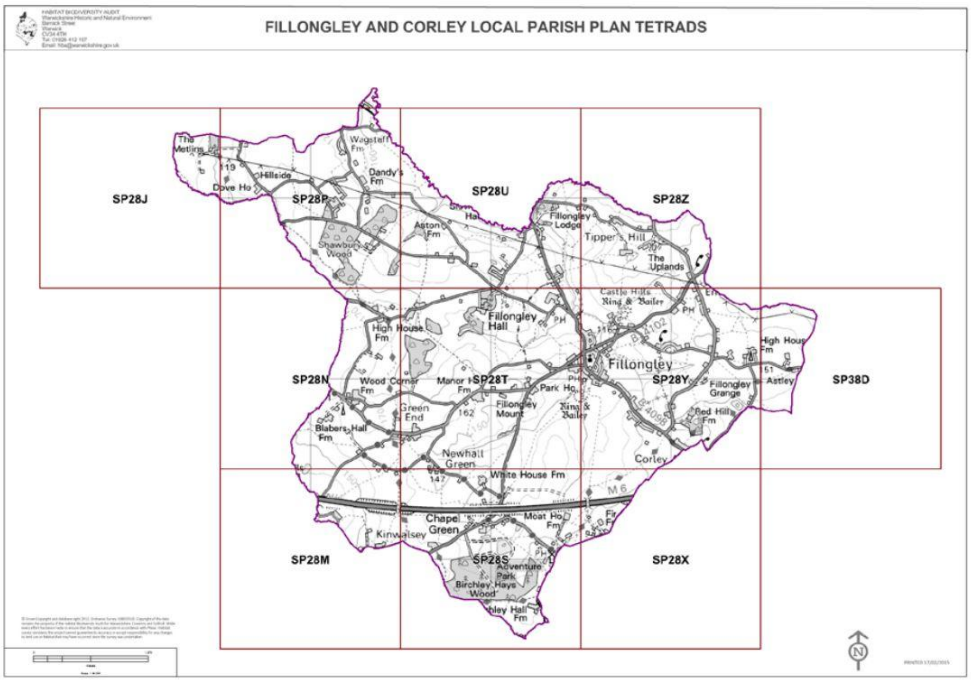
PROTECTED SPECIES ..... **Error! Bookmark not defined.**

FILLONMGLEY AND CORLEY

Area: 1,965 hectares

Overview



Key Features

Recommendations

DESIGNATED SITES

Local Wildlife Sites:

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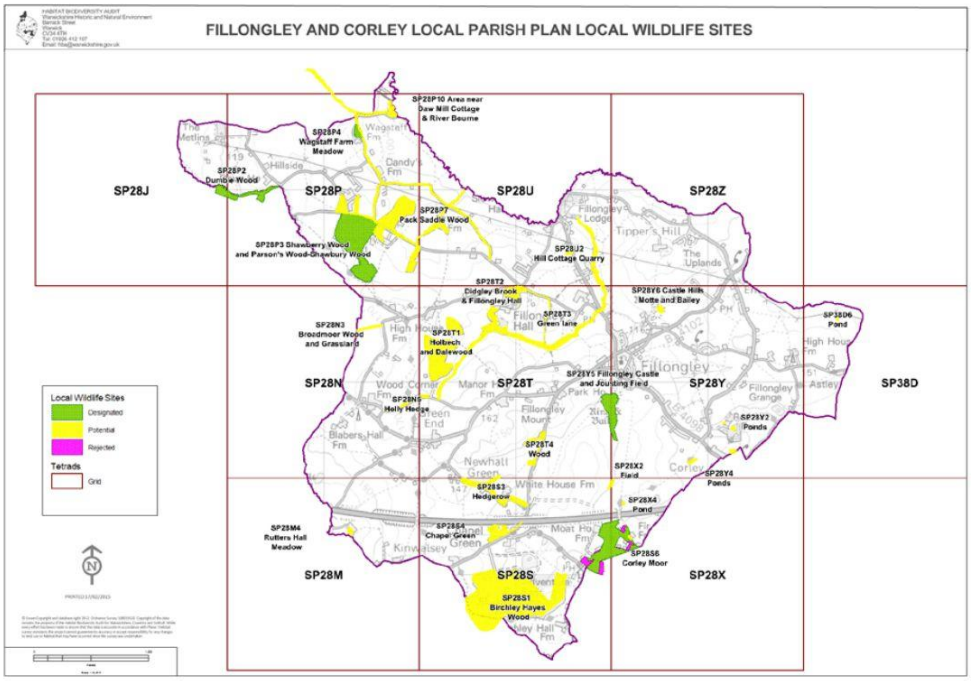

Site ID	Site name	Status	Area (ha)
SP28P3	Shawberry Wood and Parson's Wood-Shawbury Wood	LWS	17.04
SP28P4	Wagstaff Farm Meadow	LWS	0.68
SP28S2	Corley Moor	LWS	10.44
SP28Y5	Fillongley Castle and Jousting Field	LWS	4.33
SP28P2	Dumble Wood	LWS	3.57
SP28N5	Holly Hedge	potential site	1.44
SP28P10	Area near Daw Mill Cottage & River Bourne	potential site	0.95
SP28P7	Pack Saddle Wood	potential site	4.74
SP28P8	Dawnmill Verge and Lanes	potential site	19.81
SP28S1	Birchley Hayes Wood	potential site	40.38
SP28S3	Hedgerow	potential site	4.8
SP28S4	Chapel Green	potential site	2.6
SP28S6	Corley Moor	potential site	0.1
SP28T1	Holbech and Dalewood	potential site	11.57
SP28T2	Didgley Brook & Fillongley Hall	potential site	17.87
SP28T3	Green lane	potential site	0.6
SP28T4	Wood	potential site	1.75
SP28X2	Field	potential site	0.34
SP28X4	Pond	potential site	0.12
SP28Y2	Ponds	potential site	0.22
SP28Y3	Small Spinney	potential site	0.27
SP28Y4	Ponds	potential site	0.31
SP38D6	Pond	potential site	0.06
SP28U2	Hill Cottage Quarry	potential site	0.34
SP28M4	Rutters Hall Meadow	potential site	0.3
SP28Y6	Castle Hills Motte and Bailey	potential site	0.43
SP28N3	Broadmoor Wood and Grassland	potential site	0.59
SP28S5	Corley Moor	rejected	1.89

Shawbury Wood and Parsons Wood LWS is an ancient Woodland site the centre of which has been planted with conifers, mainly Scots pine with a small area of recent planting. Unplanted edges are oak and birch woodland with locally dense coppice hazel, holly and rowan. Bluebell is abundant with bracken, bramble and pendulous sedge where drainage is impeded. Much dead wood is present in these areas. The wood is edged by a bank and ditch. Field maple, hawthorn and aspen are found here. Internal banks are also present in places. The mature Scots pine area retain some of the ground flora species, including bracken and bluebell. The recently planted area forms a large glade with scattered mature oak alder and rowan, coppice hazel and regenerating birch. The southern part of the wood is dense young birch and alder on a past conifer plantation site. Wood sorrel is frequent here. Where the wood borders Parsons Wood a bank is present. This area supports ash and alder over sedge beds. Shawbury wood is one of a significant constellation of ancient woodlands in the North Warwickshire. there is no public access to the wood but two public footpaths pass nearby. The wood is typical of irregularly shaped Arden ancient woodlands and an important landscape feature.

Wagstaff Farm Meadow LWS is a small meadow containing a pot-bellied pig, geese and ducks. A pond has recently been created at one end and apple trees planted. Here the disturbed ground is dock-dominated. The remainder of the pasture is tall and unmanaged with abundant *Festuca Rubra, Agrostis capillaris, Holcus Lanatus,* great burnet, meadowsweet, meadow buttercup and meadow veltching, frequent *Arrhenantherum elatius, Anthoxanthum odoratum*, red clover, selfheal, common sorrel and lesser knapweed, and occasional *Juncus conglomeratus, J. articulatus, Deschampsia cespitosa,* greater birdsfoot trefoil, square stalked St. John's wort and catsear. Creeping thristle is spreading. There is no public access to the meadow which is screened from the road by the hedge.

Corley Moor LWS is one of the last, and arguably the best, unenclosed commons left in Warwickshire, and as such is extremely valuable to the landscape history and biology of the county. It is situated about 1.5 km south of Fillongley in the gently rolling and well-wooded Arden landscape, and most of the surviving moor is in that parish. On the Corley side of the parish boundary the moor is now mainly enclosed and is partly covered with the expanding hamlet of Corley Moor. The modern day common is very irregular in shape due to successive enclosures, and has an internal square enclosure of ancient origin containing Church Farm in the eastern corner which is outside the boundary of the LWS. The site is sandwiched between Corley Moor hamlet on the south side and the M6 motorway to the north, while to the east and west are a range of mainly small grass enclosure fields. A scatter of cottages and farmhouses occur along the margins of the moor, and some of these landowners still exercise grazing rights. Grazing is now erratic and mainly confined to horses and ponies, but cattle are still grazed occasionally. There is open public access to the common and in addition is crossed by several public footpaths.

The LWS consists of a mosaic of wet, dry and acidic roughly-grazed semi-improved grassland surrounded by fringing expanses of deciduous woodland, scrub and tall herb. In addition the LWS includes two small semi-improved pasture fields adjoining the moor on the south side and immediately west of the Bull and Butcher Public House. The moor is situated on a gentle north-west facing slope which ranges from about 160m ASL in the far eastern corner down to about 145m ASL on the north-western corner. Several springs rise on the common on the north-western side and a series of drains crisscross the area. These feed into the north flowing headwater streams of the Bourne Brook. The local geology consists of acidic clays overlying Carboniferous sandstones.

Fillongley Castle and Jousting Field LWS The castle remains from a varied terrain, including dry banks supporting abundant mouse-ear hawkweed, and wet hollows with *Juncus* and *Glyceria spp*. This area is quite diverse with pignut, yarrow, birds-foot trefoil, betony, meadow and bulbous buttercup and field wood-ruch among the species present. *Alopecurus pratensis* is abundant and other grasses include

Cynosurus cristatus, Lolium perenne and *Poa trivialis.* The jousting field, to the south, has been partially improved but retains some characteristics of an MG4 community. *Alopecurus pratensis* dominates, great burnet is frequent and *Festuca rubra* locally abundant while other, scarcer, species include common sorrel and ladysmock. Wood anemone is found at the edges. A stream curves around the castle site and runs through the jousting field. This is lined by alder and ash woodland with holly, hawthorn and crab apple and a woodland ground flora including bluebell, dogs mercury, foxglove and occasional wood anemone. Hedges also support a woodland ground flora. The site is on a public footpath and is well used by local people for dog walking, children's play etc.

Dumble Wood LWS is a particularly good example of ancient woodland of NVC woodland community type W8. The woodland contains a diverse woodland ground flora indicative of ancient woodland including Wood Anemone, Bluebell, Dog's Mercury, Yellow Archangel, Wood Sorrel, Ramsons, Wood Melick, Wood Millet and Pendulous Sedge. It is long and mostly quite narrow woodland on ground that is steeply sloping in places.

The wood is one of a number of woods in this well-wooded area of Warwickshire and is linked to several of these by connecting features such as hedgerows and water courses.

The wood is privately owned but a public footpath runs through the eastern part. The wood has a high aesthetic appeal with its mature trees and colourful spring ground flora and is characteristic of the Warwickshire Arden landscape.

PHASE 1 HABITAT DISTINCTIVENESS

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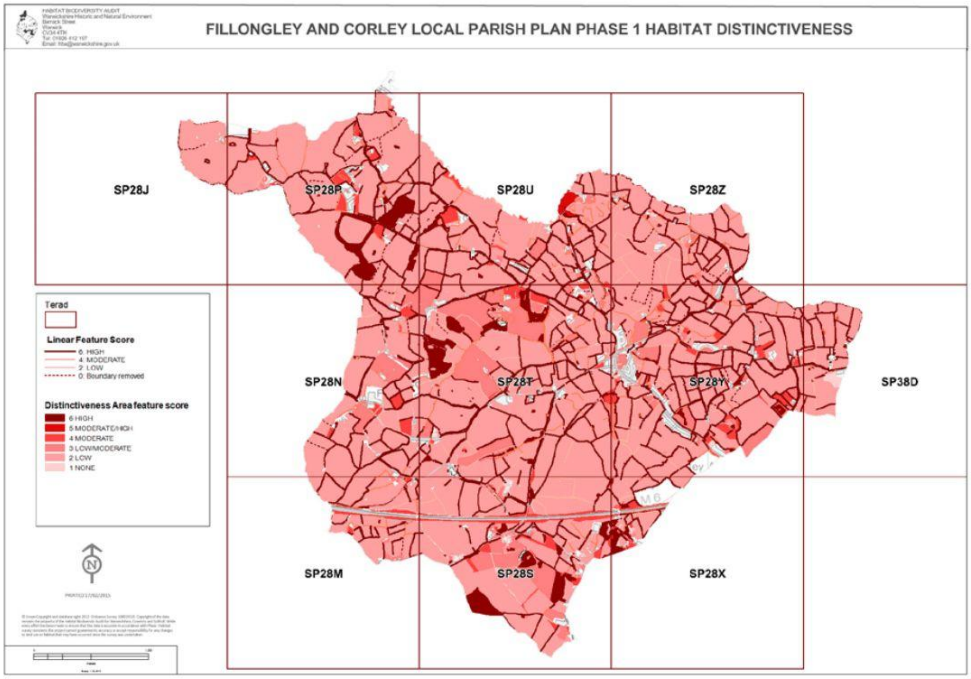

Figure 1 Phase 1 habitat distinctiveness %

TARGET NOTES

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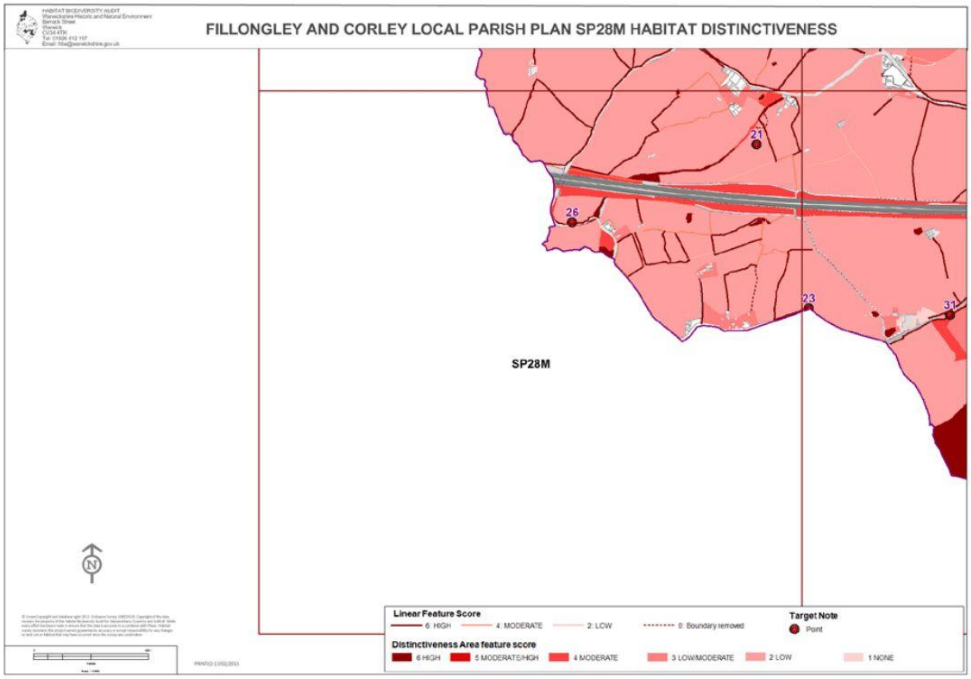


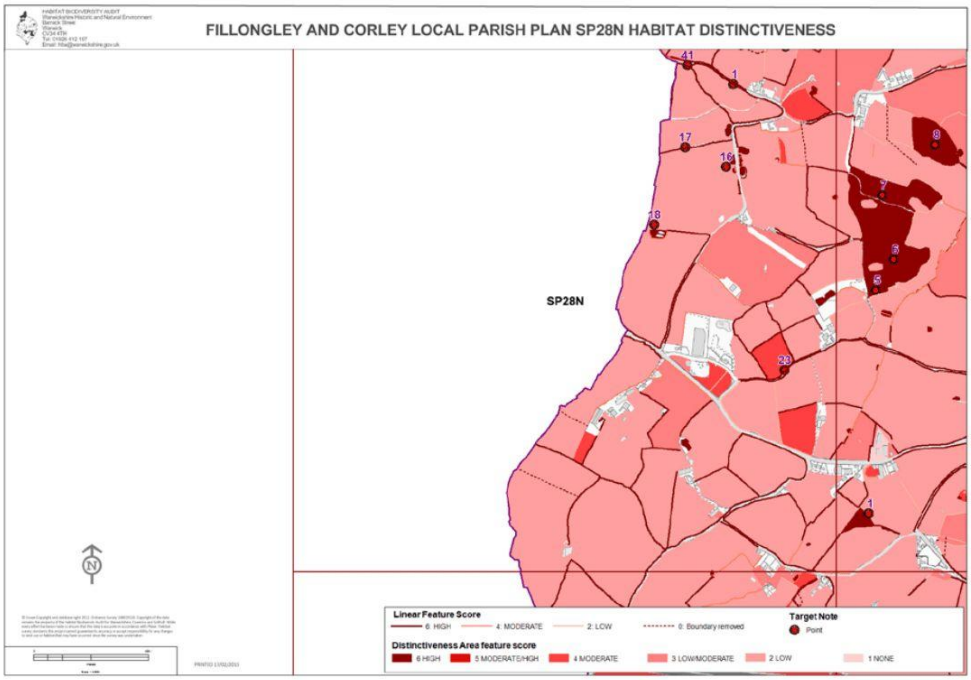
Reference	Survey Date	Grid Reference
Ref:SP28M21	Survey Date:28/09/1998	Grid reference:SP2583185804

Wide tall holly hedge with standard ash. Blackthorn; dog rose; hawthorn; hazel; elder and a Prunus sp. are also present.

Ref:SP28M26	Survey Date:28/09/1998	Grid reference:SP2515285517

Thick hedges with standard trees lining a lane. Tree and shrub species present are hawthorn; oak; sycamore; silver birch; holly; hazel; blackthorn;elder; field maple; guelder rose; field rose and occasional gean and broom. Bramble; rosebay willowherb; nettle and hogweed are found on the verge. Black bryony is also present.

Tetrad SP28N



Reference	**Survey Date**	**Grid Reference**

Ref:SP28N1 Survey Date:17/07/1998 Grid reference:SP2561887796

Well-managed thick hedges lining a lane. Holly is most abundant withhawthorn; hazel; elder rose and occasional ash; wych elm;sycamore and blackthorn. Black bryony is frequent. Where the road verges widen Arrhenatherum elatius dominates with bramble; abundant hogweed; locally abundant foxglove; locally frequent lesser knapweed; nettle; catsear; hairytare; common vetch; and occasional meadow vetchling and red clover.

Ref:SP28N2 Survey Date:17/07/1998 Grid reference:SP2564887940

Improved grassland; recently cut; dominated by Lolium perenne and whiteclover but with occasional yarrow; common sorrel; and meadow buttercup. Dactylis glomerata is frequent and Poa trivialis; Phleum pratense and Alopecurus pratensis occasional.

Ref:SP28N3 Survey Date:17/07/1998 Grid reference:SP2581287934

Improved horse pasture dominated by Lolium perenne and white clover butwith frequent Cynosurus cristatus and occasional Alopecurus pratensis; meadow buttercup and birdsfoot trefoil.

Ref:SP28N16 Survey Date:17/07/1998 Grid reference:SP2559287492

Pond on the edge of an arable field with much Elodea canadensis and as tand of Phragmites australis.

Ref:SP28N17 Survey Date:17/07/1998 Grid reference:SP2544287564

Thick; well-managed holly hedge. Other gappy hedges surrounding this small field system are also predominately holly.

Ref:SP28N18 Survey Date:17/07/1998 Grid reference:SP2532787279

Fenced pond; mainly dry and overhung by silver birch; ash and fieldmaple; with a stand of Glyceria fluitans and marginal marsh thistle; Juncuseffusus; Dryopteris dilatata; D. filix-mas; broad-leaved willowherb; water dock; bittersweet and nettle.

Ref:SP28N23 Survey Date:17/07/1998 Grid reference:SP2580886743

Sunken lane lined by thick; well-managed holly hedges with occasional rowan; oak; hazel; elder and hawthorn.

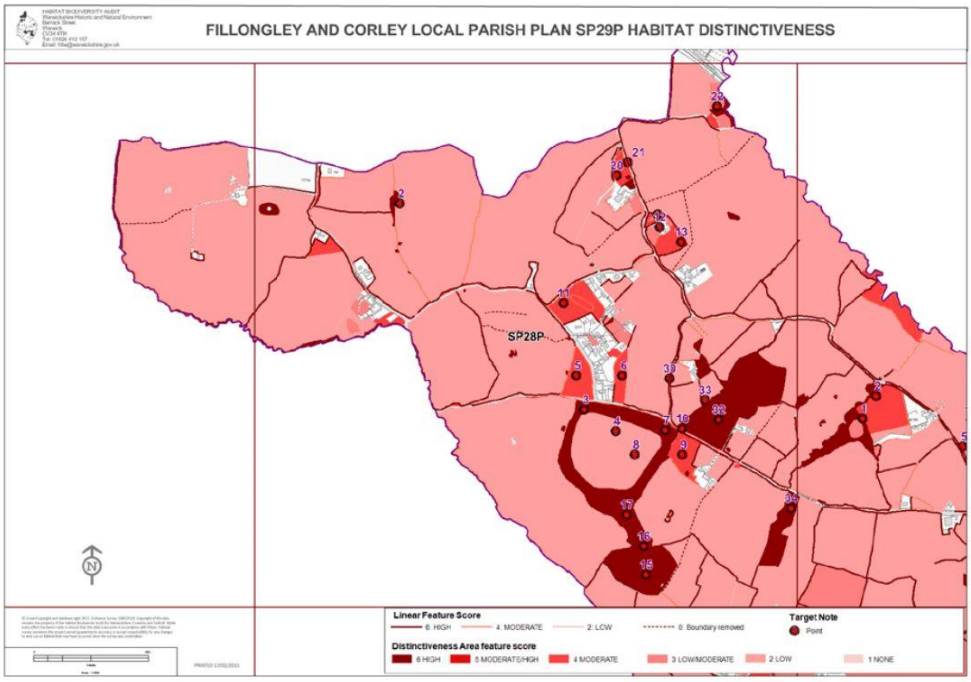
Ref:SP28N24 Survey Date:17/07/1998 Grid reference: SP2443686936

Oak and ash woodland with occasional sycamore and some hybrid poplarplanting; particularly downslope to the east. About half of the centre of the wood has been cleared; apart from a few scattered trees; and hedges created to form a camping ground. The woodland understorey contains much coppice small-leaved lime; young sycamore; hazel; rowan; elder; hawthorn and occasional silver birch and holly. Bramble and bluebell are abundant with frequent Dryopteris dilatata; Carex pendula; particularly along the stream; Holcus mollis; and occasional bracken and Dryopteris filix- mas. Foxglove; ivy;Deschampsia cespitosa; dogs mercury and honeysuckle are also present and primrose and violets reported by the owner.

Ref: SP28N41 Survey Date:16/07/2009 Grid reference: SP2545087866

Ruderals - Rosebay Willowherb and bracken

Tetrad SP28P



Reference	Survey Date	Grid Reference

Ref:SP28P2 Survey Date:26/08/1998 Grid reference:SP2453489486

Pond surrounded by oak; ash; hawthorn; Wych elm; elder and dog rose scrub. Turbid with no aquatic vegetation.Roe deer seen in adjacent arable field.

Ref:SP28P3 Survey Date: 26/08/1998 Grid reference: SP2521488727

Silver birch and pedunculate oak woodland with occasional ash; rowan and sycamore over a fairly open understorey of young rowan and sycamore; hazel;hawthorn and holly. The ground flora is bracken-dominated with bramble;Deschampsia cespitosa; Holcus mollis and Juncus effusus. A ride supportsabundant Agrostis capillaris with creeping buttercup; red campion and foxglove. The wood is edged on the road side by a ditch and bank and field maple is found here.

Ref:SP28P4 Survey Date:26/08/1998 Grid reference:SP2532988648

Newly planted conifers with scattered mature oak; alder and rowan; coppicehazel and regenerating birch. Agrostis capillaris is abundant with frequentDeschampsia cespitosa and Juncus conglomeratus and scattered bracken; bramble and foxglove.

Ref:SP28P5 Survey Date:26/08/1998 Grid reference: SP2518488853

Recent broad-leaved plantation; mainly oak and ash; among dense birchgrowth and scattered young ash and rowan. Juncus conglomeratus is veryabundant with scattered bracken; Agrostis capillaris; Holcus mollis; J.effusus; bramble; foxglove and occasional bluebell.

Ref:SP28P6 Survey Date:26/08/1998 Grid reference: SP2535288853

Improved grassland newly planted with broad-leaved trees.

Ref:SP28P7 Survey Date:26/08/1998 Grid reference: SP2551188652

Pedunculate oak woodland with occasional silver birch and ash. Coppice hazel is dense in places with rowan and holly also found in the shrub layer and field maple; elder; hawthorn; blackthorn and aspen at the wood edge which has a bank and ditch. Bracken dominates the ground flora in places; bramble elsewhere. Bluebell is frequent and Dryopteris dilatata and Carex pendula occasional. The area contains a bracken glade; internal banks; and much leaf litter and dead wood.

Ref:SP28P8 Survey Date:26/08/1998 Grid reference: SP2539988562

Mature Scots pine plantation over dense bracken with frequent bluebell and bramble.

Ref:SP28P9 Survey Date:26/08/1998 Grid reference: SP2557388562

Haymeadow; partly cut at the time of survey and containing a disturbedarea. Holcus lanatus and Agrostis capillaris dominate with frequent Festucarubra; Anthoxanthum odoratum; pignut; common mousear and yarrow and scattered meadow buttercup; meadow vetchling; lesser stitchwort; birdsfoot trefoil;common sorrel and white clover; nettle patches and localised Juncus articulatus.Bordered by species-rich hedges extending from the adjacent wood. Theroadside hedge is managed and holly-dominated with scattered hazel; rowan and elder and Dryopteris filix-mas and bracken below. That to the south-west iswide; tall and unmanaged with oak; silver birch; elder; holly; hawthorn androwan and raspberry; foxglove; Holcus lanatus; bramble and nettle below. A small pond in the field corner is overhung by trees and scrub and is turbidwith much algae.

Ref:SP28P10 Survey Date: 26/08/1998 Grid reference: SP2557388658

Uncut road verge with abundant meadowsweet; great willowherb and redshank.

Ref:SP28P11 Survey Date:26/08/1998 Grid reference: SP2513889120

Unmanaged; rank grassland dominated by Arrhenatherum elatius; Holcuslanatus and Dactylis glomerata with abundant curled and broad-leaved dock;nettle and hogweed and areas of scrub and young oak.

Ref:SP28P12 Survey Date: 26/08/1998 Grid reference: SP2549189400

Garden pond with a large breeding toad population; newts and grass snakesreported by the owner. The pond contains much Crassula helmsii and waterforget-me-not; water mint and Sparganium erectum; and is fringed partly bytrees and scrub and partly by a planted area with exotic species; yellow flag;Juncus effusus and Holcus lanatus.

Ref:SP28P13 Survey Date:26/08/1998 Grid reference: SP2557089344

Unmanaged meadow dominated by Holcus lanatus and Agrostis capillaris with frequent lesser knapweed; Anthoxanthum odoratum and yarrow. Meadow buttercup;common sorrel; hawkweed; autumn hawkbit; Dactylis glomerata and Festuca rubraare occasional. Owner reports bats feeding over the area and a little owl.

Ref:SP28P14 Survey Date: 26/08/1998 Grid reference:SP2548489446

Unmanaged grassland and tall herb mosaic with a large stand of creepingthistle; nettle; hogweed; spear thistle and docks. Arrhenatherum elatius;Holcus lanatus and Poa trivialis are abundant with frequent Phleum pratense and occasional meadow vetchling. Disturbed areas support Elytrigia repens and scentless mayweed.

Ref:SP28P15 Survey Date: 26/08/1998 Grid reference:SP2544188121

Sessile and pedunculate oak woodland with frequent silver birch and occasional rowan. To the south; the understorey is fairly open coppice hazel with frequent hawthorn and occasional field maple. Holly is also present; becoming dominant to the northern part of the wood. Here wood sorrel is abundant in places with bracken; bramble; bluebell and frequent Dryopterisdilatata. Other ground flora species include foxglove; Dryopteris filix-mas;Athyrium filix-femina; ground ivy; greater stitchwort and honeysuckle. The wood contains an alder-fringed pond; almost dry at the time of survey; withmuch Callitriche stagnalis and Lemna minor. Much standing and lying wood ispresent. The wood is separated from Shawbury Wood to the north by a bank.

Ref:SP28P16 Survey Date: 26/08/1998 Grid reference:SP2543288226

Dense young silver birch with occasional rowan and oak on past conifer plantation site. A sparse shrub layer contains hawthorn; hazel; holly andelder. Bramble dominates the ground flora with abundant bluebell; frequent Dryopteris dilatata and wood sorrel; and occasional D. filix-mas.

Ref:SP28P17 Survey Date:26/08/1998 Grid reference: SP2536988341

Ash and alder over Carex riparia and C. pendula beds.

Ref:SP28P20 Survey Date:26/08/1998 Grid reference: SP2533389588

Small meadow containing a pot-bellied pig; geese and ducks. A pond hasrecently been created at one end and apple trees planted. Here the disturbedground is dock-dominated. The remainder of the pasture is tall and unmanaged with abundant Festuca rubra; Agrostis capillaris; Holcus lanatus; great burnet;meadowsweet; meadow buttercup and meadow vetchling; frequent Arrhenatherumelatius; Anthoxanthum odoratum; red clover; selfheal; common sorrel and lesserknapweed; and occasional Juncus conglomeratus; J. articulatus; Deschampsiacespitosa; greater birdsfoot trefoil; square-stalked St. John's wort andcatsear. Creeping thistle is spreading.

Ref:SP28P21 Survey Date:26/08/1998 Grid reference:SP2537289638

Field edge with Dactylis glomerata; Briza media; betony; ribwortplantain; tufted vetch; yarrow; lesser stitchwort; hogweed; and hawkweed sp.

Ref:SP28P22 Survey Date:26/08/1998 Grid reference:SP2570289842

Nettle beds with broad-leaved and curled dock; Arrhenatherum elatius;Holcus lanatus; hogweed; great willowherb; spear and creeping thistle; ragwortand occasional figwort. Red clover; yarrow; lesser knapweed and ribwortplantain are found in short grassland at the edges.

Ref:SP28P30 Survey Date: 26/08/1998 Grid reference:SP2552788843

Three mature small-leaved lime in hedgerow.

Ref:SP28P31 Survey Date:26/08/1998 Grid reference:SP2427488028

Veteran oak in roadside hedge.

Ref:SP28P32 Survey Date:26/08/1998 Grid reference:SP2570988691

Silver birch; oak and rowan woodland with occasional alder and ash overholly; very dense in places; particularly to the north; and coppice hazel with occasional elder and young aspen. Field maple and crab apple are found at the wood edge. The ground flora is dominated by bracken and bramble; dense over much of the wood which is largely impenetrable. Honeysuckle is abundant and bluebells are present; but reported to be much less abundant than in the past. Wood sorrel is abundant in places; Dryopteris dilatata frequent and D.filix-mas occasional. The centre of the wood contains bracken glades withabundant Holcus mollis. Deschampsia cespitosa;

Carex pendula and Brachypodium sylvaticum are found on ditch sides. The wood has not been managed for many years.

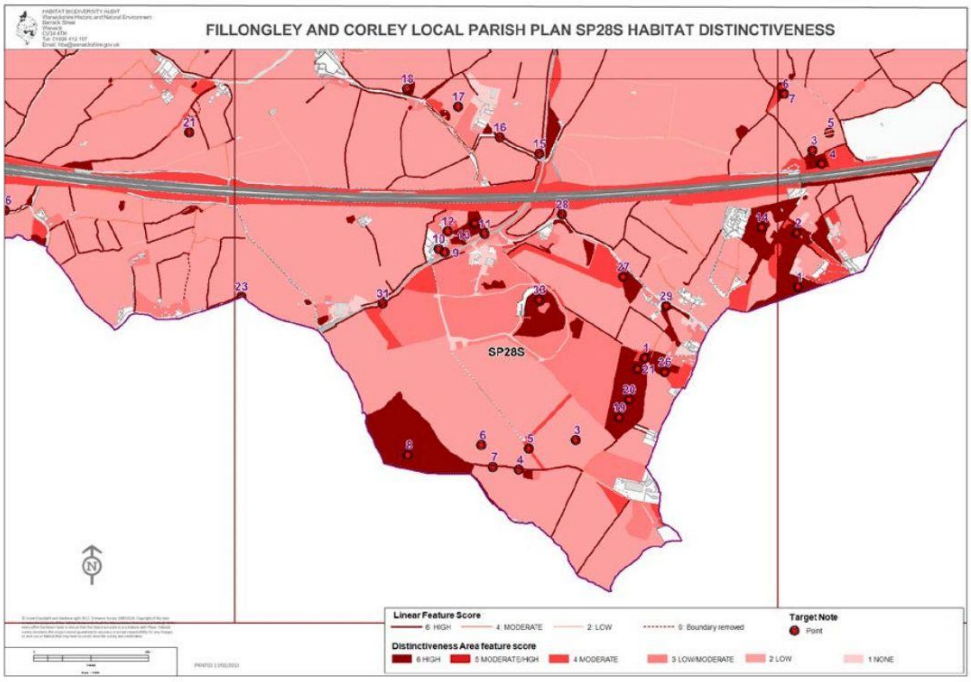
Ref:SP28P33 Survey Date: 26/08/1998 Grid reference: SP2565988764

Fenced wet area at wood edge associated with a ditch. Water mint isabundant with Holcus la glomerata; angelica; greater birds foot trefoil; creeping buttercup; marsh thistle; clustered dock and yellow loosestrife.

Ref:SP28P34 Survey Date:26/08/1998 Grid reference SP2597688365

Ash; oak and silver birch woodland with crack willow and alder alongstream sides and occasional rowan. Hazel; holly; hawthorn; field rose; elder and young sycamore are dense below with crab apple at the wood edge. The ground flora is diverse; especially close to the stream; with bramble; bracken; Ivy; herb robert; dogs mercury; bluebell; yellow archangel; Dryopterisfilix-mas; D. dilatata; Deschampsia cespitosa; Holcus mollis and Carex pendula among the species present.

Tetrad SP28S



Reference	**Survey Date**	**Grid Reference**
Ref::SP28S1	Survey Date: 28/07/2014	Grid reference:SP2750884975

Noted 1996 heavily shaded pond with no submerged or emergent vegetation. A second pond to the north-west supports locally abundant Typha latifolia. Juncus inflexus is abundant on the steep banks. The pond has been dredged in the recent past and there is a dis-used fishing platform on the north side. Updated CFT 28/07/2014 Pond remains heavily shaded by Pedunculate Oak (Quercus and robur) Crack Willow (Salix fragilis) and Alder (Alnus glutinosa). Footpath has been closed off at poolside with WCC notice - temporary closure March 2009 - 23 Sept 2013 continuation of works completed or until Sept 2014. No further access posiible at time of visit. This section of footpath is part of Birchley Hays Wood.

Ref:SP28S3	Survey Date:28/07/2014	Grid reference: SP2725484672

Noted 1996 Conifer plantation of scots pine (approximately 20-30 years old). The open canopy allows a lot of light to penetrate into the plantation. Consequently bramble dominates the ground flora with locally abundant Pteridium aquilinum. Frequent throughoutare bluebell, Dryopteris filix-mas, foxglove, Holcus mollis and

Milium effusum. The understorey is almost non-existant, consistingof only occasional, scattered 2.5m high rowan which is very leggy.Occasional throughout the plantation is low holly regenerationand rarely oak seedlings. Updated CFT 28/07/2014 Birchley Hays Wood remains a Scots Pine Plantation now 40 - 50 years old not accessed but appears to remains as described.

Ref:SP28S4 Survey Date:28/07/2014 Grid reference: SP2704584564

Noted 1996 Broadleaved trailing edge to scots pine plantation with 100-120 year old pedunculated oak at approximately 15-20m intervals. Frequent along its length are tall hawthorn, hazel and holly. This grades into low bramble scrub with frequent creeping thistle, dog rose and occasionally bracken before grading into a 1m wide rough, improved grassland strip used as a public footpath. Updated CFT 28/07/2014 Birchley Hays Wood unimproved grassland edge species poor with American willowherb (Epilobium ciliatum),Common Sorrel (Rumex acetosa), Rosebay Willowherb (Chamerion angustifolium). Pond here is surrounded by mature Ash (Fraxinus excelsior), Alder (Alnus glutinosa), Pedunculate Oak (Quercus robur) and Hawthorn (Crataegus monogyna). Also along the plantation edge is Field Maple (Acer campestre) and Blackthorn (Prunus spinosa).

Ref:SP28S5 Survey Date:28/07/2014 Grid reference: SP2708184642

Noted 1996 10m wide, neutral grassland ride between blocks of scots pineplantation with species indicative of the surrounding forest. This strip is dominated by Deschampsia caespitosa with frequentJuncus effuscus, meadow vetchling, creeping thistle, Carex pendula,Carex sylvatica, marsh thistle, marsh and great hairy willowherb with occasional colt's foot, common figwort, selfheal, Juncusinflexus and curled dock. Updated CFT 28/07/2014 Birchley Hays Wood no grassland strip noted here now Holly (Ilex aquifolium) has created a dense understorey effectively shading everything else out and replacing dominance of Bracken (Pteridium aquilinum).

Ref:SP28S6 Survey Date:28/07/2014 Grid reference: SP2690684655

Noted 1996 Heavily thinned plantation of scots pine (30-35 years old) with Pteridium aquilinum and bramble scrub dominant components of theground flora. Rowan and birch are regenerating where the bramble scrub is less dense. Updated CFT 28/07/2014 Birchley Hays Wood scot pine plantation section is now 50-60 years old with activities area. Ground flora still dominated by Bracken (Pteridium aquilinum) and Bramble (Rubus fruticosus agg.) with occasional patches of Pendulous Sedge (Carex pendula).

Ref:SP28S7 Survey Date:28/07/2014 Grid reference: SP2694984574

Noted 1996 Path, formerly grassland now grading into an extension of the broad-leaved woodland strip which continues to border the conifer plantation. Here hawthorn and blackthorn scrub, with locally dominant bramble have encroached. Elder is locally abundant. Updated CFT 28/07/2014 Birchley Hays Wood semi-natural woodland fringe alongside Scots Pine (Pinus sylvestris) plantation and very mature Holly (Ilex aquifolium) trees.

Ref:SP28S8 Survey Date:28/07/2014 Grid reference: SP2663584617

Noted 1998 Broad-leaved, semi-natural coppice woodland dominated by pedunculateoak and frequent ash and birch with locally abundant hazel coppice.There are a number of dry, shallow ditches across the site, perhaps marking boundaries between management blocks. The wood does not appear to have undergone any recent management. The oak and ash now form a high forest canopy. Where coppiced hazel dominates the understorey the ground flora is species poor, leaf litter being the dominant component. Under the tall ash and oak, bracken and bramble dominate. Updated CFT 28/07/2014 Birchley Hayes Wood AWI and plws. Section of semi-natural woodland more vaired than previously noted with Silver Birch (Betula pendula), Holly (Ilex aquifolium), English Elm (Ulmus procera) also mature Rowan (Sorbus aucuparia). Understorey has Crab-apple (Malus sylvestris), Hawthorn (Crataegus monogyna) and Blackthorn (Prunus spinosa). Ground flora includes Bluebell (Hyacinthoides non-scripta), Enchanter's Nightshade (Circaea lutetiana), Wood sedge (Carex sylvatica), Honeysuckle (Lonicera periclymenum) and Bramble (Rubus fruticosus agg.)

Ref:SP28S9 Survey Date:28/07/2014 Grid reference:SP2677285363

Poor semi-improved, neutral, tall grassland dominated by Arrhenatherumelatius, cow parsley, nettles and creeping thistle. Where thegrass is shorter along the edges there is abundant Festuca rubra,Agrostis capillaris, yarrow, black knapweed, goat's beard, meadowvetchling and ribwort plantain.SP28T1. Ash; oak; alder; sycamore and birch woodland; with occasional aspen;surrounding two ponds. The understorey; dense in places; is made up of elder; hawthorn; hazel and willow. The ground flora is nettle dominated with rosebay-willowherb; Deschampsia cespitosa; bramble; red campion; creeping buttercup;hedge woundwort and occasional angelica. Carex pendula and occasional Carex sylvatica are found near the ponds and lining a boundary ditch. Both ponds have Sparganium erectum at the edges and contain Ceratophyllum demersum andsome watercress. Fed by land drains; they appear enriched; with blanket weed present. Stocked with carp. Heron and moorhen present. Owners plan to encourage ducks by clearing a flight path.

Ref: SP28S10 Survey Date: 28/07/2014 Grid reference: SP2675085375

Narrow strip of semi-improved grassland alongside minor access road, supporting locally abundant goat's beard and frequent harebell.

Ref:SP28S11 Survey Date: 28/07/2014 Grid reference: SP2691885432

Noted 1996 Poor semi-improved grassland with frequent yarrow, common sorrel and common mousear. Updated CFT 28/07/2014 wide cut grass verge merges into tall ruderal and then scrub, dominated by Bracken (Pteridium aquilinum).

Ref:SP28S12 Survey Date:28/07/2014 Grid reference:SP2678485440

Noted 1996 Poor semi-improved grassland, closely grazed by rabbits and sheep. Abundant throughout is tormentil and heath bedstraw. Updated CFT 28/07/2014 closely mown grass in front of house at time of visit.

Ref:SP28S13 Survey Date: 28/07/2014 Grid reference: SP2688385471

Noted 1996 Semi-natural, broad-leaved woodland of oak and birch with thin, regenerating rowan (approximately five years old). The ground flora is species poor with frequent bramble, Holcus mollis and bluebell. Updated CFT 28/07/2014 remains an oak woodland with Silver Birch (Betula pendula). Understorey Rowan (Sorbus aucuparia), Holly (Ilex aquifolium) and Sycamore (Acer pseudoplatanus). Groundflora Bramble (Rubus fruticosus agg.) and Bluebell (Hyacinthoides non-scripta).

Ref:SP28S14 Survey Date: 28/07/2014 Grid reference: SP2793885454

Aspen dominated semi-natural woodland with scattered oak and ash standards. Aspen is regenerating in profusion throughout the wood. The ground flora comprises locally frequent nettles withoccasional Deschampsia caespitosa, Dryopteris filix-mas, lords and ladies, Holcus mollis and heath bedstraw.

Ref:SP28S15 Survey Date:28/07/2014 Grid reference: SP2711985725

Noted 1996 Poor semi-improved, neutral grassland on road verge. The grasslandis tall and rough, dominated by Arrhenatherum elatius, Dactylisglomerata, with frequent cow parsley, hogweed, low creeping bramble, yarrow, black knapweed and occasional red campion and hairy tare. Updated CFT 28/07/2014 short mown grass tall ruderal behind and scrub merging into hedgerow. Hedgerow is a plws.

Ref:SP28S16 Survey Date:28/07/2014 Grid reference: SP2697585787

Noted 1996 Broadleaved woodland strip alongside lane. Frequent along its length are hawthorn, pedunculate oak, ash, holly, hazel and blackthorn.The grass verge which runs adjacent to the woodland strip supports relict woodland species. Frequent are wood avens, ground ivy and Holcus mollis with low, creeping bramble. Updated CFT 28/07/2014 Hedgerow along lane plws. Verge is mown close to edge becomes tall ruderal and scrub as it merges with hedgerow.

Ref:SP28S17 Survey Date: 28/07/2014 Grid reference: SP2682185898

Noted 1996 Improved grassland, heavily grazed but clearly showing remnant ridge and furrow. Updated CFT 28/01/2014 Wet area with pool noted from aerial imagery, possible marshy/grassland area and open scrub.

Ref:SP28S18 Survey Date: 28/07/2014 Grid reference: SP2663485964

Noted 1996 Dry, west facing hollow (possibly the result of a landslip.The slopes support the occasional hawthorn. Beneath these the ground is bare and appears to be used by sheltering stock. Updated CFT 28/07/2014 depression in field partly surrounded by linear trees.

Ref:SP28S19 Survey Date: 28/07/2014 Grid reference: SP2741484755

Semi-natural, broad-leaved woodland of oak with rowan making a significant contribution to the canopy. Ash is occasional throughout. The understorey comprises frequent hazel coppice (neglected for many years) with holly, low rowan and occasionally elder. Where hazel coppice dominates the understorey, little light penetrates.The woodland floor is here bare of vegetation. Where the canopy is less dense the ground flora is dominated by Pteridium aquilinumwith low bramble scrub. Frequent throughout the wood and locallydominant are Dryopteris filix-mas and Dryopteris dilitata, withlocally abundant Deschampsia caespitosa on damper ground. Climbing corydalis is rare, but locally occasional on leaf litter, otherwise largely devoid of vegetation.

Ref:SP28S20 Survey Date:28/07/2014 Grid reference: SP2745284823

Pocket of low lying, damp ground with abundant Carex pendula,frequent False Oat grass (Deschampsia caespitose) and occasional hedge woundwort, common hemp-nettle and wood sorrel.

Ref:SP28S21 Survey Date: 28/07/2014 Grid reference: SP2748284935

Damp hollow with locally frequent creeping buttercup, brooklime, bugle and chickweed. There was a strong smell of fox to the immediate south.

Ref:SP28S23 Survey Date:28/07/2014 Grid reference: SP2602385201

Raised earth bank with mature linear trees including Pedunculate Oak (Quercus robur), and old coppiced trees Hazel (Corylus avellana), Field Maple (Acer campestre) and Hawthorn (Crataegus monogyna), Hazel and Elder. Ground flora has Bluebell (Hyacinthoides non-scripta), Foxglove (Digitalis purpurea), Common Sorrel (Rumex acetosa) Bramble (Rubus fruticosus agg.) , Common Nettle (Urtica dioica) with occasional Soft Rush (Juncus effusus). Noted as species rich hedgerow Linear trees and bank is separated from a parallel hedgerow by a wide grass track which was the former road now remains of a green lane from Hayes Hall Farm to Packington Hall (Hayes Farm was part of the estate). The second hedgerow is also

on a raised bank with by mature Oak and Ash (Fraxinus excelsior) with shrub layer consisitng of Bracken (Pteridium aquilinum) and Holly (Ilex aquifolium). The hedgerows and track follows the parish boundaries of Fillongley and Meriden. At the end of the track is a veteran oak known as preachers oak where John Wesley is said to have given a sermon in 1782.

Ref:SP28S26 Survey Date: 28/07/2014 Grid reference: SP2758284922

Semi-improved neutral / marshy grassland dominated by Tufted Hair-grass (Deschampsia caespitosa) - typical MG9 alos with Creeping soft-grass (Holcus mollis), Greater Birdsfoot-trefoil (Lotus pedunculatus), Compact Rush (Juncus conglomeratus),Hard Rush (Juncus inflexus), Rosebay Willowherb (Chamerion angustifolium), Meadowsweet (Filipendula ulmaria), Silverweed (Potentilla anserina), Tufted vetch (Vicia cracca) and Creeping Thistle (Cirsium arvense).

Ref:SP28S27 Survey Date: 28/07/2014 Grid reference: SP2742885273

Small area of semi-natural woodland with mostly Pedunculate Oak (Quercus robur) and Crack Willow (Salix fragilis). Understorey Holly (Ilex aquifolium), Elder (Sambucus nigra), Hawthorn (Crataegus monogyna), Hazel (Corylus avellana). Ground flora Common Male-fern (Dryopteris filix-mas), variagated Yellow Archangel (Lamiastrum galeobdolon ssp argentatum) and Hart's-tongue (Phyllitis scolopendrium). Emerges into a young broad-leaved palntation consisitng mainly of Aspen (Populus tremula) with occasional Alder (Alnus glutinosa), Ash (Fraxinus excelsior), Rowan (Sorbus aucuparia) and pine sp.

Ref:SP28S28 Survey Date: 28/07/2014 Grid reference: SP2720485502

Remnant ancient species rich-hedgerow on raised bank with ditch; with old Pedunculate Oak (Quercus robur) and old Hazel (Corylus avellana) and Hawthorn (Crataegus monogyna) coppice and Hornbeam (Carpinus betulus) - evidence of hedge laying in past also Crab-apple (Malus sylvestris), Elder (Sambucus nigra). Along side remains of a former road now mostly tall ruderal.

Ref:SP28S29 Survey Date: 28/07/2014 Grid reference: SP2758885166

Linear semi-natural woodland with dry ditch running thrugh middle. Species: mature Pedunculate Oak (Quercus robur), Ash (Fraxinus excelsior) and Beech (Fagus sylvatica) understorey Holly (Ilex aquifolium), Hazel (Corylus avellana) and Hawthorn (Crataegus monogyna). Ground flora Bluebell (Hyacinthoides non-scripta) and Wood Avens (Geum urbanum).

Ref:SP28S31 Survey Date:28/07/2014 Grid reference:SP2654485176

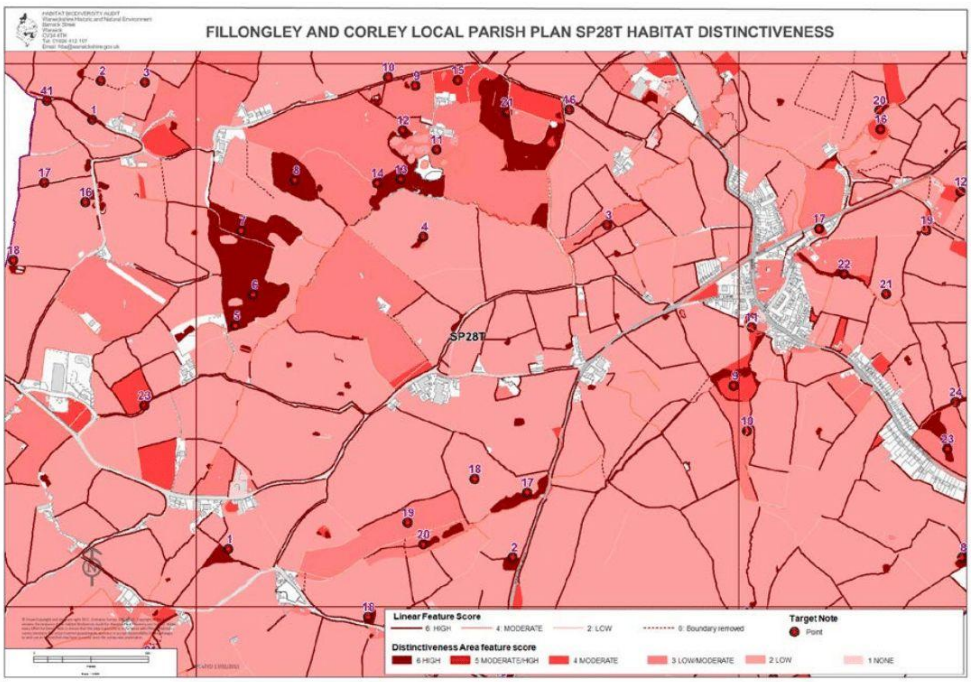
Dense thick Species Rich hedgerow across the road with trees. Steep bank with exposed red sandstone. Mature Pedunculate Oak (Quercus robur), Wych Elm

(Ulmus glabra), Field Maple (Acer campestre), Sycamore (Acer pseudoplatanus), Bracken (Pteridium aquilinum), Bramble (Rubus fruticosus agg.), Holly (Ilex aquifolium), Hawthorn (Crataegus monogyna), Honeysuckle (Lonicera periclymenum), Foxglove (Digitalis purpurea), Rosebay Willowherb (Chamerion angustifolium), Soft Rush (Juncus effusus) and Creeping Bent (Agrostis stolonifera)

Ref:: SP28S33 Survey Date: 28/07/2014 Grid reference: SP2712085188

Heart of England Adventure Park former arable fields now replaced with large pool along the western edge is a sandy beach. Much of the remaining land has been converted to amenity grassland and new wood land plantation. Adventure park is also contains Birchley Hays Wood AWI which is now used for amenity and recreation.

Tetrad SP28T



Reference	Survey Date	Grid Reference
Ref: SP28T1	Survey Date: 08/08/2014	Grid reference: SP2611886215

Ash; oak; alder; sycamore and birch woodland; with occasional aspen; surrounding two pond dense in places; is made up of elder; hawthorn; hazel and willow. The ground flora is nettle dominated with rosebay willowherb; Deschampsia cespitosa; bramble; red campion; creeping buttercup; hedge woundwort and occasional angelica. Carex pendula and occasional Carex sylvatica are found near the ponds and lining a boundary ditch. Both ponds have Sparganium erectum at the edges and contain Ceratophyllum demersum and some watercress. Fed by land drains; they appear enriched; with blanket weed present. Stocked with carp. heron and moorhen present. Owners plan to encourage duck by clearing a flight path.UPDATE 4/11/2014 RH Unable to access

Ref:SP28T2	Survey Date: 08/08/2014	Grid reference: SP2716686184

Ash woodland on hummocky ground with hawthorn and elder scattered below. Dogs mercury and bluebell are found in places; nettle dominating elsewhere. UPDATE 04/11/2014 RH Same as before; ash woodland with additional species Wood avens (Geum urbanum), Lords and ladies (Arum maculatum) and a hollow containing tall ruderal plants.

Ref:SP28T3	Survey Date: 08/08/2014	Grid reference: SP2751487407

Cattle grazed improved pasture with a central wet area supporting abundantJuncus effusus with Juncus conglomeratus; Holcus lanatus; redshank and occasional Juncus articulatus. UPDATE 04/11/2104 RH Same as previous, including meadow sweet (Filipendula ulmaria), willowherb spp, betony (Stachys officinalis), greater birds foot trefoil (Lotus pedunculatus), black knapweed (Centaurea nigra), field horsetail (Equisetum arvense). Butterflies small skipper; small white and meadow brown were recorded.

Ref: SP28T4 Survey Date: 08/08/2014 Grid reference: SP2683687364

Pond with fringing willow; elder, hawthorn and oak scrub; nettle and docks, and a stand of Typha latifolia. Much algae on the surface. Moorhen present. UPDATE 04/11/2014 RH Not accessed

Ref:SP28T5 Survey Date:08/08/2014 Grid reference:SP2614487037

Damp corner of wood with alder; ash; silver birch and rowan over hawthorn; willow; elder and the occasional guelder rose. The ground flora; with the exception of bracken and bramble; is mainly characteristic of marshy grassland with Deschampsia cespitosa; Holcus lanatus; Juncus effusus; greatwillow herb; marsh thistle; creeping buttercup; water mint and angelica. UPDATE 04/11/2014 RH Area not accessed.

Ref: SP28T6 Survey Date 08/08/2014 Grid reference: SP2621087152

Sessile oak and silver birch woodland with frequent rowan; occasional ashand a large crab apple. Hazel; holly and young birch are found in the understorey which is dense in places. Bracken; bramble; bluebell and Holcus mollis are present with abundant Dicranum scoparium on areas of bare ground. A glade is bracken dominated. UPDATE 04/11/2014 RH Not accessed appears to be the same from the edge.

Ref:SP28T7 Survey Date: 08/08/2014 Grid reference: SP2616787387

Pedunculate oak woodland with frequent silver birch and an understorey ofholly; locally dense; rowan; coppice hazel; hawthorn and occasional elder. Bracken; bramble; bluebell and Holcus mollis are abundant with occasionalDryopteris dilatata; D. filix-mas; Deschampsia cespitosa and foxglove. Bracken glades present. Managed for game. UPDATE 04/11/2014 RH Same as previous, plus Beech (Fagus sylvatica), Weeping Willow (Salix alba x babylonica). A ditch runs along the East side.

Ref:SP28T8 Survey Date: 08/08/2014 Grid reference: SP2636287574

Dense silver birch woodland with occasional pedunculate and hybrid oak. The understorey; also dense; is holly and coppice hazel with rowan; elder;young sycamore and blackthorn at the edges. Bracken; bramble; bluebell and Holcus mollis are abundant with occasional foxglove. The wood appears unmanaged. UPDATE 04/11/2014 RH Surveyed from the boundary, appears the same previous survey with the addition of Horse chestnut (Aesculus hippocastanum), guelder rose (Viburnum opulus) and elder (Sambucus nigra) at the edge.

Ref:SP28T9 Survey Date: 08/08/2014 Grid reference: SP2680787921

Duck pond in improved parkland pasture. No aquatic vegetation. UPDATE 04/11/2014 RH Aquatic vegetation included branched bur reed (Sparganium erectum), soft rush (Juncus effusus), hard rush (Juncus inflexus) Water plantain (Alisma plantago-aquatica), with bittersweet (Solanum dulcamara), gypsywort (Lycopus europaeus) and grey willow (Salix cinerea) around the pond margin.

Ref: SP28T10 Survey Date: 08/08/2014 Grid reference: SP2670787953

Low sandstone walls; lining a lane; supporting ivy; mosses and crustoselichens. UPDATE 04/11/20140 RH No change.

Ref:SP28T11 Survey Date: 08/08/2014 Grid reference: SP2688587686

Neglected gardens with a mix of native and exotic trees including oak;birch; redwood; sweet chestnut; pine; beech; holly; rowan and gean and a goodnumber of magnificent old yews. Shrubbery areas are dominated by rhododendron with bracken in places. Around these; mown grassland is mainly species-poor though foxglove; Dryopteris filix-mas; creeping buttercup; ground ivy and bugleare found in places and a small area supports abundant heath speedwell andheath bedstraw. Also present in places are primrose; daffodil sp. And Solomon's seal; probably planted. A badger sett is found beneath rhododendron. UPDATE 04/11/2014 RH Not accessed.

Ref:SP28T12 Survey Date: 08/08/2014 Grid reference:SP2676187758

Turbid pool overhung by yew and oak with no aquatic vegetation. A small marshy area at the edge supports Juncus effusus; angelica; great willowherb;yellow flag; bittersweet; nettle; Dryopteris filix-mas and red campion. UPDATE 04/11/2014 RH Not accessed.

Ref:SP28T13 Survey Date:08/08/2014 Grid reference:SP2675387577

Neglected fishing lake surrounded by ash woodland with a stand of Typhalatifolia at one end. Carex pendula; great willowherb; angelica and Juncuseffusus are scattered around the edges and white water lily is present. UPDATE 04/11/2014 RH Not accessed.

Ref: SP28T14 Survey Date: 08/08/2014 Grid reference: SP2666687562

Ash woodland with alder; sycamore; silver birch and oak. In places theground flora is dominated by dense nettle with dogs mercury and ground ivy. Elsewhere; hawthorn and elder are scattered over a sparse cover of bluebell;Dryopteris filix-mas and tree seedlings. Yellow archangel is occasional. UPDATE 04/11/2014 RH Not accessed. Larch is also present.

Ref:SP28T15 Survey Date: 08/08/2014 Grid reference:SP2696287942

Mature mixed plantation woodland with many large yew; oak; beech;sycamore; silver birch; holly; sweet chestnut and other species. Young hollyand sycamore are also present with abundant rhododendron; bramble; bracken;bluebell; Holcus mollis and Dryopteris filix-mas. UPDATE 04/11/2014 RH The canopy has hornbeam (Carpinus

betulus), sycamore (Acer pseudoplatanus), oak (Quercus robur), holly (Ilex aquifolium), beech (Fagus sylvatica), turkey oak (Quercus cerris) and mature hawthorns (Crataegus monogyna). Ground layer is shaded out by scrub other parts have tall ruderal.

Ref: SP28T16 Survey Date: 08/08/2014 Grid reference: SP2737387832

Green lane; subject to fly-tipping. Lined by oak; ash and unmanagedhedges of holly; hawthorn; hazel and elder with wild clematis sprawling overthem in places. Bracken; nettle; rosebay willow herb; dogs mercury; yellow archangel; ivy; red campion and wood avens are found at ride edges and Melicauniflora and shining cranesbill at the ride's junction with the lane. The adjacent pond is shaded and turbid with no aquatic vegetation. UPDATE 04/11/2014 RH Same as previous survey. The pond is polluted and is surrounded by scrub, Soft rush (Juncus effusus), Brooklime (Veronica beccabunga) and greater willowherb (Epilobium hirsutum).

Ref:SP28T17 Survey Date:08/08/2014 Grid reference: SP2721886422

Oak; alder; wych elm; ash and willow with hawthorn below and blackthornat wood edges. Nettle dominates the ground flora along the stream. Elsewhereare scattered ivy; dogs mercury; bluebell; ground ivy; yellow archangel and lords-and-ladies. UPDATE 04/11/2014 RH As previously surveyed, plus silver birch (Betula pendula), coppice hazel (Corylus avellana) understorey and wood avens (Geum urbanum) in the ground layer. Along the stream there is braken (Pteridium aquilinum), bramble (Rubus fruticosus), hogweed (Heracleum sphondylium), greater willowherb (Epilobium hirsutum), compact rush (Juncus conglomeratus), deschaspsia cespatosa and marsh thistle (Cirsium palustre).

Ref:SP28T18 Survey Date: 08/08/2014 Grid reference: SP2702586472

This cattle grazed field slopes from the center, the majority is improved with cocks foot (Dactylis glomerata), perrenial rye grass (Lolium perenne) and patches of white clover (Trifolium repens), nettle (Urtica dioica), creeping thistle (Cirsium arvense) and marsh thistle (Cirsium palustre). However the slopes and particuarly the southern slope is appears to be MG6, species include, common bent (Agrostis capillaris), crested dogs tail (Cynosurus cristatus), red clover (Trifolium pratense), creeping bent (Agrostis stolonifera), timothy (Phleum pratense) and yarrow (Achillea millefolium).

Ref:SP28T19 Survey Date:08/08/2014 Grid reference:SP2677986313

This grassland is on a south facing slope and has varied topography. Coarse grasses are dominant species further down the slope. Forbs include clovers, ribwort plantain (Plantago lanceolata), mayweed (Matricaria recutita), nettle (Urtica dioica) and creeping buttercup (Ranunculus repens).

Ref::SP28T20 Survey Date : 08/08/2014 Grid reference: SP2683786232

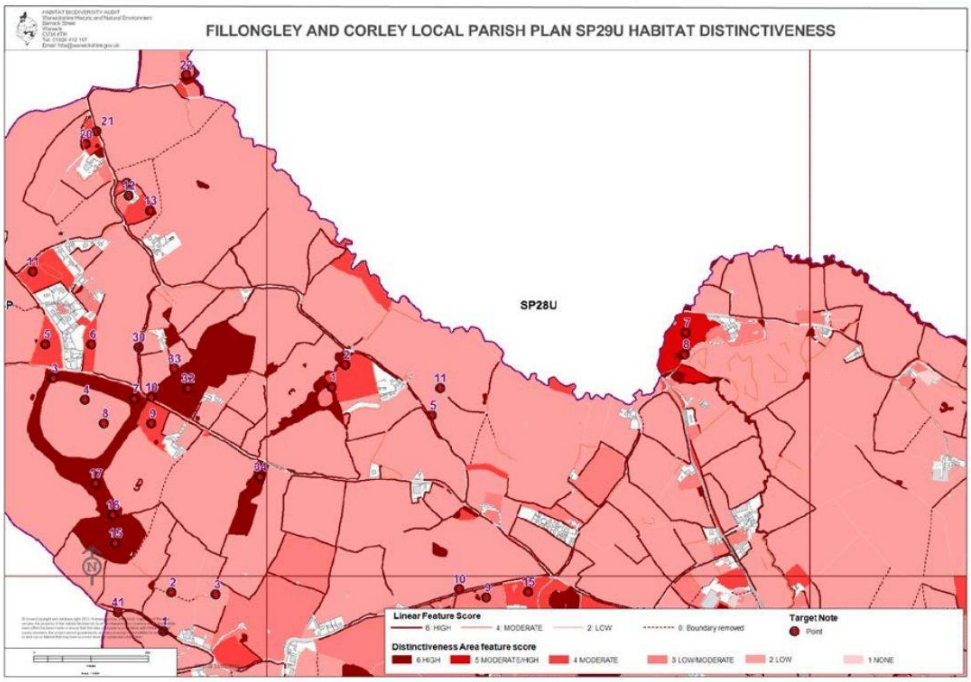
There is a stream, two large created ponds and grassland. The grassland has frequent common bent (Agrostis capillaris), Yorkshire fog (Holcus lanatus) and locally frequent crested dogs tail (Cynosurus cristatus) and smooth cats ear (Hypochaeris glabra). The vegetation by the stream has tall ruderal including

rosebay willowherb (Chamerion angustifolium), bittersweet (Solanum dulcamara) and meadow vetchling (Lathyrus pratensis), scrub. The ponds have no submerged vegetation but have Juncus effusus, J. acutiflorus and J. conglomeratus around the edges. Canada geese were present.

Ref:SP28T21 Survey Date: 08/08/2014 Grid reference: SP2737387832

Fillongley Hall remnant section of the broad-leaved parkland with scattered trees which includes a veteran Pedunculate Oak (Quercus robur) beside Filongley Cricket Club.

Tetrad SP28U



Reference	Survey Date	Grid Reference
Ref: SP28U1	Survey Date:14/09/1998	Grid reference:SP2623888694

Pedunculate oak and silver birch woodland with an understorey of coppice hazel and hawthorn; young sycamore. Bramble; bluebell and yellow archangel abundant with Holcus mollis and scattered greater stitchwort;Dryopteris dilatata; D. affinis; red campion; wood dock; dogs mercury andground ivy. Bracken is found at the edges. The wood contains a large glade dominated by rosebay willowherb. A pit in the south east corner (old sand stone quarry?) is surrounded by hazel; Wych elm; hawthorn; sycamore; field maple;holly and elder and covered in nettle with abundant ferns at the edges. Surveyed from the footpath.

Ref:SP28U2	Survey Date:14/09/1998	Grid reference:SP2628788777

Small area of woodland round a cut-off meander pool. Oak; ash; horse chestnut; Scots pine and yew present with holly at the edges and hawthorn; wychelm; crab apple; elder and young birch and sycamore forming a dense understorey.Scattered ground flora of bramble; bluebell and ferns.

Ref:SP28U5	Survey Date:14/09/1998	Grid reference:SP2660788592

Sunken lane lined by thick holly hedges with Wych elm; hawthorn; elder; hazel; sycamore and holly. The steep banks; with exposed sandstone in places; support

woodland species such as bracken; Holcus mollis;foxglove; Dryopteris filix-mas and red campion. There is a large patch oflesser periwinkle close to the wood.

Ref:SP28U6 Survey Date:14/09/1998 Grid reference:SP2751188985

Sycamore with horse chestnut; ash and beech along a stream course. Rhododendron is frequent below with young beech; wych elm and yew. The groundflora is ivy dominated with yellow archangel; Dryopteris dilatata; D.filix- mas; Deschampsia cespitosa; bramble; hairy violet; Brachypodium sylvaticum; occasional Phyllitis scolopendrium; and abundant mosses includingPlagiothium undulatum.

Ref:SP28U7 Survey Date:14/09/1998 Grid reference:SP2754188896

Mature mixed woodland with beech; sycamore; Corsican pine; larch and other conifers and a yew avenue. Young sycamore is abundant in the understorey with holly; locally dense; and elder; yew and rhododendron. The ground flora is bramble or ivy dominated in places but elsewhere can be quite rich with Deschampsia cespitosa; yellow archangel; wood avens; herb robert; ground ivy;creeping buttercup; red campion; and occasional Carex pendula; Brachypodiumsylvaticum; Dryopteris dilatata; wood sorrel and enchanters nightshade.

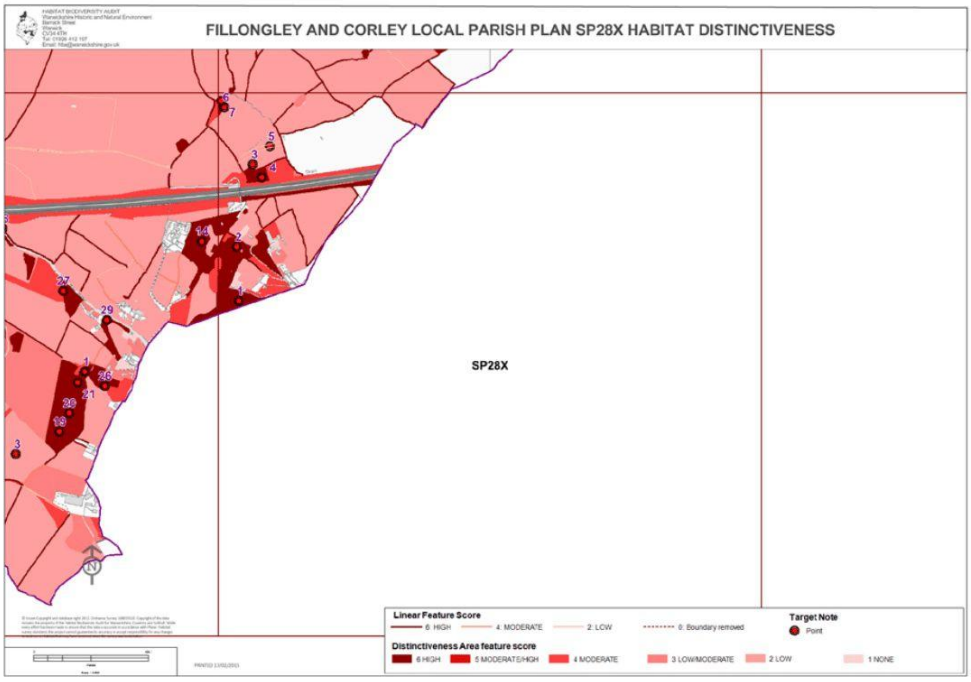
Ref:SP28U8 Survey Date:14/09/1998 Grid reference:SP2753788816

Pond with very little open water; predominately Glyceria maxima swamp withyellow flag; great willowherb; nettle; hedge bindweed and occasional purple loosestrife.

Ref:SP28U11 Survey Date:24/10/2008 Grid reference:SP2663888691

Visited on 24/10/08 by KRM. Short stretch (25 m) of hedge remnant. Blackthorn (D), holly, 1 small oak tree, elder, hazel, nettles.

Tetrad SP28X



Reference	Survey Date	Grid Reference
Ref:SP28X1	Survey Date:15/09/2014	Grid reference:SP2807485236

PLWS Semi-improved marshy grassland (common land).The area is locally damp underfoot with scattered tall ruderal and scrub throughout dominated by ash (Fraxinus excelsior) and oak (Quercus robur) with frequent hawthorn (Crataegus monogyna), occasional bramble (Rubus fruticosus) and rarely gorse (Ulex europaeus). Not all areas are mown hence the scattered scrub. The grassland supports frequent and locally abundant Deschampsia cespitosa, Juncus articulatus, Juncus effuses, Alopecurus geniculatus, Festuca rubra, Agrostis stolonifera and Agrostis capillaris, Festuca arundinacea, creeping buttercup (Ranunculus repens), silverweed (Potentilla anserina), common sorrel (Rumex acetosa) and locally creeping soft-grass (Holcus mollis). Locally frequent are sneezewort (Achillea ptarmica), heath bedstraw (Galium saxatile), birds foot trefoil (Lotus corniculatus), bush vetch (Vicia sepium), common knapweed (Centaurea nigra), meadow vetchling (Lathyrus pratensis), greater birds foot trefoil (Lotus pedunculatus) and ribwort plantain (Plantago lanceolata).

Ref:SP28X2	Survey Date:15/09/2014	Grid reference:SP2806785435

PLWS Mature oak woodland with locally abundant sycamore and scattered Ash, the ground layer has occasional common male fern (Dryopteris filix-mas) and scaly male fern (Dryopteris affinis), bramble (Rubus fruiticosis), hogweed (Heracleum sphondylium), wood avens (Geum urbanum) and self heal (Prunella vulgaris). In the

damp areas there is Deschampsia cespitosa and Juncus articulates are locally abundant.

Ref:SP28X3 Survey Date:15/09/2014 Grid reference: SP2812685738

Open water dominated by unbranched bur-reed with frequent broad-leaved water-plantain. There is a 1.5m wide edge on the North side of the pond with the tussocky hard rush (Juncus inflexus). The pond is sheltered by scrub such as hawthorn (Crataegus monogyna), elder (Sambucus nigra) and blackthorn (Prunus spinosa).

Ref:SP28X4 Survey Date:15/09/2014 Grid reference:SP2815985689

In 1996 was recorded as a plantation of dense elm (Ulmus procera), with only the occasional thin blackthorn (Prunus spinosa) and field maple as understorey along the edges. The ground flora is typically species poor with only the occasional nettle (Urtica dioica). This was not accessible during the survey, from google images it appears to be scattered scrub.

Ref:SP28X5 Survey Date:15/09/2014 Grid reference:SP2818885803

Recently disturbed bare ground (line of gas pipe) which is nowbeing colonised by redshank.UPDATE 15/9/2014 RH Not present.

Ref:SP28X6 Survey Date:15/09/2014 Grid reference:SP2802285946

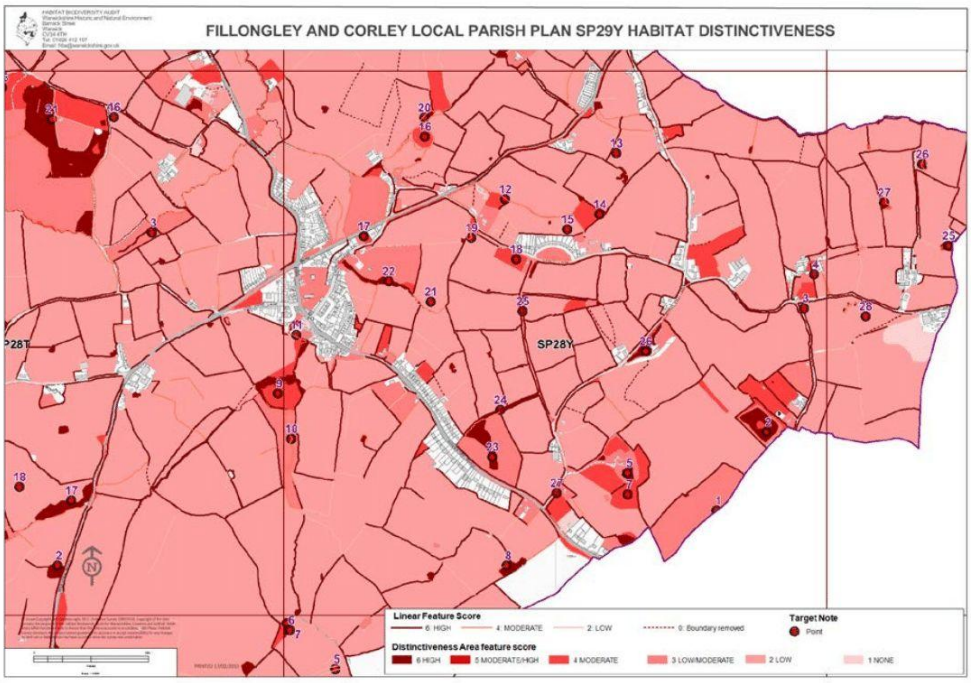
Small stream (<1m wide), barely flowing in 3m wide natural channel. The water table is high across this channel which supports abundant Glyceria fluitans, creeping buttercup (Ranunculus repens), amphibious bistort (Persicaria amphibian) and frequent curled dock (Rumex crispus), water-cress (Nasturtium officinale) and occasionally common hemp nettle (Galeopsis tetrahit) and brooklime (Veronica beccabunga) throughout. UPDATE RH 15/09/2014 This stream vegetation is less diverse and appeared more nutrient rich.

Ref:SP28X7 Survey Date:15/09/2014 Grid reference:SP2801085971

Small pocket of south facing, gently sloping un-improved grassland with scattered hawthorn scrub throughout. The sward is dominated by Holcus lanatus with frequent Dactylis glomerata, Festuca rubra and Agrostis capillaris. Frequently occurring broad-leaved herbs include harebell (Campanula rotundifolia), devil's-bit scabious (Succisa pratensis), lesser stitchwort (Stellaria graminea), tufted vetch (Vicia cracca) and occasional salad burnet (Sanguisorba minor), greater bird's-foot trefoil (Lotus pedunculatus) and betony (Stachys officinalis). Frogs and small copper butterflies were noted. The area appeared rich in invertebrates.

UPDATE RH 15/09/2014 Now improved grassland with hogweed (Heracleum sphondylium), dandelion (Taraxacum officinale), red clover (Trifolium pratense), timothy (Phleum pratense), perennial rye grass (Lolium perenne) and red fescue (Festuca rubra).

Tetrad SP28Y



Reference	Survey Date	Grid Reference

Ref:SP28Y1 Survey Date:18/07/2014: Grid reference: SP2959386386

Noted 1998 Tall hedge; cut occasionally and typical of the more-species-rich hedges of the area. Contains holly blackthorn; hazel; hawthorn; elder; dog and fieldrose; bramble and occasional oak and has a ditch (dry) below. Ground flora species include bluebell; ivy and lords -and-ladies. Updated CFT 23/07/2014 species rich hedgerow LWS SP28Y1 along Square Lane. Typical of the area with dominant Bracken (Pteridium aquilinum), Hawthorn (Crataegus monogyna) and Holly (Ilex aquifolium) shrub layer; ground flora includes, Rosebay Willowherb (Chamerion angustifolium), Common Hemp-nettle (Galeopsis tetrahit), Tufted vetch (Vicia cracca) Birdsfoot-trefoil (Lotus corniculatus), Hedge woundwort (Stachys sylvatica), Traveller's-joy (Clematis vitalba). Occasional trees include mature Pedunculate Oak (Quercus robur), Horse Chestnut (Aesculus hippocastanum), Ash (Fraxinus excelsior), Field Maple (Acer campestre) and Hazel (Corylus avellana). Hedgerow also marks the end of the parish boundary.

Ref:SP28Y2 Survey Date:18/07/2014 Grid reference:SP2972986716

Noted 1998 Man-made fishing-lake containing a large island with planted crack willow and exotic conifers. Surrounded by amenity grassland and a mix of native and

exotic planted trees and shrubs including ash; Lombardy poplar; willow spp.;and various conifers. The lake margins support scattered Typha latifolia;Carex riparia; Juncus acutiflorus; and butterbur. Ruddy duck and breedingCanada geese present. Updated CFT 23/07/2014 large open pool remains as described surrounded by Crack Willow (Salix fragilis) Alder (Alnus glutinosa) with occasional Leyland Cypress (x Cupreesocyparis leylandii) still a private fishing pool well stocked with large fish - carp. Edges closely mown. Emergent and edge vegetation includes Common Bistort (Persicaria bistorta), Bulrush or Common Reed mace (Typha latifolia), Water mint (Mentha aquatica), Marsh marigold (Caltha palustris) and Rosebay Willowherb (Chamerion angustifolium)

Ref:SP28Y3 Survey Date:18/07/2014 Grid reference: SP2991787060

Noted 1998 Continuation of target note 1 hedge also containing European gorse; hedgerow with trees LWS SP28Y1 Updated CFT 23/07/2014. including Hazel (Corylus avellana), Holly (Ilex aquifolium), Field Maple (Acer campestre), Goat Sallow (Salix caprea), Hawthorn (Crataegus monogyna), Ash (Fraxinus excelsior) and occasional Pedunculate Oak (Quercus robur). Shrub layer also has Bracken (Pteridium aquilinum), Blackthorn (Prunus spinosa), Bramble (Rubus fruticosus agg.) and Elder (Sambucus nigra)

Ref:SP28Y4 Survey Date:18/07/2014 Grid reference:SP2995587185

Unmanaged coarse semi-improved grassland; sheep and goat grazed in the past.

Ref:SP28Y5 Survey Date:18/07/2014 Grid reference: SP2928386588

Noted 1998 Two ponds surrounded by amenity grassland with swathes of recently planted native and exotic species. The larger pool has an island and diverse marginaland emergent species including Typha latifolia; Phragmites australis; Juncusinflexus; exotic Carex spp.; marsh marigold; water mint and water dock and is partly fringed by oak; alder; willow spp. and exotic shrubs. The smaller pondhas marginal Typha latifolia; T angustifolia; and Juncus inflexus. Updated CFT 23/07/2014 private property. Pools are potential local wildlife sites SP28Y2 Red Hill Farm. Pools are surrounded by dense heavily shaded by young broad leaf plantation wood land with private housing no direct access to ponds. Trees dominated by Ash (Fraxinus excelsior) occasional pine sp. And Hazel (Corylus avellana). Ponds remain as described with Alder (Alnus glutinosa), and occasional Pedunculate Oak (Quercus robur). Woodland is on the edge of large area of amenity grassland that was formerly arable.

Ref: SP28Y7 Survey Date:18/07/2014 Grid reference:SP2928086308

Noted 1998 Small spinney surrounding a pond which is silting up and being colonised by Typha latifoli,a woodland canopy is of oak and ash with a dense shrublayer of hawthorn; elder; holly and blackthorn and there is a small area ofrecently planted gean; hazel and grey willow. The field layer is varied and includes bramble; honeysuckle; lesser celandine; lords-and-ladies; ivy; nettle; hedge

woundwort; wood dock; foxglove; red campion; garlic mustard and exotic daffodil and Primula species. The owner has erected bird boxes. Much bird activity including singing warblers. Updated CFT 23/07/2014 Pool surrounded by broad-leaf woodland including Ash (Fraxinus excelsior), Sycamore (Acer pseudoplatanus) and Hornbeam (Carpinus betulus) along fence line - private property with no direct access. Ponds at Red Hill Farm are potential LWS - SP28Y2

Ref:SP28Y8 Survey Date:18/07/2014 Grid reference:SP2886386157

Noted 1998 Field ponds surrounded by alder; oak; ash; goat willow and hawthorn and a Black Poplar (Populus nigra); possibly native. Edges partly cattle-poached but supporting marginal species in parts; including Typha latifolia; Juncus and Glyceria spp. Updated 25/07/2014 CFT. Pond remains as described emergent vegetation on south side of larger pool with Bulrush or Common Reed mace (Typha latifolia), Water-plantain (Alisma plantago- aquatica), unbranched Bur-reed (Sparganium emersum), Jointed Rush (Juncus articulatus), Water forget-me-not (Myosotis scorpioides). Eastern edge od pond has mature Pedunculate Oak (Quercus robur), White willow (Salix alba), Alder (Alnus glutinosa) and Ash (Fraxinus excelsior) creating shading over pond which is also covered in duck weed. Black Poplar not recorded near but should be re-checked in case.

Ref:SP28Y9 Survey Date:18/07/2014 Grid reference:SP2806586817

Noted 1998 Species-rich semi-improved grassland on the site of castle motte and bailey remains which form a varied terrain including dry banks and wet hollows;resulting in a diversity of communities. Alopecurus pratensis is the most abundant grass species; other grasses including Dactylis glomerata; Poa trivialis; Cynosurus cristatus; Lolium perenne; and occasional Deschampsia caespitosa. A varied flora includes locally abundant mouse-ear hawkweed (on dry south-facing banks); Luzula campestris; pignut; yarrow; catsear; birds-foottrefoil; lesser celandine; common sorrel; bulbous; meadow and creeping buttercup. Mosses; notably Rhytidiadelphus squarrossus; are abundant in places.The wet ditches and hollows support Juncus effusus; J. inflexus; J.articulatus; Glyceria fluitans; G. plicata; ladysmock and nettle-beds. Astream curves round the grassland area and is bordered by woodland made up of alder; ash; holly; hawthorn and crab apple with an understorey containing bluebell; dogs mercury; foxglove and occasional wood anemone. Updated CFT 23/07/2014 Fillongley Castle and jousting field SP28Y5 selected 28/1/1999 Additional species noted: Betony (Stachys officinalis), Common Knotgrass (Polygonum aviculare), Greater Birdsfoot-trefoil (Lotus pedunculatus), Meadowsweet (Filipendula ulmaria), Tormentil (Potentilla erecta), Wild Angelica (Angelica sylvestris), Lady's Bedstraw (Galium verum), Common Knapweed (Centaurea nigra), Welted Thistle (Carduus crispus), American willowherb (Epilobium ciliatum), Compact Rush (Juncus conglomeratus) and Jointed Rush (Juncus articulatus),recommended for re-survey.

Ref:SP28Y10 Survey Date:18/07/2014 Grid reference: SP2803086580

Noted 1998 Meadow Foxtail (Alopecurus pratensis) dominated grassland on the site of the castle jousting field.Great Burnet (Sanguisorba officinalis) frequent to

occasional and scattered Wood Anemone (Anemone nemorosa) at edges but generally species poor. Red Fescue ssp. (Festuca rubra) is locally abundant and other species present include Yorkshire Fog (Holcus lanatus); Cock's-foot (Dactylis glomerata); Common Bent (Agrostis capillaris); and occasional Hogweed (Heracleum sphondylium); Common Sorrel (Rumex acetosa); Lady's Smock (Cardamine pratensis) and Field Wood-rush (Luzula campestris). Updated CFT 23/07/2014 Fillongley Castle and Jousting Fields LWS SP28Y5 reported that grassland has been sprayed, This part of the lws has no access, likely that part of the site is no longer lws quality, however to the NE area of marsh and marshy grassland extends beyond current lws boundary so should be reviewed/re-surveyed. A stream runs through middle of the jousting field section lined with Alder (Alnus glutinosa) and intact species rich hedgerows with trees on either side with mature Pedunculate Oak (Quercus robur), Hawthorn (Crataegus monogyna), Field Maple (Acer campestre), Elder (Sambucus nigra), Blackthorn (Prunus spinosa), Hazel (Corylus avellana) Crab-apple (Malus sylvestris) and so remains an important wildlife corridor through the site. Castle Mound requires a management plan rank grasses Establishing on high section and possible grassland restoration opportunity and LNR?

Ref:SP28Y11 Survey Date:18/07/2014 Grid reference: SP2804786962

Noted 1998 Stream fringed by alder with occasional holly; hawthorn; blackthorn;Common nettle (Urtica dioica) beds and occasional Juncus sp.; Water mint (Mentha aquatica) and lesser celandine (Ranunculus ficaria).Updated CFT 23/07/2014 Remains as described add: Osier (Salix viminalis), Rosebay Willowherb (Chamerion angustifolium), Meadowsweet (Filipendula ulmaria) and occasional Yellow Iris (Iris pseudacorus).

Ref:SP28Y12 Survey Date:18/07/2014 Grid reference: SP2880887523

Largely improved; lightly grazed pony paddock with abundant pignut, occasional lesser knapweed; common sorrel and Luzula campestris and locally frequent meadow buttercup. Grasses include Alopecurus pratensis; Dactylis glomerata and Hogweed.

Ref:SP28Y13 Survey Date:18/07/2014 Grid reference: SP2922587631

Noted 1998 Fenced pond surrounded by Pedunculate Oak (Quercus robur); Alder (Alnus glutinosa) and Hawthorn (Crataegus monogyna) with scattered Bluebell (Hyacinthoides non-scripta); Honeysuckle (Lonicera periclymenum); Common Nettle (Urtica dioica); Yorkshire Fog (Holcus lanatus); Foxglove (Digitalis purpurea) and ivy-leaved speedwell (Veronica hederifolia). Heavily shaded and containing much leaf litter. Updated CFT 23/7/2014 large pool remains as described.

Ref:SP28Y14 Survey Date :18/07/2014 Grid reference: SP2912787503

Noted 1998 Mosaic of dense scrub and tall herb with hawthorn; bramble; blackthorn;nettle and rose-bay willowherb.Surveyed from footpath. Updated CFT

23/07/2014 imporved grassland with small pond heavily vegetated and open scrub surrounding it. Part way along hedgerow here which borders houses is a single Japanese Knotweed (Fallopia japonioca) plant.

Ref:SP28Y15 Survey Date:18/07/2014 Grid reference: SP2898887442

Noted 1998 Heavily horse-grazed and poached pasture with much bare ground. Updated CFT 23/07/2014 species poor grassland appears to be a pool in the field close to the brook. Checked on Aerial imagery.

Ref:SP28Y16 Survey Date:18/07/2014 Grid reference: SP2851987761

Noted 1998 Improved grassland on site of castle earthworks Updated CFT 18/07/2014 semi-improved grassland at Castle Hills motte and bailey. Mainly grasses including Sweet vernal-grass (Anthoxanthum odoratum), Common Bent (Agrostis capillaris), Cock's-foot (Dactylis glomerata), Quaking-grass (Briza media) and Crested Dogstail (Cynosurus cristatus). Forbs occuring mainly on south facing banks including Birdsfoot-trefoil (Lotus corniculatus), Field scabious (Knautia arvensis), Creeping cinquefoil (Potentilla reptans), Ribwort Plantain (Plantago lanceolata), Meadow Buttercup (Ranunculus acris), Autumn Hawkbit (Leontodon autumnalis), Common catsear (Hypochaeris radicata), Red Clover (Trifolium pratense) and White Clover (Trifolium repens) - Woolly Thistle (Cirsium eriophorum) WN check. Numbers of butterflies preset including Marbled White, Skipper and Ringlet. Worth noting as a potential lws.

Ref:SP28Y17 Survey Date:18/07/2014 Grid reference:SP2830587402

Noted 1998 Remnant orchard over nettle beds and abandoned allotments.Reamins as described mostly tall ruderal, old apple trees still present with mature Hornbeam (Carpinus betulus), Beech (Fagus sylvatica), Sycamore (Acer pseudoplatanus), Goat Sallow (Salix caprea) and hawthorn (Crataegus monogyna) linnear scrub boundary along road.

Ref:SP28Y18 Survey Date:18/07/2014 Grid reference:SP2881787327

Noted 1998 Young plantation woodland along Sandy Lane with a varied mix of species including Ash (Fraxinus excelsior);Pedunculate Oak (Quercus robur); Sycamore (Acer pseudoplatanus); suckering English Elm (Ulmus procera); Hawthorn (Crataegus monogyna); Gean (Prunus avium) ; and Blackthorn (Prunus spinosa) over Dog-rose (Rosa canina agg.); Cow Parsley (Anthriscus sylvestris); Hogweed (Heracleum sphondylium); Common nettle (Urtica dioica); Rosebay Willowherb (Chamerion angustifolium) and coarse grasses including False oat-grass (Arrhenatherum elatius). Signs of past coppicing. Updated CFT 23/01/2014 maturing plantation additional species Elder (Sambucus nigra), coppiced Hazel (Corylus avellana)

Ref:SP28Y19 Survey Date:18/07/2014 Grid reference: SP2866787405

Noted 1998 Small pond; heavily shaded and containing much dead wood. Surrounded by Crack Willow (Salix fragilis), Updated by CFT 23/07/2013 small pond remains covered in pond weed surrounded by willow, Blackthorn (Prunus spinosa), Honeysuckle (Lonicera periclymenum) single Oak tree.

Ref:SP28Y20 Survey Date:18/07/2014 Grid reference: SP2851987761

Linnear woodland along stream with deep sided banks., with large mature Pedunculate Oak (Quercus robur) coppiced Hazel (Corylus avellana), Holly (Ilex aquifolium), Ash (Fraxinus excelsior) and Field Maple (Acer campestre). Ground flora has Dog's Mercury (Mercurialis perennis), Bluebell (Hyacinthoides non-scripta), Bramble (Rubus fruticosus agg.), Hedge woundwort (Stachys sylvatica), Hogweed (Heracleum sphondylium), Rosebay Willowherb (Chamerion angustifolium), Nipplewort (Lapsana communis), Honeysuckle (Lonicera periclymenum) and Pendulous Sedge (Carex pendula). Woodland runs alongside western edge of Castle Hill motte and bailey – see target note sp28y16

Ref:SP28Y21 Survey Date:18/07/2014 Grid reference:SP2851987761

Small area of semi-improved wet grassland on the edge of sports field, with Common Bent (Agrostis capillaris), Compact Rush (Juncus conglomeratus), Common Knapweed (Centaurea nigra), Red Clover (Trifolium pratense), Glaucous Sedge (Carex flacca), Greater Birdsfoot-trefoil (Lotus pedunculatus), Sweet vernal-grass (Anthoxanthum odoratum), Ribwort Plantain (Plantago lanceolata), Timothy (Phleum pratense) and Creeping cinquefoil (Potentilla reptans).

Ref:SP28Y22 Survey Date:18/07/2014 Grid reference:SP2851987761

Small broadleaved plantation alongside stream southern edge of sports field with Guelder-rose (Viburnum opulus), Wild Cherry (Prunus avium), Hawthorn (Crataegus monogyna), Yew (Taxus baccata), Ash (Fraxinus excelsior), Hazel (Corylus avellana), Rowan (Sorbus aucuparia), Horse Chestnut (Aesculus hippocastanum), Silver Birch (Betula pendula), Goat Sallow (Salix caprea) and Pedunculate Oak (Quercus robur).

Ref:SP28Y23 Survey Date:18/07/2014 Grid reference:SP2851987761

Area of wet marshy grassland in natural depression surrounded by species poor grassland grazing pasture. Spring feeds into brook which runs out into Hobgoblin Lane. Frequent Hard Rush (Juncus inflexus). Field was viewed from footpath and additional drain has been put into the field here which drains into footpath.

Ref:SP28Y24 Survey Date:18/07/2014 Grid reference:SP2851987761

Hobgoblin Lane wide track and linear woodland with Pedunculate Oak (Quercus robur), Ash (Fraxinus excelsior), Wild Cherry (Prunus avium), Hazel (Corylus avellana), Rowan (Sorbus aucuparia) and Silver Birch (Betula pendula). Understorey Elder (Sambucus nigra), Dogwood (Cornus sanguinea), Bracken (Pteridium

aquilinum), Bramble (Rubus fruticosus agg.), Holly (Ilex aquifolium) and Blackthorn (Prunus spinosa). Ground flora includes Hedge woundwort (Stachys sylvatica), Dog's Mercury (Mercurialis perennis), Red Campion (Silene dioica), Bluebell (Hyacinthoides non-scripta), Common nettle (Urtica dioica), Wood Avens (Geum urbanum), Hogweed (Heracleum sphondylium), Raspberry (Rubus idaeus) (cultivar), Common Sorrel (Rumex acetosa), Meadowsweet (Filipendula ulmaria), Creeping buttercup (Ranunculus repens), Common Hemp-nettle (Galeopsis tetrahit) and Foxglove (Digitalis purpurea).

Ref:SP28Y25 Survey Date:18/07/2014 Grid reference: SP2851987761

Green Lane wide track with hedgerows and tree on either side dominated by Bracken (Pteridium aquilinum) with frequent Rosebay Willowherb (Chamerion angustifolium), Great willowherb (Epilobium hirsutum), Common Knapweed (Centaurea nigra) occasional Soft Rush (Juncus effusus), Tufted Vetch (Vicia cracca), Redshank (Persicaria maculosa), Creeping thistle (Cirsium arvense), Common Sorrel (Rumex acetosa), Bramble (Rubus fruticosus agg.), Common sorrel (Rumex acetosa), Meadowsweet (Filipendula ulmaria) and Field Horsetail (Equisetum arvense). Grasses include Timothy (Phleum pratense), False oat-grass (Arrhenatherum elatius) and Creeping soft-grass (Holcus mollis) Trees noted along here are Ash (Fraxinus excelsior), Silver Birch (Betula pendula), Pedunculate Oak (Quercus robur), Hazel (Corylus avellana), Alder (Alnus glutinosa), Sycamore (Acer pseudoplatanus) and Apple (Malus domestica)

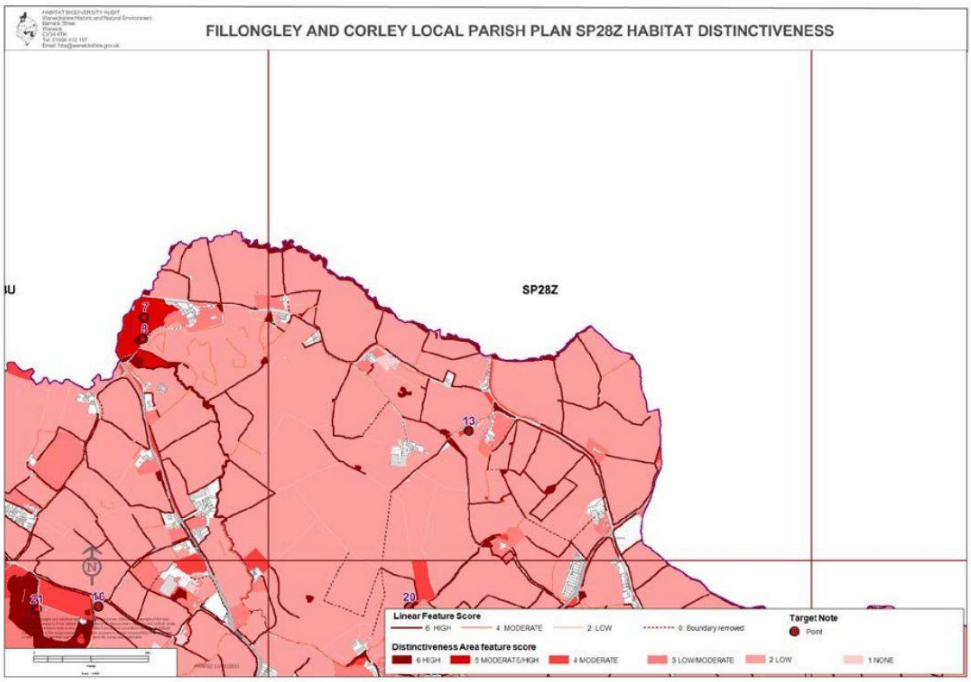
Ref:SP28Y26 Survey Date 18/07/2014 Grid reference: SP2851987761

Fillongley Grange small broad-leaved woodland with Sweet Chestnut (Castanea sativa), Ash (Fraxinus excelsinor) Sycamore (Acer pseudoplatanus), Pedunculate Oak (Quercus robur), Silver Birch (Betula pendula), Horse Chestnut (Aesculus hippocastanum) under storey Holly (Ilex aquifolium), Hazel (Corylus avellana), Cherry Laurel (Prunus laurocerasus),. Deep ditch and bank viewed from roadside. Linear trees Wellingtonia along drive way to house and Cedar of Lebanon (Cedrus libani).

Ref:SP28Y27 Survey Date:18/07/2014 Grid reference: SP2851987761

Wood End Lane linear trees conssiting mainly of Turkey Oak (Quercus cerris) and Crab-apple Hawthorn (Crataegus monogyna), Holly (Ilex aquifolium), Ash (Fraxinus excelsior) becomes shrubbier towards Coventry Road.

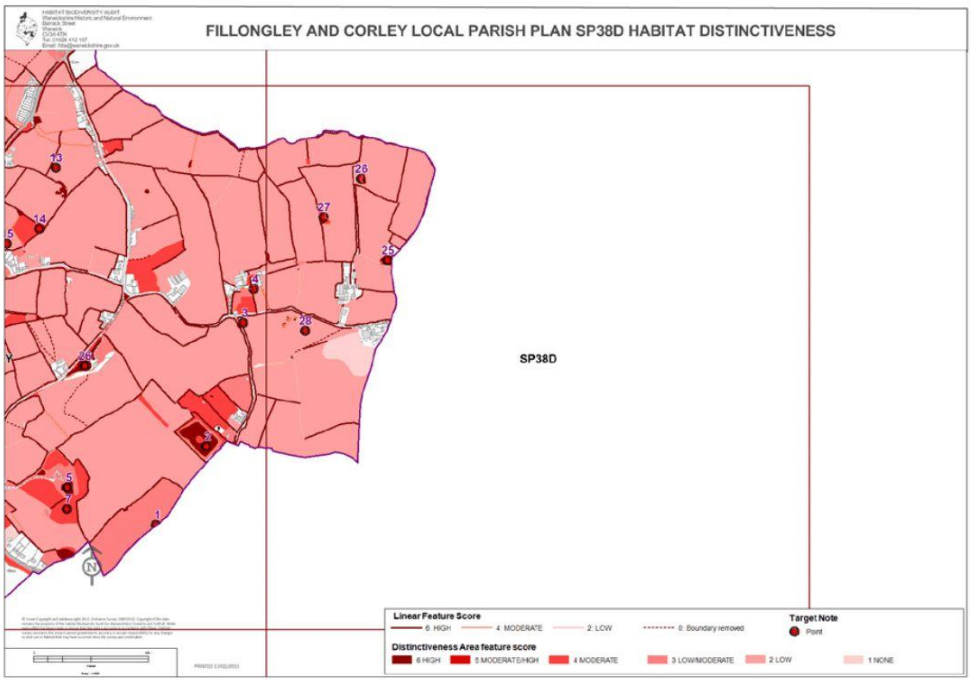
Tetrad SP28Z



Reference	Survey Date	Grid Reference
Ref:SP28Z13	Survey Date:05/12/2007	Grid reference:SP2873688478

Visited on 05/12/07 by ALA, AM. Barn owl regularly roosts nests here in summer.

Tetrad SP38D



Reference	**Survey Date**	**Grid Reference**
Ref:SP38D25	Survey:Date:01/10/1997	Grid reference:SP3044687359

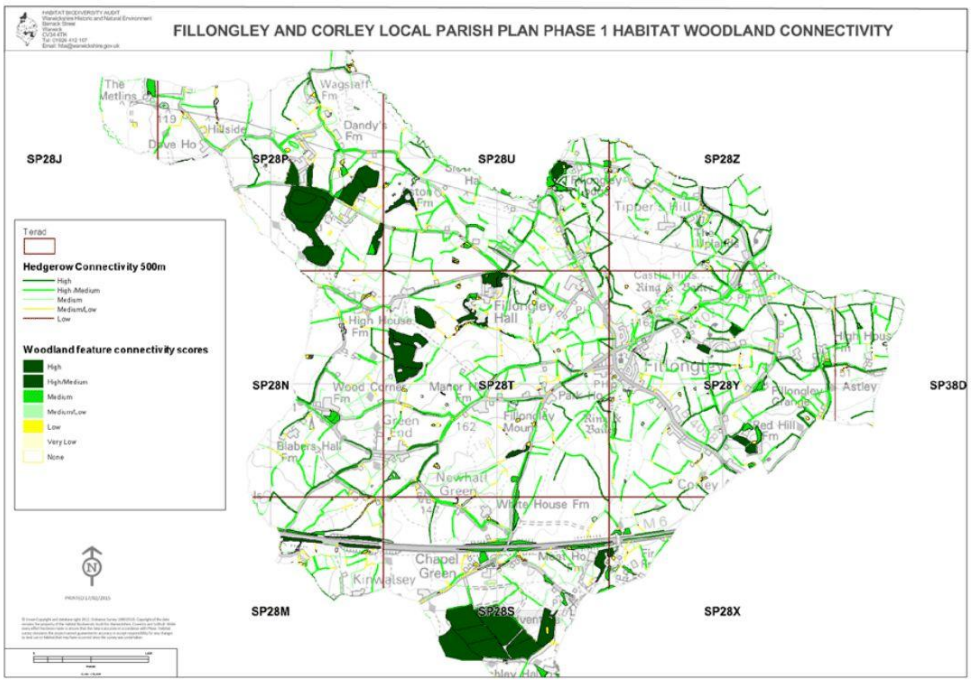
Sizeable manmade pool used for fishing. Little vegetation apart from some small stands of pool has steep banks and is lined with willow.

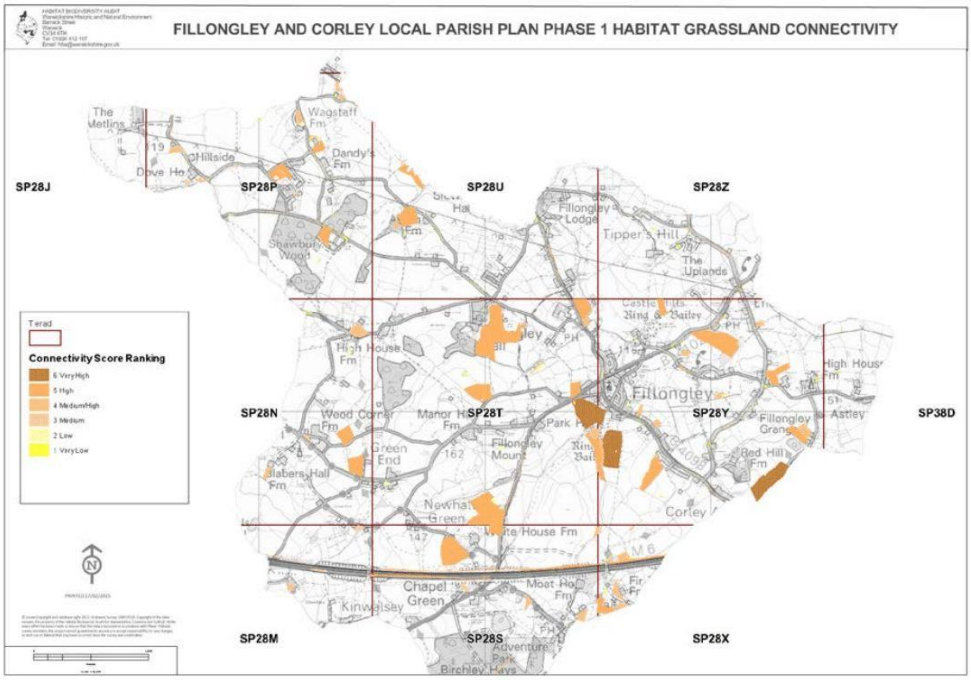
Ref:SP38D26 Survey Date:01/10/1997 Grid reference:SP3034987660
Pool used as a drinking hole for cattle. Water level quite. low and has been taken over by Typha latifolia.)Waterplantain,. nodding bur marigold, celery leaved crowfoot, brooklime,. Callitriche sp. are all frequent within the small area of remaining. water with some areas becoming grassed over surrounded by dense. hawthorn, elder, honeysuckle, dog rose with occasional oak.

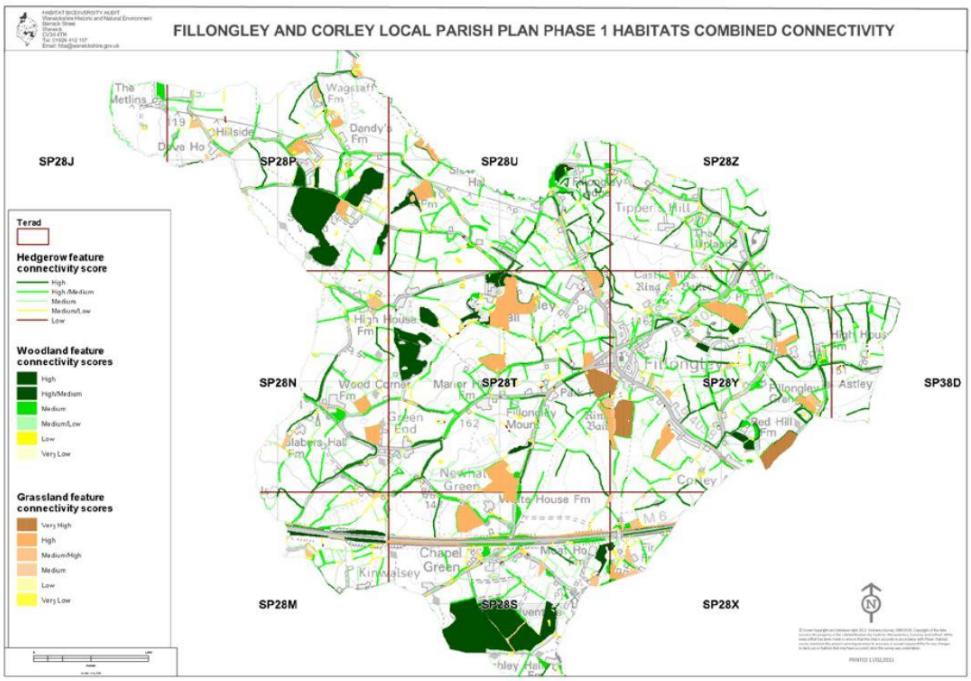
Ref:SP38D27 Survey Date:01/10/1997 Grid reference:SP3021087517
Large over shaded pool in which the water level is very low.. Dense scrub has taken over the site with some oak. These include abundant hawthorn with elder, willow and hazel.

Ref:SP38D28 Survey Date:01/10/1997 Grid reference:SP3014287100
Large area of rough but improved grassland containing pill. boxes and some scattered scrub.

PHASE 1 HABITAT CONNECTIVITY

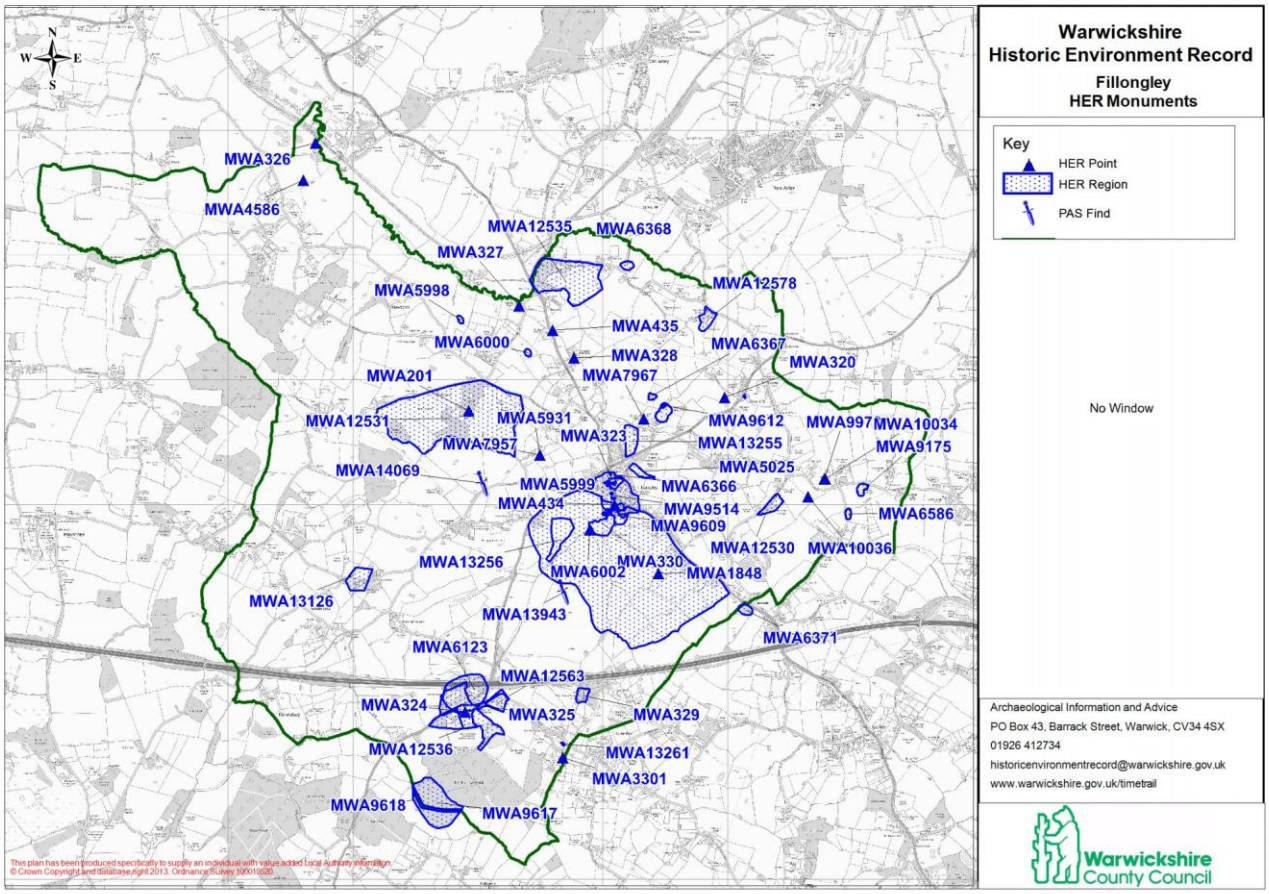





FILLONGLEY AND CORLEY LOCAL PARISH PLAN PHASE 1 HABITATS COMBINED CONNECTIVITY
SP28J
SP28P
SP28U
SP28Z
SP28N
SP28T
SP28Y
SP38D
SP28M
SP28S
SP28X
Terad
Hedgerow feature connectivity score
High
High/Medium
Medium
Medium/Low
Low
Woodland feature connectivity scores
High
High/Medium
Medium
Medium/Low
Low
Very Low
Grassland feature connectivity scores
Very High
High
Medium/High
Medium
Low
Very Low

Appendix 5

Fillongley Parish Historic EnvirRecord Monuments (EB06/04)



Appendix 9

Flood Alleviation Report 2010 (ref EB 08/06)

BOURNE BROOK CATCHMENT & FLOOD ALLEVIATION STUDY, FILLONGLEY, NORTH WARWICKSHIRE
July 2010

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1 Introduction

The village of Fillongley is located towards the south east boundary of North Warwickshire Borough and 6.2 miles north west of Coventry city centre. The Bourne Brook runs from south to north through the village and is a tributary of the River Tame. For details of the catchment refer to Plan 1 in Appendix A.

The upstream catchment consists of two valleys which are approximately 95% rural. High up in the catchment there is dense woodland but agricultural farming is the most common type of land use with grazing land for live stock being the second. There are small hamlets and clusters of properties and farming units dotted around the catchment but besides a contribution from the M6 motorway there are no real significant built up urban areas.

The Bourne Brook is formed from smaller drainage ditches in two separate valleys upstream of Fillongley. The ditches form two main watercourse channels, one in each valley, and pick up runoff from the M6 motorway as well as contributions from the greenfield areas. The M6 discharges into the two watercourses at three different points, two directly into one of the two main watercourses and at a third point into drainage ditch which joins the main watercourse channel further downstream.

The two watercourses then flow directly to the Fillongley castle ruins which are 300m south of Fillongley village, flowing through the old moats of the castle before merging into one brook, the Bourne Brook on the north side of the castle. The watercourse then meanders into the village where it discharges to two 900 mm diameter brick culverts at the rear of the Manor House public house. The culvert then flows under the Coventry Road in a large s-bend shape curve and along Church Lane. The culvert issues in the rear of the gardens of the properties in Church Lane into an open channel which have been altered to suit residential requirements. The open watercourse flows though the remainder of the village where another tributary joins at Little London, before exiting the village under the Nuneaton Road Bridge and onwards into the fields downstream of Fillongley.

The watercourse then merges with the Didgley Brook and flows north west merging with several other watercourses before joining the River Tame.

The aim of this report is to greatly reduce the affects of flooding to the village of Fillongley. This will require a multi-agency response to fund aspects of the required works to be carried out in the near future.

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2 Background

There is a long history of flooding in the centre of Fillongley Village from the Bourne Brook watercourse. Anecdotal evidence in the form of old photographs is available from some of the local residents and also in the local public house; The Manor House. However there is no detailed information of the dates of these events or supporting information of the duration and intensity of the accompanying rainfall.

More recently there have been two significant flooding events for which a greater amount of observational data can be obtained. These occurred on the 20th July 2007 and 13th December 2008. Evidence of the effects of flooding from these two events is contained in Appendix C.

2.1 Flooding Event - 20th July 2007

Analysis of the rainfall event from the Met Office indicates that between 50mm and 75mm of rainfall occurred. This heavy and prolonged rainfall event was caused by a slow moving area of low pressure and associated frontal system.

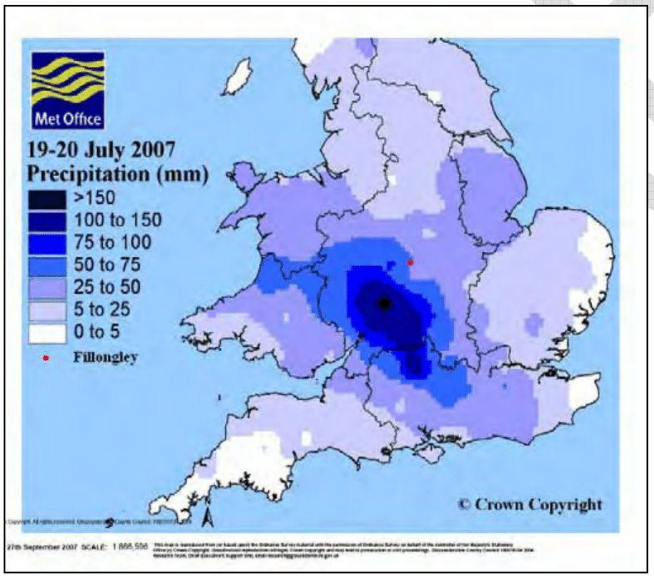

Figure 1 – Met Office Data for 20th July 2007

Whilst this level of rainfall is not entirely unusual it was coupled with extremely wet antecedent conditions. Further information from the Met Office indicates that during June and July 2007, the amount of rainfall was 200 to 250% higher than average in the North Warwickshire area. This is further confirmed by an analysis of the local Soil Moisture Deficit (SMD) during this period. This is a measure of the amount of rainfall required to be added to the soil to restore it to field capacity. An average value

for July is about 75mm – 100mm which indicates that this is the quantity of rainfall which can be absorbed in the soil. However, the SMD value for July 2007 was about 1mm which indicates that the ground was already saturated when the event occurred. These are the sort of antecedent conditions normally associated with winter rainfall events and it is unusual for them to occur in the summer.

The consequence of this rainfall event was to cause high surcharge at the culvert inlet in the village. Ultimately the pressure from the static head of water forced the brick wall around the culvert inlet to fail and the centre of the village was flooded. As the water levels continued to rise flood water was routed along Church Lane and flooded a number of low lying properties. Properties which are at risk of flooding are shown on Plan 2 in Appendix A.

2.2 Flooding Event - 13th December 2008

The effects of this rainfall event were recorded by one of the residents and are contained in Appendix C. It was also possible to obtain rainfall data for this event from a local rain gauge which had been deployed by a flow survey contractor.

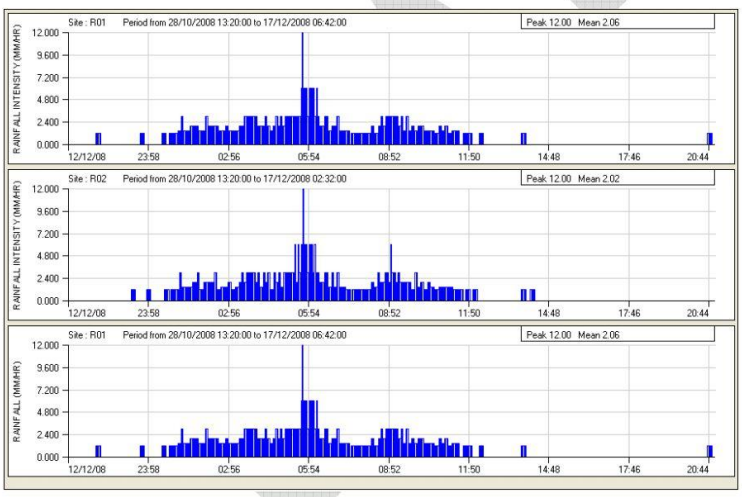

Figure 2 – Rainfall Intensities and durations for 13th December 2008.

This rain gauge indicated that 23 mm of rainfall occurred in approximately 12 hours on the 13th December. This is not particularly excessive rainfall and would equate to a return period of about 1 in 1 year (Flood Studies Report methodology). The SMD value for Warwickshire for December 2008 was again about 1 mm which compares to an average for this time of year of 10 mm. So again this indicates that the preceding conditions are critical to flooding as well as the depth and duration of rainfall.

2.3 Third Party Ownerships and Liaison

The Bourne Brook has the status of an ordinary watercourse. Whilst North Warwickshire Borough Council (NWBC) has permissive powers to carry out flood defence works, there are also a number of other parties that have responsibilities and contributions to the performance of the watercourse.

NWBC – have overall responsibility for the ordinary watercourses within the Council boundary.

Warwickshire County Council (WCC) – the highway authority responsible for the culverted section of the Bourne Brook which runs beneath the public highway and footpaths. They are also responsible for any highway drains which discharge to the Bourne Brook.

Highways Agency (HA) – responsible for the M6 motorway which discharges un-attenuated runoff to the head of the Bourne Brook.

Various riparian owners – where the Bourne Brook runs through privately owned land, the land owner has "riparian" ownership of the watercourse and is responsible for the maintenance of that section. These include Punch Taverns who own the Manor House PH and various private residences.

Severn Trent Water – are responsible for the public surface water sewers which discharge to the watercourse.

NWBC has contacted the Highways Agency (HA) with a view to include them in the problem solving process and to obtain the original drawings of the M6 drainage plans.

Severn Trent Water has been contacted to investigate the storm water and foul combined sewer system

WCC has been contacted to look at the surface water run off and as a riparian owner for a large section of culvert. An internal survey of the village culvert for its length within the public highway was commissioned by WCC any obstructions were removed at the time of the survey. A length of the culvert was also subsequently relined.

Other works which also been carried out include securing an eroded bank using a gabion retaining wall and the channel realigned to line up with the Nuneaton Road Bridge.

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3 Modelling Methodology

3.1 Model Build

To provide a tool for the analysis of the Bourne Brook, a computer hydraulic model was required. Modelling was carried out using InfoWorks RS produced by Wallingford Software. As a basis for the model a topographical survey was carried out of the main watercourse channel and flood plain.

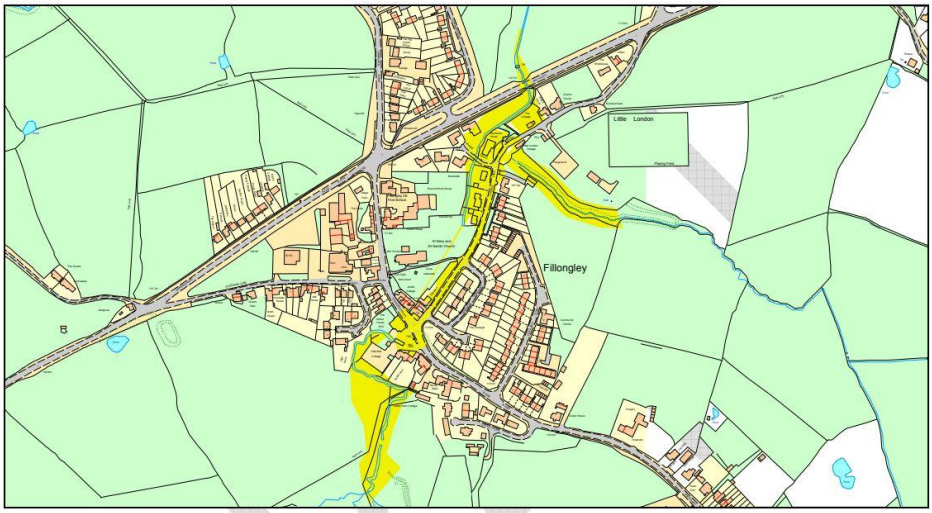

Figure 3 – Extent of Survey Work (Highlighted Yellow)

The model included a representation of the main watercourse channel from the Ancient Monument which is about 300m upstream of the village. The model includes the culverted section of the watercourse through the centre of the village. The culvert consists of a twin 900mm barrel circular pipe. The model also includes a representation of the known flooding mechanism in the centre of the village. The headwall around the culvert inlet is included as a weir which spills to a storage area in the centre of the village. The storage area can also spill to Church Lane which acts as a natural flood route. The above ground flood route along Church Lane discharges back into the main channel further downstream adjacent to the Little London tributary.

3.2 Model Hydrology

Inflows into the model have been generated using the Flood Estimation Handbook (FEH) and the revitalised Rainfall Runoff Method. The details of the calculation of flows for the 100 year event for the Bourne Brook and the Little London Tributary are contained in Appendix B.

	Catchment Inflows				
	100 Yr (m3/s)	**75 Yr (m3/s)**	**50 Yr (m3/s)**	**25 Yr (m3/s)**	**10 Yr (m3/s)**
Bourne Brook Inflows	3.3	3.1	2.8	2.4	1.9
Little London Tributary Inflows	0.9	0.9	0.8	0.7	0.5
Total Inflows	**4.2**	**4.0**	**3.6**	**3.1**	**2.4**

Table 1 – Catchment Hydrology

3.3 Model Flood Mechanisms

The pipe full capacity of the culvert through the village is 1.4 m^3/s, which is exceeded by all of the design events. The lack of capacity in the culvert is the primary cause of flooding in the catchment. The flooding mechanisms are shown on Plan 3 in Appendix A.

The flooding mechanisms included in the model are:

- Culvert capacity is exceeded and water levels rise at the culvert entrance. The top of the wall around the culvert inlet is at a level of 115.1mAOD. This has been modelled as a weir which directly to the centre of the village. In reality (and also in the model) it is unlikely that the wall will over top at this location because there are a number of other mechanisms which will relieve the system first.

- The lowest gulley in the village is outside of the Post Office and has a level of 113.3mAOD. This has been represented in the model to allow water to back-up the gulley connection and flood the road. The level of this gulley is only 0.65m above the culvert invert although it does require additional head to pressurise the system. Although this is the first location to flood there are a number of other gulley connections in the village which will also flood if the water level continues to rise. **(Flood Mechanism A)**

Flood Mechanism A

- The brickwork around the headwall is in a poor condition. Water can therefore escape through the gaps in the mortar. This has been modelled but the extent to which it occurs has been estimated. This can occur when the water level rises above the external ground level at 114.0mAOD which is 1.6m above the culvert invert. **(Flood Mechanism B).**

Flood Mechanism B Flood Mechanism C

- Further upstream from the culvert inlet in the rear garden of the Manor House PH the wall protecting the surrounding areas drops to a lower level of 114.75mAOD which is 2.3m above the culvert invert. This has been modelled as a weir which spills directly to the centre of the village. **(Flood Mechanism C).**

- It also known that the event on the 20th July 2007 caused the wall around the culvert entrance to collapse. This process has not been represented in the model. However assuming that this does not normally occur, the final flooding mechanism will be the wall being breached at a level of 115.1mAOD. **(Flood Mechanism D).**

Flood Mechanism D

3.4 Model Results

The model has been simulated using a range of design return period rainfall events (10yr, 25yr, 50yr, 75yr and 100yr). The critical duration for the catchment was found to be 14 hours in accordance with the FEH procedure.

The model shows that flooding is predicted to occur for all events which have been simulated. The lowest property threshold level is 113.4 mAOD at the Post Office. This is exceeded by the 10 year event where a water level of 113.799 mAOD is predicted. For the 100 year event a water level of 113.975 mAOD is predicted.

This is corroborated by the known flooding history. In section 2.2 it was shown that the event was in the region of a 1 year event. The observed flood levels for this event are less than the predicted flood levels for the 10 year event. To provide further confirmation of the performance of the model it is intended to simulate a 1 year design event and compare the predicted levels with the observed levels taken from photographs for the 13th December 2008.

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4 Impact of the M6 Motorway

As built construction drawings of the M6 were provided to NWBC by the Highways Agency, Management Agency Contractor for Area 9 (MAC9). At the time of request Optima were the MAC 9 agent, who has since been replaced by Amey Highways. This information has enabled more concise analysis to be undertaken of the contributing area of the M6 to the catchment.

An analysis has been carried out of the contribution to the overall catchment runoff of the M6 motorway.

	Catchment Inflows				
	100 Yr (m3/s)	**75 Yr (m3/s)**	**50 Yr (m3/s)**	**25 Yr (m3/s)**	**10 Yr (m3/s)**
Total Inflows	4.2	4	3.6	3.1	2.4
Motorway Runoff Contribution	0.76	0.7	0.62	0.5	0.37
Percentage Contribution from Motorway	18%	18%	17%	16%	15%

Table 2 – Percentage runoff contribution from M6 motorway

This table shows that the contribution from the M6 motorway is significant but it is not the main source of runoff in the catchment. The model has been simulated with a 100 year event with all of the motorway contribution removed. This was not sufficient to prevent flooding from occurring but did reduce the impact.

Recommended Action: - flood routing from the M6 should be examined in more detail. A possible solution would be to ascertain if there was sufficient space within the confines of the M6 boundary to provide a swale or pond storage system to attenuate the flows.

As an alternative, negotiations should take place with the MAC 9 agent to provide a percentage of the costs towards flood alleviation works elsewhere. There is currently no legal obligation for the Highways Agency to make a contribution for motorway runoff and the right of connection to the watercourse cannot be removed.

5 Proposals to Alleviate Flooding

The information compiled in the first sections of the report has formed the basis for the various scheme options. An estimated cost of constructing the schemes has also been determined. **These costs do not allow for feasibility, design, contract preparation, or supervision costs, or any works proposed to the various organisations or private individuals involved.**

A summary of the effects of each of the options is given in the following table followed by a more detailed discussion of each of the options and the advantages and disadvantages of each.

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	Flood Volume m^3								
		Option A	Option B	Option C	Option D	Option E1	Option E2	Option E3	Option E4
Event	**Existing**	**Fit Non-Return Valves to highway and private gullies**	**As Option A with 5,200m3 balancing pond upstream**	**As Option A with reconstruction of 35m of headwall**	**As Option C with 6,700m3 balancing pond upstream**	**Temporary flood barrier around Bell Cottages (36m)**	**Temporary flood barrier around Manor House Pub (47m)**	**Temporary flood barrier around Post Office (60m)**	**Temporary flood barrier around Church Lane (82m)**
10yr	457 m^3	30 m^3	30 m^3	0	0	0	0	0	0
25yr	1,936 m^3	1,292 m^3	1,052 m^3	0	0	0	0	0	0
50yr	4,584 m^3	3,777 m^3	2,497 m^3	0	0	0	0	0	0
75yr	6,767 m^3	5,911 m^3	3,553 m^3	1,334 m^3	0	0	0	0	0
100yr	8,703 m^3	7,947 m^3	4,109 m^3	3,127 m^3	0	0	0	0	0
Cost		**£63,100**	**£640,821**	**£170,000**	**£918,064**	**£14,700**	**£8,500**	**£24,500**	**£14,800**

Table 3 Comparison of the Effects of Each Option on Predicted Flood Volume (m^3)

As a comparison of where the events recorded over the last couple of years would equate to these events. The event on 20th July 2007 would be between the 25 year and 50 year event. The event on the 13th December 2008 would be less than the 10 year event.

5.1 Option A – Gulley Isolation

This option proposes to alleviate the flooding from flooding mechanism A which was identified in section 3.3. The first cause of flooding in the village occurs when water backs up through the highway gullies and floods the highway. This option involves fitting non-return valves to all of the surface water sewers and highway drains which discharge directly to the brook. This will prevent flows from backing up and flooding out of the highway gullies.

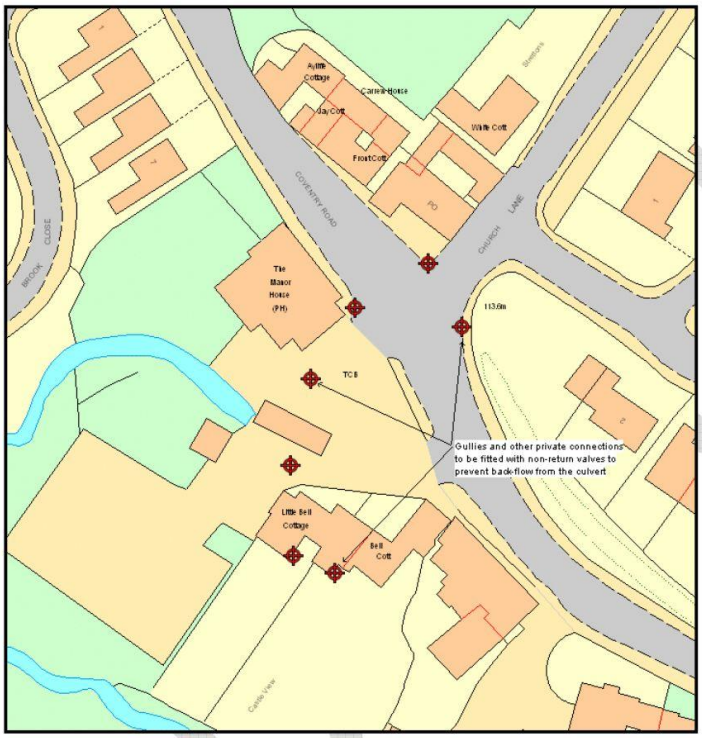

Figure 4 – Option A

As shown in Table 3 this option does not prevent flooding for any of the design events but it does reduce the volumes significantly.

5.1.1 Environmental Impact

The works are all within the existing highway and non highway areas. There will be some low level excavations within the highway but the environmental impact of these will not be significant.

5.1.2 Advantages

- Relatively low construction cost.

- Good level of protection for events of less than 50 year return period.

5.1.3 Disadvantages

- Detailed surveys will be required to discover where all the gulley connections are. The option has been based on five new manholes with non-return valves and connecting pipe work. The assumption has also been made that the location of existing utility services will allow sufficient space for these proposals. As part of the feasibility works it will be necessary to investigate utility and gulley locations to ensure that this option can be constructed. It should therefore be noted that the cost of this option may be subject to change.

- This option relies on being to identify every direct connection to the culvert. It is known that some of the properties have private surface water connections onto the watercourse. There is a risk that if any connections are missed then they will continue to flood despite all the measures taken elsewhere.

- There is a risk that the culvert pressurising will cause damage to road surface or manhole covers under surcharge conditions. It will therefore be necessary to carry out a structural assessment of the carriageway construction. This would be carried out at the feasibility stage and could potentially prevent the scheme from going ahead.

- There is a residual risk with this option that flooding will continue to take place. The non-return valves will prevent back flows from the watercourse from flooding out through the road gullies onto the highway and surrounding areas. However, when the valves close off to prevent back flows they will also prevent runoff from the highway from draining away. The volume of highway runoff will be significantly less than the back flows from the water course. This effect will therefore need to be fully quantified and considered during the feasibility stage. It may be possible to mitigate the effect by providing some localised storage on the surface water system.

- There will be some disruption to village traffic during works.

- It will be necessary to obtain third party permission (STW, highway authority or residents). There is no reason why this permission would be withheld but this could potentially affect the progress of the scheme.

5.2 Option B – Gulley Isolation with Storage (5,200m^3)

This option includes the details of Option A (gulley isolation) but also has the provision of storage in the fields upstream of Fillongley to attenuate the flows.

A storage area of approximately 5,200m3 to be excavated in the fields up stream of Fillongley and the gully connections are to be retro fitted with non-return valves to isolate them from the culvert structure in the event of a surcharge state.

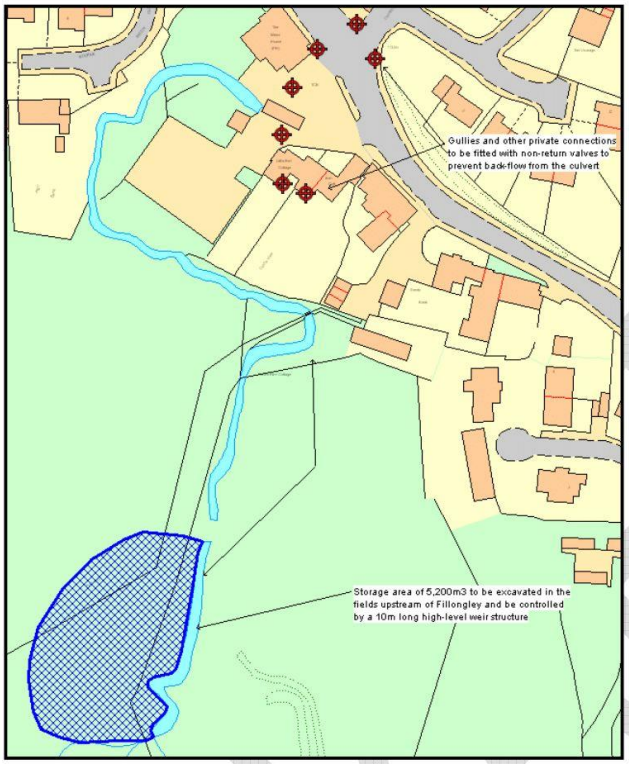

Figure 5 – Option B

5.2.1 Environmental Impact

As this option requires significant ground excavations in the vicinity of the watercourse, an Environmental Impact Assessment is likely to be required.

5.2.2 Advantages

- Significantly reduction in the flooding for all events.

5.2.3 Disadvantages

- This option has the same disadvantages as Option A as well as some others.
- Despite the cost this option does not fully mitigate the flooding for any storm event.
- There are possible land acquisition issues for the storage pond. For the purposes of this assessment the location of the storage pond has not been explored in detail. It would be beneficial to locate the storage area upstream of the ancient monument site as this will mitigate exposures to planning delays. A check on the land upstream of the ancient monument has

revealed that there is "no registered estate". This may therefore delay proceedings whilst due process is followed to establish if there is a land owner.

- Agreement with land owners will also be necessary for access during the construction phase and for maintenance. This may well delay or potentially stop the proposals being implemented.

5.3 Option C – Gulley Isolation and Headwall Reconstruction

This option contains all the elements of option A but additionally the wall surrounding the watercourse adjacent to the manor house public house is to be demolished and reconstructed, using waterproofing and retaining measures. This will effectively protect the village from flooding mechanisms A, B and C which were discussed in Section 3.3. This will increase the head on the system and increase the pressurising of the culvert.

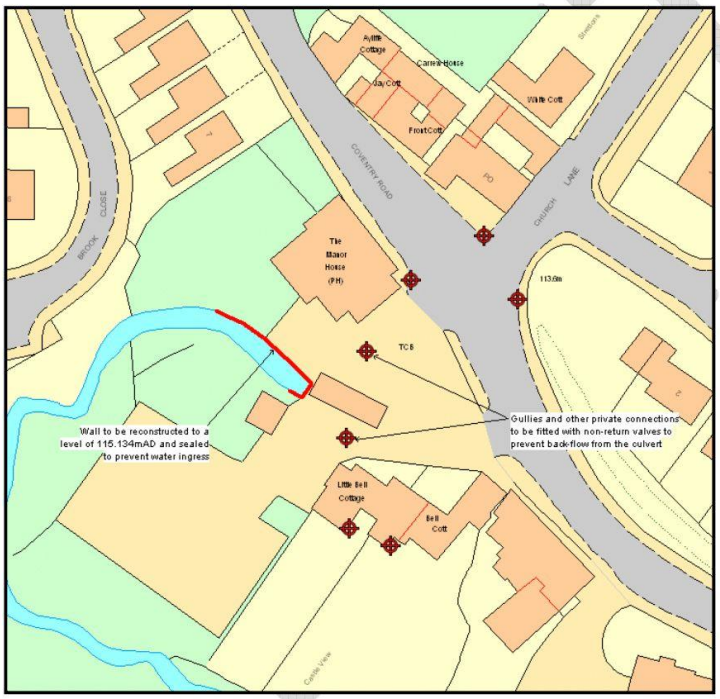

Figure 6 – Option C

5.3.1 Environmental Impact

As this option requires construction work directly over the watercourse an Environmental Impact Assessment is likely to be required.

5.3.2 Advantages

- Predicted flooding prevented for up to 50 year flood periods.

- Relatively low construction cost.

5.3.3 Disadvantages

- This option has the same disadvantages as Option A but also has some additional ones to be considered.
- Work on the wall would require third party agreement with the Brewery (Punch Taverns). There is no foreseeable reason why this would be withheld but the negotiations may delay the process.
- A foot bridge in the pub garden would need to be removed or altered to make allowance for the retaining wall.

5.4 Option D - Gulley Isolation and Headwall Reconstruction with Balancing Pond (6,700m³)

This option includes the details of Option C (gulley isolation and wall reconstruction) but also has the provision of storage in the fields upstream of Fillongley to attenuate the flows.

This option would require a two pond system. The favoured location for the two pond system would be upstream of the castle. This would be constructed by excavating and using the excavated material to construct a small embankment. At its base would be a 1250m diameter culvert with a penstock flow control device that can be adjusted to control the depth of water in the pond. There would be the need to provide an overtopping spillway which could be constructed using reinforced grass so that should flows exceed the design storm event of 1 in 100 years the flows can flood route on at this location.

Access roads can be constructed from high ground to allow for maintenance and inspections to be carried out when required in flooding periods.

The sites are currently are not agriculturally cropped and appear to be set aside for grazing land or for natural and wild flow meadow that could transform into a holding area with improved habitat area and could become a location of special scientific interest home to many species of wildlife with a dipping platform that can be used by local schools.

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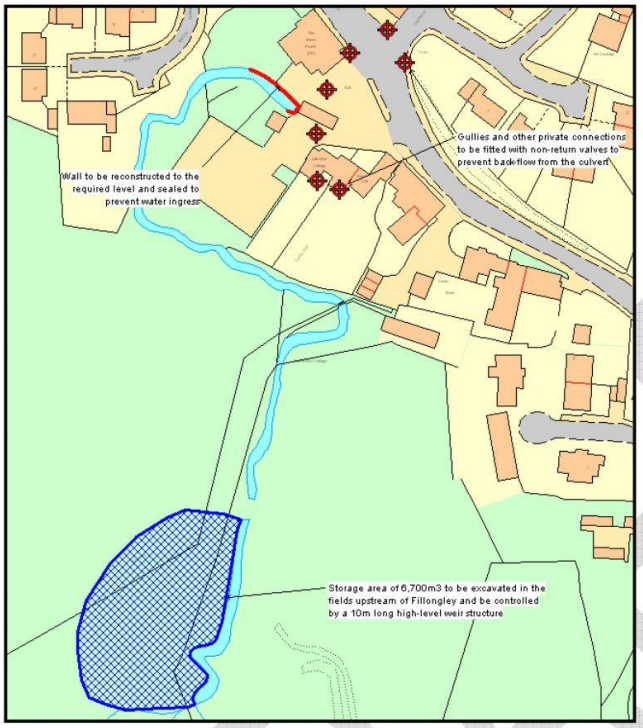

Figure 7 – Option D

5.4.1 Environmental Impact

As this option requires construction work directly over and adjacent to the watercourse an Environmental Impact Assessment is likely to be required.

5.4.2 Advantages

- The construction of the balancing pond area may offer an opportunity to encourage wild life and plants. This could be used for the local schools to visit to see a habitat area.
- Predicted flooding is prevented for events up to 100 year return periods.

5.4.3 Disadvantages

- This option has the same disadvantages as Option C but also has some additional ones to be considered.
- There are possible land acquisition issues for the storage pond. For the purposes of this assessment the location of the storage pond has not been explored in detail. It would be beneficial to locate the storage area upstream of the ancient monument site as this will mitigate exposures to planning delays. A check on the land upstream of the ancient monument has

revealed that there is "no registered estate". This may therefore delay proceedings whilst due process is followed to establish if there is land owner.

- There would be a long term inspection and maintenance issue for the balancing ponds.
- Significant construction cost to construct flood storage area.

5.5 Option E – Temporary Flood Barriers

This option includes the provision of demountable flood barriers at four separate locations. Each of these locations could be promoted in isolation from the other, for this reason sub-options have been designated for each location. The flood barrier would have to be manually deployed when a flood is imminent. As they are dependent on manual intervention there is a risk of failure if a sudden flood occurs overnight.

There are a multitude of flood barrier products available on the market. For the purposes of this assessment the costs are based on a simple self-weighting barrier. These require the weight of the incoming flood water to provide ballast and are at the low-cost end of the market.

Figure 8 – Typical Self-Weighting Flood Barrier

Other types of products are available, including self-closing flood barriers, but the costs vary considerably. A full assessment of the different products should be undertaken and the relative advantages and disadvantages of each considered.

NWBC has secured funding from the Department of Environment, Food and Rural Affairs (Defra) for property-level flood protection measures to be implemented at the 14 properties which are at risk of flooding. This is provided so that each property can be provided with flood protection measures at the point that water enters the property. From initial discussions with Defra's representatives it does not appear that this funding could be used to contribute to Option E solutions as these options protect groups of properties and not individual properties.

This type of solution relies on the intervention of a local flood warden or the local residents to be effectively deployed. As the response time of the watercourse to rainfall is likely to be less than an hour, it will be necessary to act quickly to ensure that the flood barriers can be deployed in time. As the water course is not a Main River it will not be part of the flood warning system operated by the Environment Agency. The only currently available warning system would be to use the Met Office severe weather warnings. However, these are indicative of weather only and not an indication that flooding is likely to occur. To provide adequate warning of an imminent flood it is recommended that a flood warning system is utilised in the village. Initial discussions with a manufacturer have identified a mechanism for doing this. It is proposed to use two wall mounted water sensors fitted to the headwall around the culvert inlet. The height of the monitors would be set so that one gave an early warning of the rising water levels and the second a final warning of impending flood. They would be linked to a modem and mobile phone sim card so that a text message could be sent to a number of pre-set mobile phone numbers. The cost of the flood warning system has still to be finalised so it has not been included in these option costs but it will be explored in more detail if this option is promoted.

5.5.1 Option E1 – Temporary Flood Barriers at Bell Cottages

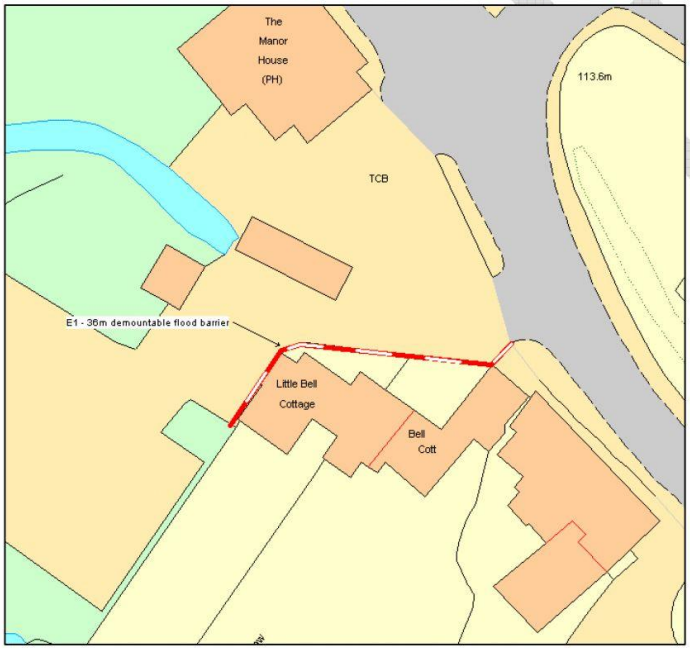

Figure 9 – Option E1

This option would effectively isolate Little Bell Cottage and Bell Cottage from the flood water. Due to the topography of the surrounding ground the properties cannot flood from the rear. When deployed this barrier would block the footpath on the south side of Coventry Road. It would therefore need to be agreed with the Highway Authority so that it can be deployed in an emergency. From discussions with

the Environment Agency it is understood that permission has been granted by other Highway Authorities for such measures.

5.5.2 Option E2 – Temporary Flood Barriers at Manor House PH

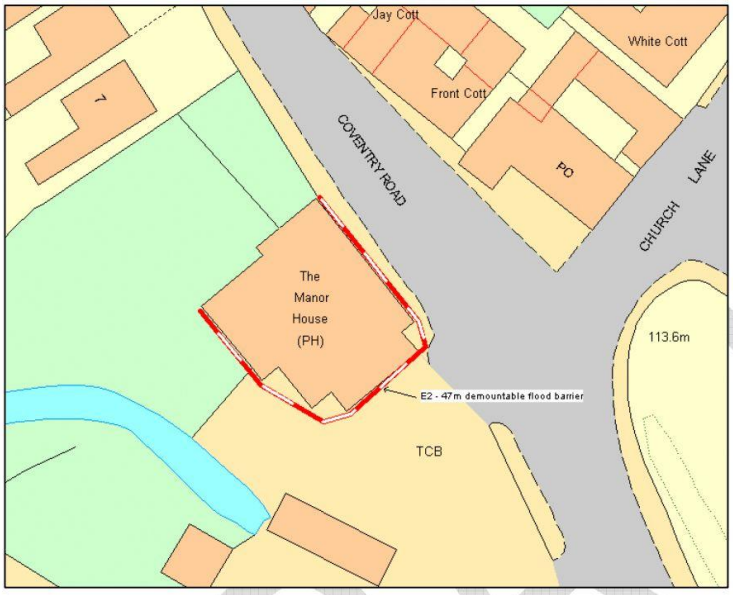

Figure 10 – Option E2

This option provides a temporary flood barrier to protect The Manor House PH in isolation from all other properties. Due to the topography of the ground The Manor House will not be subject to flooding from the north west side. The Manor House is also used as a private residence by the landlord so this barrier will not just be protecting a commercial property.

5.5.3 Option E3 – Temporary Flood Barriers at Post Office

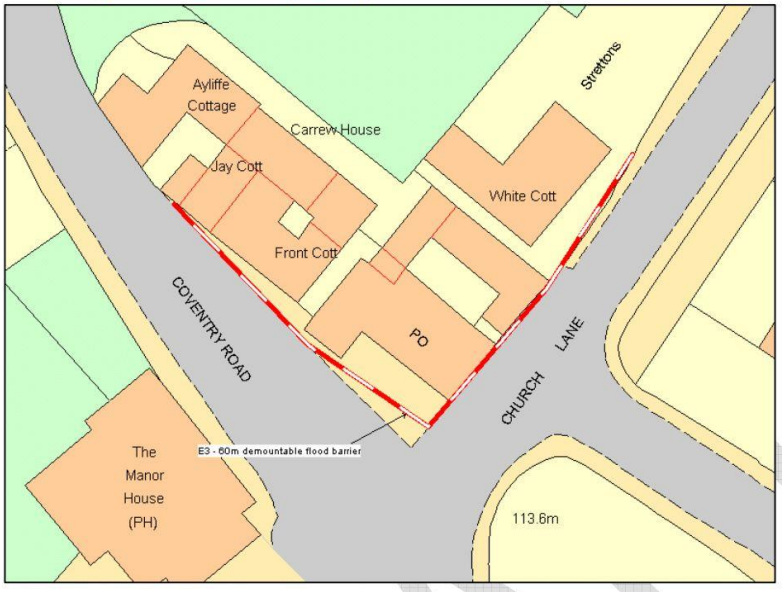

Figure 11 – Option E3

This option provides a temporary flood barrier to protect the cluster of properties at risk of flooding around the Post Office. When deployed this barrier would block part of the footpath on the north side of Coventry Road. It would therefore need to be agreed with the Highway Authority so that it can be deployed in an emergency. From discussions with the Environment Agency it is understood that permission has been granted by other Highway Authorities for such measures.

5.5.4 Option E4 – Temporary Flood Barriers at Church Lane

Figure 12 – Option E4

This option provides a temporary flood barrier to protect the three properties at risk of flooding along Church Lane. The flood barrier would protect the properties from flood waters which have been routed along Church Lane from the centre of the village. It would not protect the properties from flood water directly from the watercourse in the rear gardens. From the analysis carried out the greater flood risk comes from the centre of the village as the culvert is the main restriction. When deployed this barrier would block part of the footpath and highway around Church Lane and Adkins Croft. It would therefore need to be agreed with the Highway Authority so that it can be deployed in an emergency. From discussions with the Environment Agency it is understood that permission has been granted by other Highway Authorities for such measures.

5.5.5 Environmental Impact

As these are temporary demountable barriers no Environmental Impact Assessment would be required.

5.5.6 Advantages

- These options are relatively inexpensive compared to other flood mitigation measures.
- The flood barriers could be used for other purposes such as traffic delineation.

- They are relatively easy to store and deploy.

5.5.7 Disadvantages

- As this system requires manual deployment there is a risk of failure if there is insufficient time to respond to an event. An integral part of this system would therefore be to fit a high level alarm at the culvert to give warning of imminent flooding.
- The flood barriers would need to be stored somewhere locally.
- They would not be easy for elderly residents to deploy. It would therefore be beneficial to encourage a community flood group to take responsibility for deployment.
- Permission would be required from the Highway Authority so that they can be deployed in an emergency (i.e without referring to the Highway Authority).

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6 Maintenance Issues

6.1 The Fillongley village culvert and downstream watercourse

Trash screens should be constructed at the entrances to the culverted sections of watercourse within the village of Fillongley and on any proposed inlets to control structures within the flood storage areas upstream of the village. This is to safe guard the culverted sections from becoming blocked with debris. Although there are costs associated with the maintenance of the screens this would minimal compared to the costs involved in removing blockages from culverts as this will require specialist contractors and machinery.

The screens should be constructed from suitable materials so that vandalism has minimal effect on them and so that they are structurally sound enough to take the weight of the debris and the water loading.

The screen should be designed so that maintenance crews can use the structures in a safe manner but members of the public are prevented from accessing. Suitable safety fencing, gates and signage should be provided around the site of the screen along with tie off points for the crew. There should be a standing deck and the front face of the screen should be rack able. The screen should stop large debris entering the culvert but should still allow water to flow through the structure even when partly blocked. The structure should include a lockable access point so that the screen does not need to be removed in its entirety when maintenance staffs are checking the culvert for debris and sediment build up. Suitable access ways should be provided to the structures so that maintenance equipments can be brought to the structure by vehicle and then by hand. Access steps should also be provided to gain access to the channel bed in front of the screen. A temporary storage area for debris should be provided out of the area where the debris could be dragged back into the flow, so that material can dry off before transporting it to tip.

The proposed construction of trash screens will require a cleansing and structural inspection regime to be set up overseen by the local authority. Inspections should be carried out to monitor the build-up of debris on the screens and clearance works carried out as required. Failure to undertake inspections and clearance works will ultimately see the screens being blocked and the filling of the watercourse channel upstream before the overtopping of the structure.

The Fillongley catchment is very rural therefore it is envisaged that agricultural and natural waste will form the bulk of the debris collected on the trash screen with a small percentage of urban waste from potential fly tipping. The clearance works should be monitored and recorded on a suitable database with before and after pictures of the works carried out. Any issues arising from the debris collected should be taken up with upstream land owners and with Environmental Health should dangerous material be found.

It is advised that inspections are carried out initially on a high frequency before during and after storm events on an ad-hoc basis and once weekly on a routine basis over the first year. This is so that a history database can be set up of the recorded findings. Once the frequency of blockages is ascertained then

the regime can be a tailored to suit the area. Screens that block more frequently than others can be inspected and cleared on a 4 to 8 weekly basis.

DRAFT

7 Conclusions and Recommendations

This report has demonstrated that there is a risk of flooding to 14 properties in Fillongley. The catchment would appear to be particularly sensitive to flooding during periods when the catchment greenfield areas are saturated prior to a rainfall event. Under such circumstances the village is susceptible to flooding for rainfall events of 1 year return period and greater.

Anecdotal evidence indicates that there is a long history of flooding in the village. The two most recent events in 2007 and 2008 have a reasonable amount of supporting information available.

A hydraulic model has been built of the catchment and watercourse to examine the efficacy of flood prevention options. Each of these options is discussed in more detail in Section 5.

The recommended option is Option C which has a cost of **£170,000** and could be constructed in phases. The first phase would be the gulley isolation which is effectively Option A and has a cost of **£63,100**. The second phase would be to carry out the reconstruction of the headwall and has an additional cost of **£106,900**. When completed the model indicates that these measures would protect the village from flooding up to a 50 year event. There are a number of risks associated with this option which are explained in detail in Section 5.

These costs do not allow for feasibility, design, contract preparation, or supervision costs, or any works proposed to the various organisations or private individuals involved.

It is recommended that negotiations take place with the other stakeholders with a view to obtaining a contribution from them for the preferred option. It would seem to be reasonable that the cost of mitigating the effects of flooding are shared amongst the various agencies which contribute toward the problem. Negotiations should therefore take place with Severn Trent Water, Warwickshire County Council and the Highways Agency.

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8 Appendices

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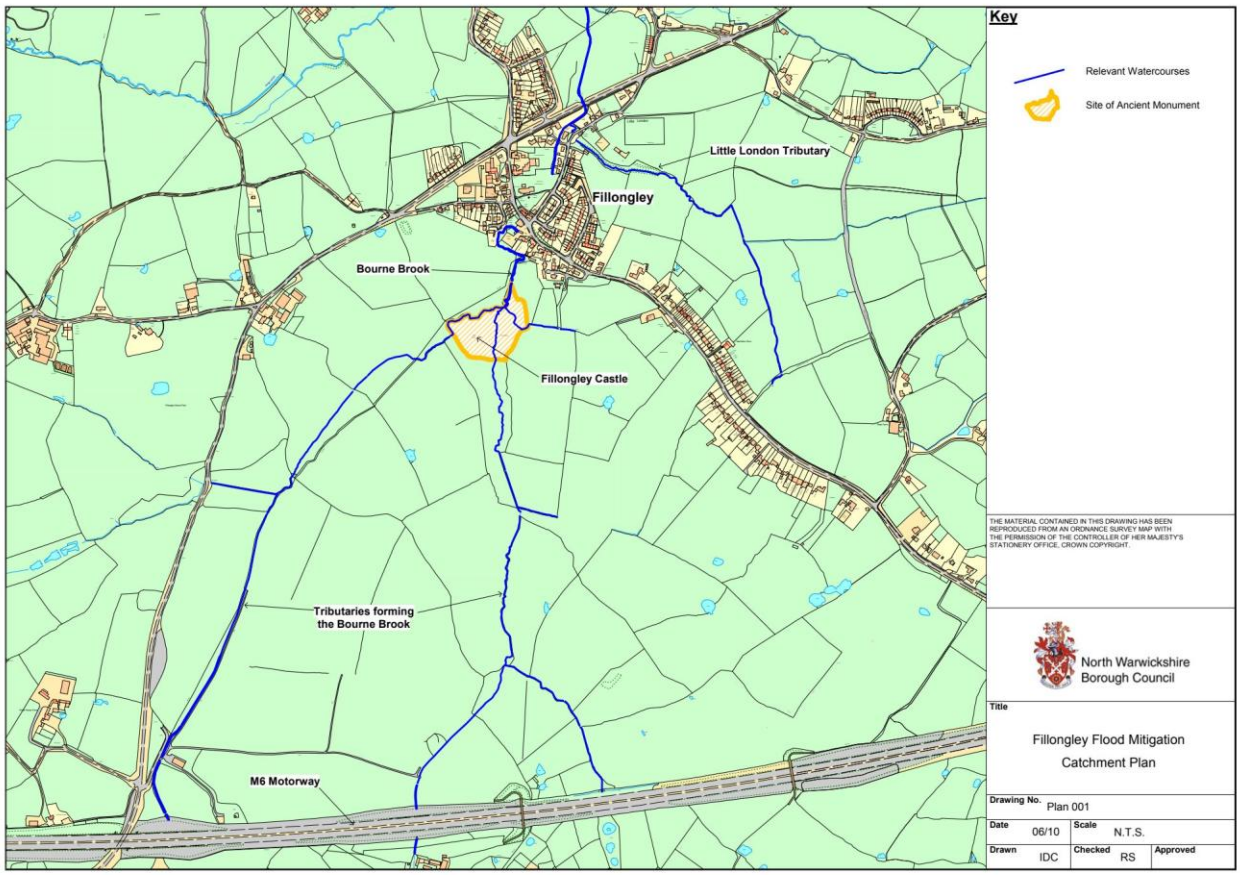
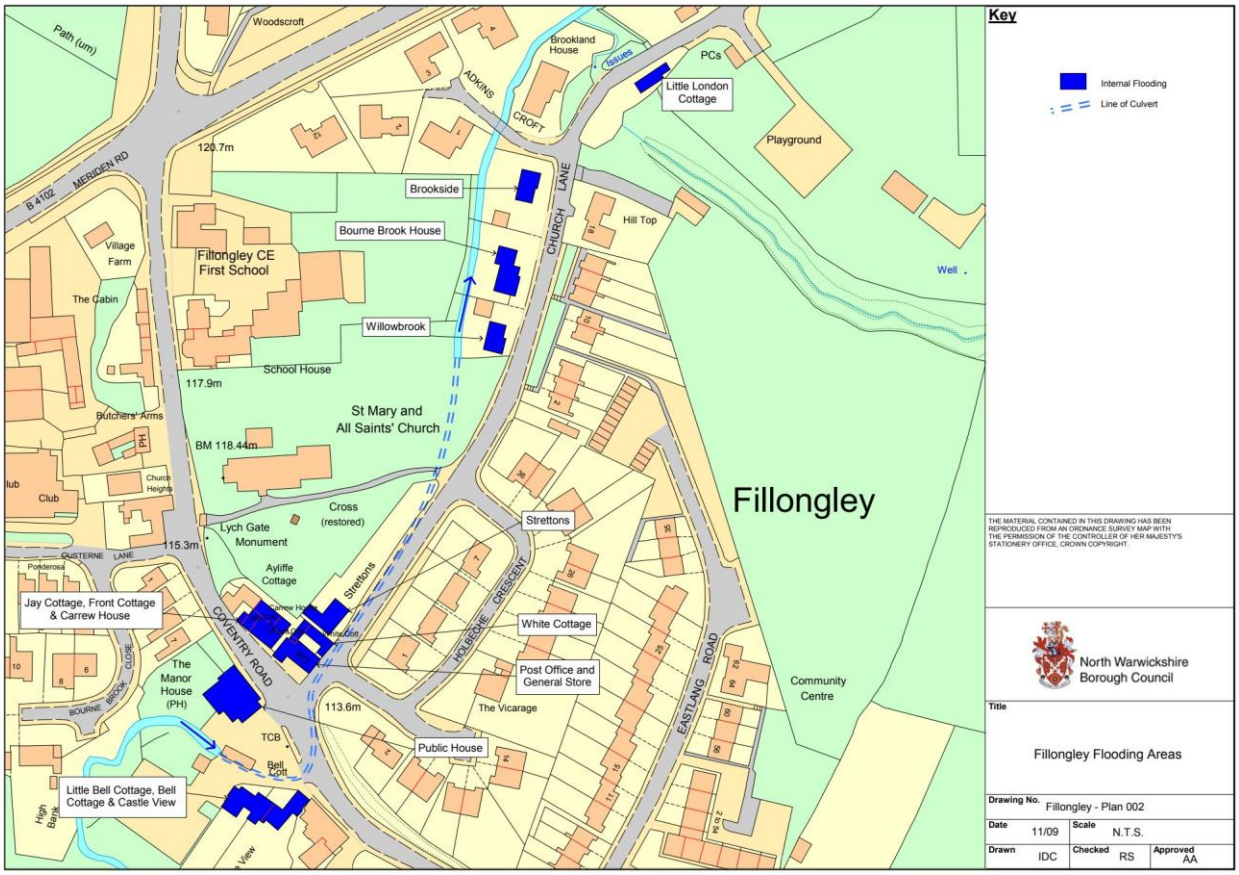
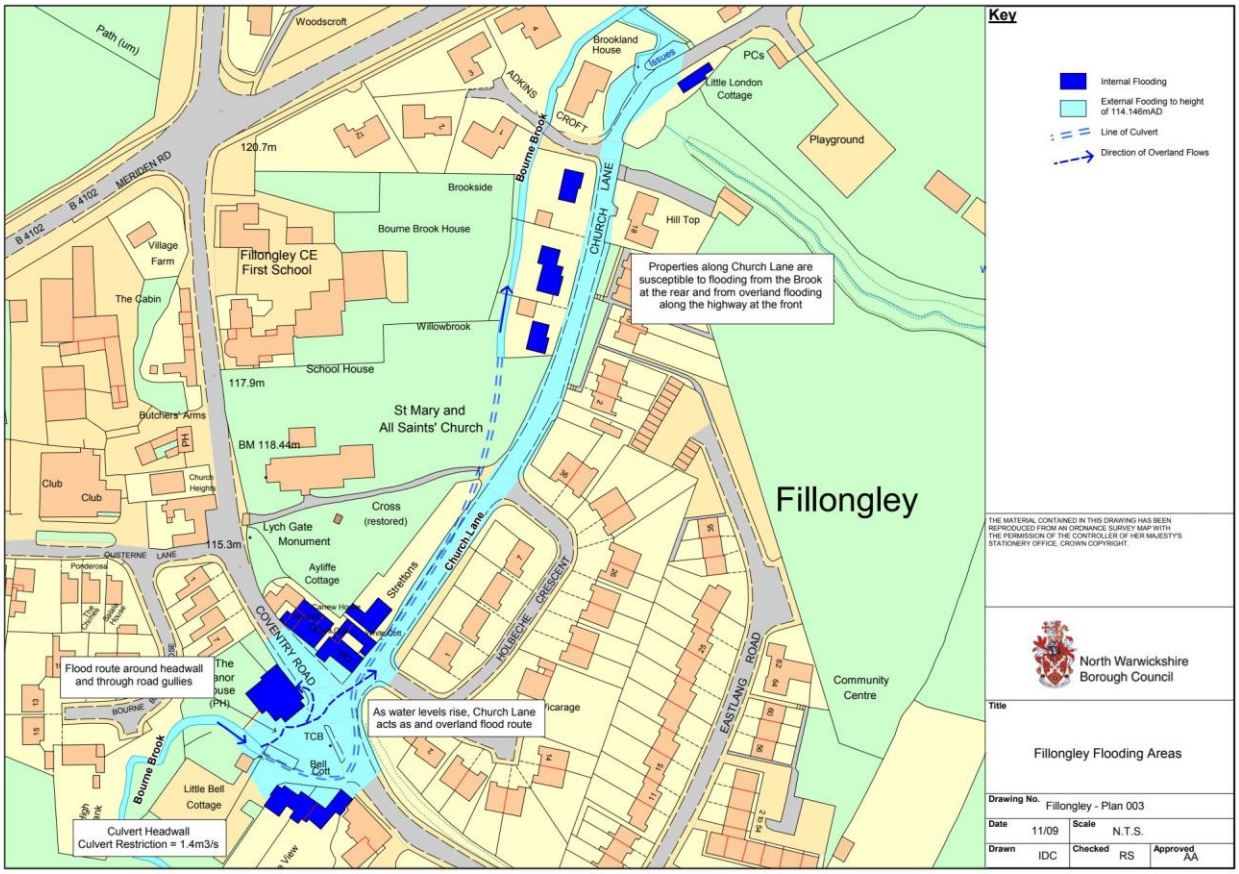
Appendix A – Plans

DRAFT


Key
Relevant Watercourses
Site of Ancient Monument
Little London Tributary
Fillongley
Bourne Brook
Fillongley Castle
Tributaries forming the Bourne Brook
M6 Motorway
THE MATERIAL CONTAINED IN THIS DRAWING HAS BEEN REPRODUCED FROM AN ORDNANCE SURVEY MAP WITH THE PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE. CROWN COPYRIGHT.
North Warwickshire Borough Council
Title
Fillongley Flood Mitigation Catchment Plan
Drawing No. Plan 001
Date 06/10
Scale N.T.S.
Drawn IDC
Checked RS
Approved


Key
Internal Flooding
Line of Culvert
Path (um)
Woodscroft
Brookland House
Issues
PCs
Little London Cottage
Playground
ADKINS CROFT
B 4102 MERIDEN RD
120.7m
Brookside
Bourne Brook House
Willowbrook
CHURCH LANE
Hill Top
Village Farm
The Cabin
Fillongley CE First School
School House
117.9m
Well
Butchers' Arms
BM 118.44m
St Mary and All Saints' Church
Club
Church Heights
Cross (restored)
Lych Gate Monument
115.3m
Strettons
Fillongley
CUSTERNE LANE
Ponderosa
Ayliffe Cottage
Jay Cottage, Front Cottage & Carrew House
COVENTRY ROAD
HOLBEOCHE CRESCENT
White Cottage
The Manor House (PH)
BOURNE BROOK CLOSE
Post Office and General Store
EASTLANG ROAD
Community Centre
113.6m
The Vicarage
TCB
Public House
Bell Cott
Little Bell Cottage, Bell Cottage & Castle View
High Bank
THE MATERIAL CONTAINED IN THIS DRAWING HAS BEEN REPRODUCED FROM AN ORDNANCE SURVEY MAP WITH THE PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE. CROWN COPYRIGHT.
North Warwickshire Borough Council
Title
Fillongley Flooding Areas
Drawing No. Fillongley - Plan 002
Date 11/09
Scale N.T.S.
Drawn IDC
Checked RS
Approved AA


Key
Internal Flooding
External Fooding to height of 114.146mAD
Line of Culvert
Direction of Overland Flows
Path (um)
Woodscroft
Brookland House
Issues
PCs
Little London Cottage
Playground
ADKINS
CROFT
Bourne Brook
CHURCH LANE
B 4102
B 4102
MERIDEN RD
120.7m
Brookside
Bourne Brook House
Hill Top
Village Farm
Fillongley CE First School
The Cabin
Properties along Church Lane are susceptible to flooding from the Brook at the rear and from overland flooding along the highway at the front
Willowbrook
School House
117.9m
Butchers' Arms
St Mary and All Saints' Church
BM 118.44m
Club
Club
Church Heights
Cross (restored)
Fillongley
Lych Gate Monument
115.3m
OUSTERNE LANE
Ponderosa
Aylffe Cottage
Strettons
Church Lane
COVENTRY ROAD
HOLBECHE CRESCENT
EASTLANG ROAD
Flood route around headwall and through road gullies
The Manor House (PH)
As water levels rise, Church Lane acts as and overland flood route
Vicarage
Community Centre
TCB
Bell Loft
Little Bell Cottage
Bourne Brook
Culvert Headwall
Culvert Restriction = 1.4m3/s
THE MATERIAL CONTAINED IN THIS DRAWING HAS BEEN REPRODUCED FROM AN ORDNANCE SURVEY MAP WITH THE PERMISSION OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE, CROWN COPYRIGHT.
North Warwickshire Borough Council
Title
Fillongley Flooding Areas
Drawing No. Fillongley - Plan 003
Date 11/09
Scale N.T.S.
Drawn IDC
Checked RS
Approved AA

Appendix B – Calculations

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Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Catchment sheet

Catchment name: Bourne Brook at junction of Little London

Catchment Descriptors (Descriptors in bold are used within model)

File name C:\SDA Projects\Fillongley\Fillongley\FEH Data\ds Fillongley.csv

Import Catchment Descriptors

FEH CD ROM version	1	Exported on		
Easting	428150	Northing	287300	
Area	5.87			
FARL	1	RMED-1H	10.8	
PROPWET	0.3	RMED-1D	32.6	
ALTBAR	148	RMED-2D	40.7	
ASPBAR	21	**SAAR**	709	
ASPVAR	0.33	SAAR4170	704	
BFIHOST	0.577	SPRHOST	32.7	
DPLBAR	2.23	URBCONC	0.483	
DPSBAR	44.3	**URBEXT1990**	0.018	essentially rural
LDP	4.19	URBLOC	0.706	
C	-0.027	C(1km)	-0.027	
D1	0.364	D1(1km)	0.365	
D2	0.323	D2(1km)	0.326	
D3	0.254	D3(1km)	0.257	
E	0.306	E(1km)	0.308	
F	2.377	F(1km)	2.373	

Catchment Comment

Catchment Comment list User comments

Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Rainfall sheet

Catchment name: Bourne Brook at junction of Little London

Specify design rainfall

Time Step (hr): 0.25

Duration (hr): 5.25

Return Period (yr): 100

Season: Winter (Recommended Season is Winter as URBEXT is less than 0.125)

Seasonal Correction Factor

SCF method: ReFH Design Standard — SCF: 0.69

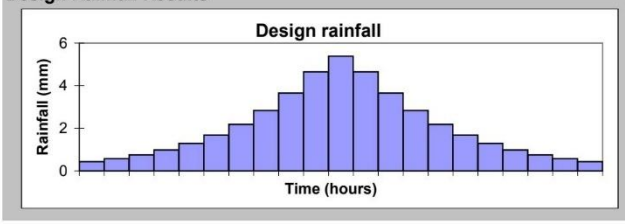
Areal Reduction Factor

ARF method: ReFH Design Standard — ARF: 0.96

Rainfall Comment: Add Comment to List

Rainfall Comment list: User comments — Clear List

Design Rainfall Results



FEH DDF Model rainfall (mm): 65.5

Design rainfall (mm): 43.5

Peak rainfall (mm): 5.4

Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Model sheet

Catchment name: Bourne Brook at junction of Little London

Specify Loss Model

C_{Max} method	Catchment descriptors	C_{ini} method	ReFH design standard	α factor method	ReFH design standard
Donor correction factor	1				
C_{Max} (mm)	473	**C_{ini} (mm)**	110 Winter	**α factor**	0.83 Winter

Specify Routing Model

T_p method	Catchment descriptors	U_p method	ReFH design standard	U_k method	ReFH design standard
Donor correction factor	1				
T_p (hr)	3.06	**U_p**	0.65	**U_k**	0.8

Specify Baseflow Model

BL method	Catchment descriptors	BR method	Catchment descriptors	BF_0 method	ReFH design standard
Donor correction factor	1	Donor correction factor	1		
BL (hr)	41.8	**BR**	1.34	**BF_0 (m^3/s)**	0.2 Winter

Comments

Model Comment: [ ] Add Comment to List

Model Comment list: User comments Clear List

Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Results sheet

Catchment name: Bourne Brook at junction of Little Londor

Easting 428150
Northing 287300

Model Parameters

Design rainfall parameters		Loss model parameters		Routing model parameters		Baseflow model parameters		Catchment descriptors	
Return period (yr)	100	C_{max} (mm)	473	T_p (hr)	3.06	BL (hr)	41.8	URBEXT	0.018
Duration (hr)	5.25	C_{ini} (mm)	110	U_p	0.65	BR	1.34		
Timestep (hr)	0.25	α factor	0.83	U_k	0.8	BF_0 (m^3/s)	0.2		
Season	Winter								

Run Model

Generate Audit Report

Summary

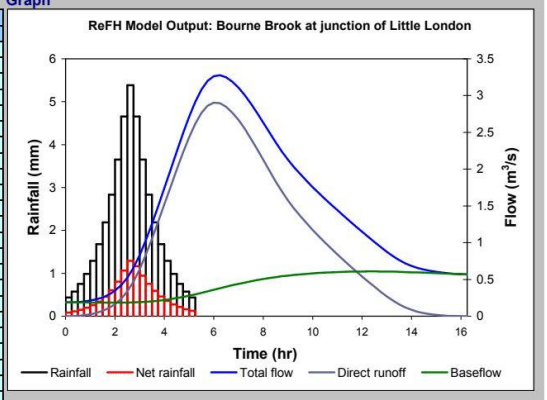
FEH DDF rainfall (mm)	65.5	Peak rainfall (mm)	5.4
Design rainfall (mm)	43.5	Peak flow (m^3/s)	3.3

Progress: Complete

Data

Series	Design Rainfall	Net rainfall	Direct runoff	Baseflow	Total flow
Units	mm	mm	m3/s	m3/s	m3/s
0.00	0.4	0.1	0.0	0.2	0.2
0.25	0.6	0.1	0.0	0.2	0.2
0.50	0.8	0.1	0.0	0.2	0.2
0.75	1.0	0.2	0.0	0.2	0.2
1.00	1.3	0.3	0.0	0.2	0.2
1.25	1.7	0.3	0.0	0.2	0.2
1.50	2.2	0.5	0.1	0.2	0.3
1.75	2.8	0.6	0.1	0.2	0.3
2.00	3.7	0.8	0.2	0.2	0.3
2.25	4.7	1.1	0.2	0.2	0.4
2.50	5.4	1.3	0.3	0.2	0.5
2.75	4.7	1.2	0.5	0.2	0.7
3.00	3.7	0.9	0.6	0.2	0.8
3.25	2.8	0.8	0.8	0.2	1.0
3.50	2.2	0.6	1.1	0.2	1.3
3.75	1.7	0.5	1.3	0.2	1.5
4.00	1.3	0.4	1.5	0.2	1.7
4.25	1.0	0.3	1.8	0.2	2.0
4.50	0.8	0.2	2.0	0.2	2.2
4.75	0.6	0.2	2.2	0.3	2.5
5.00	0.4	0.1	2.4	0.3	2.7
5.25	0.0	0.0	2.6	0.3	2.9
5.50	0.0	0.0	2.8	0.3	3.1
5.75	0.0	0.0	2.9	0.3	3.2
6.00	0.0	0.0	2.9	0.4	3.3
6.25	0.0	0.0	2.9	0.4	3.3
6.50	0.0	0.0	2.8	0.4	3.2
6.75	0.0	0.0	2.8	0.4	3.2
7.00	0.0	0.0	2.7	0.4	3.1
7.25	0.0	0.0	2.5	0.5	3.0
7.50	0.0	0.0	2.4	0.5	2.9
7.75	0.0	0.0	2.3	0.5	2.8
8.00	0.0	0.0	2.1	0.5	2.6
8.25	0.0	0.0	2.0	0.5	2.5
8.50	0.0	0.0	1.8	0.5	2.4
8.75	0.0	0.0	1.7	0.5	2.2
9.00	0.0	0.0	1.6	0.6	2.1
9.25	0.0	0.0	1.5	0.6	2.0
9.50	0.0	0.0	1.4	0.6	1.9
9.75	0.0	0.0	1.3	0.6	1.8
10.00	0.0	0.0	1.2	0.6	1.8
10.25	0.0	0.0	1.1	0.6	1.7
10.50	0.0	0.0	1.0	0.6	1.6
10.75	0.0	0.0	0.9	0.6	1.5
11.00	0.0	0.0	0.8	0.6	1.4
11.25	0.0	0.0	0.8	0.6	1.4
11.50	0.0	0.0	0.7	0.6	1.3
11.75	0.0	0.0	0.6	0.6	1.2
12.00	0.0	0.0	0.5	0.6	1.1
12.25	0.0	0.0	0.5	0.6	1.1
12.50	0.0	0.0	0.4	0.6	1.0
12.75	0.0	0.0	0.3	0.6	0.9
13.00	0.0	0.0	0.3	0.6	0.9
13.25	0.0	0.0	0.2	0.6	0.8
13.50	0.0	0.0	0.2	0.6	0.8
13.75	0.0	0.0	0.1	0.6	0.7
14.00	0.0	0.0	0.1	0.6	0.7
14.25	0.0	0.0	0.1	0.6	0.7
14.50	0.0	0.0	0.0	0.6	0.6
14.75	0.0	0.0	0.0	0.6	0.6
15.00	0.0	0.0	0.0	0.6	0.6
15.25	0.0	0.0	0.0	0.6	0.6
15.50	0.0	0.0	0.0	0.6	0.6
15.75	0.0	0.0	0.0	0.6	0.6
16.00	0.0	0.0	0.0	0.6	0.6
16.25	0.0	0.0	0.0	0.6	0.6
Totals	43.5	10.4	10.4	4.4	14.8

Graph



Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Catchment sheet

Catchment name: Little london Tributary

Catchment Descriptors (Descriptors in bold are used within model)

File name C:\SDA Projects\Fillongley\Fillongley\FEH Data\Little London.csv

Import Catchment Descriptors

FEH CD ROM version	1	Exported on		
Easting	428200	Northing	287300	
Area	0.76			
FARL	1	RMED-1H	10.7	
PROPWET	0.3	RMED-1D	32.6	
ALTBAR	137	RMED-2D	40.6	
ASPBAR	300	**SAAR**	704	
ASPVAR	0.62	SAAR4170	704	
BFIHOST	0.419	SPRHOST	40.1	
DPLBAR	0.89	URBCONC	0.7	
DPSBAR	41.2	**URBEXT1990**	0.02	essentially rural
LDP	1.53	URBLOC	0.706	
C	-0.027	C(1km)	-0.027	
D1	0.362	D1(1km)	0.365	
D2	0.328	D2(1km)	0.326	
D3	0.253	D3(1km)	0.257	
E	0.306	E(1km)	0.308	
F	2.384	F(1km)	2.373	

Catchment Comment

Catchment Comment list User comments

Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Rainfall sheet

Catchment name: Little london Tributary

Specify design rainfall

Time Step (hr): 0.25

Duration (hr): 4.75

Return Period (yr): 100

Season: Winter (Recommended Season is Winter as URBEXT is less than 0.125)

Seasonal Correction Factor

SCF method: ReFH Design Standard SCF: 0.68

Areal Reduction Factor

ARF method: ReFH Design Standard ARF: 0.98

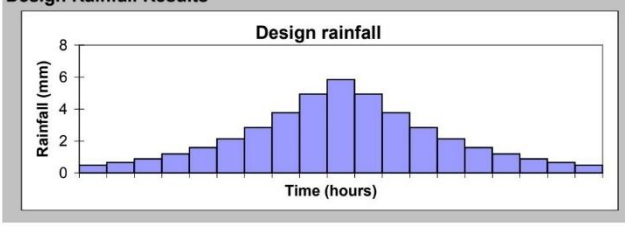
Rainfall Comment:

Rainfall Comment list: User comments

Add Comment to List

Clear List

Design Rainfall Results



FEH DDF Model rainfall (mm): 64.2

Design rainfall (mm): 42.8

Peak rainfall (mm): 5.8

Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Model sheet

Catchment name: Little london Tributary

Specify Loss Model

C_{Max} method	Catchment descriptors	C_{ini} method	ReFH design standard	α factor method	ReFH design standard
Donor correction factor	1				
C_{Max} (mm)	349	**C_{ini} (mm)**	128 Winter	**α factor**	0.83 Winter

Specify Routing Model

T_p method	Catchment descriptors	U_p method	ReFH design standard	U_k method	ReFH design standard
Donor correction factor	1				
T_p (hr)	1.79	**U_p**	0.65	**U_k**	0.8

Specify Baseflow Model

BL method	Catchment descriptors	BR method	Catchment descriptors	BF_0 method	ReFH design standard
Donor correction factor	1	Donor correction factor	1		
BL (hr)	29.4	**BR**	0.95	**BF_0 (m^3/s)**	0 Winter

Comments

Model Comment: Add Comment to List

Model Comment list: User comments — Clear List

Revitalised FSR/FEH rainfall runoff method

Spreadsheet application version 1.3

Results sheet

Catchment name: Little london Tributary

Easting 428200
Northing 287300

Model Parameters

Design rainfall parameters		Loss model parameters		Routing model parameters		Baseflow model parameters		Catchment descriptors	
Return period (yr)	100	C_{max} (mm)	349	T_p (hr)	1.79	BL (hr)	29.4	URBEXT	0.02
Duration (hr)	4.75	C_{ini} (mm)	128	U_p	0.65	BR	0.95		
Timestep (hr)	0.25	α factor	0.83	U_k	0.8	BF_0 (m^3/s)	0		
Season	Winter								

Run Model

Generate Audit Report

Summary

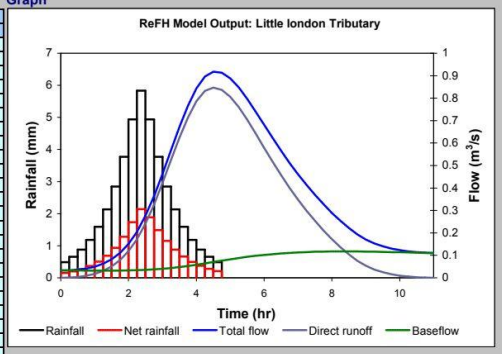
FEH DDF rainfall (mm)	64.2	Peak rainfall (mm)	5.8
Design rainfall (mm)	42.8	Peak flow (m^3/s)	0.9

Progress: Complete

Data

Series	Design Rainfall	Net rainfall	Direct runoff	Baseflow	Total flow
Units	mm	mm	m3/s	m3/s	m3/s
0.00	0.5	0.1	0.0	0.0	0.0
0.25	0.7	0.2	0.0	0.0	0.0
0.50	0.9	0.3	0.0	0.0	0.0
0.75	1.2	0.4	0.0	0.0	0.0
1.00	1.6	0.5	0.0	0.0	0.0
1.25	2.1	0.7	0.0	0.0	0.1
1.50	2.8	0.9	0.1	0.0	0.1
1.75	3.8	1.3	0.1	0.0	0.1
2.00	4.9	1.7	0.1	0.0	0.2
2.25	5.8	2.1	0.2	0.0	0.2
2.50	4.9	1.9	0.2	0.0	0.3
2.75	3.8	1.5	0.3	0.0	0.4
3.00	2.8	1.1	0.4	0.0	0.5
3.25	2.1	0.9	0.5	0.0	0.6
3.50	1.6	0.7	0.6	0.0	0.7
3.75	1.2	0.5	0.7	0.1	0.8
4.00	0.9	0.4	0.8	0.1	0.8
4.25	0.7	0.3	0.8	0.1	0.9
4.50	0.5	0.2	0.8	0.1	0.9
4.75	0.0	0.0	0.8	0.1	0.9
5.00	0.0	0.0	0.8	0.1	0.9
5.25	0.0	0.0	0.8	0.1	0.8
5.50	0.0	0.0	0.7	0.1	0.8
5.75	0.0	0.0	0.6	0.1	0.7
6.00	0.0	0.0	0.6	0.1	0.7
6.25	0.0	0.0	0.5	0.1	0.6
6.50	0.0	0.0	0.5	0.1	0.6
6.75	0.0	0.0	0.4	0.1	0.5
7.00	0.0	0.0	0.3	0.1	0.5
7.25	0.0	0.0	0.3	0.1	0.4
7.50	0.0	0.0	0.3	0.1	0.4
7.75	0.0	0.0	0.2	0.1	0.3
8.00	0.0	0.0	0.2	0.1	0.3
8.25	0.0	0.0	0.1	0.1	0.3
8.50	0.0	0.0	0.1	0.1	0.2
8.75	0.0	0.0	0.1	0.1	0.2
9.00	0.0	0.0	0.1	0.1	0.2
9.25	0.0	0.0	0.0	0.1	0.2
9.50	0.0	0.0	0.0	0.1	0.1
9.75	0.0	0.0	0.0	0.1	0.1
10.00	0.0	0.0	0.0	0.1	0.1
10.25	0.0	0.0	0.0	0.1	0.1
10.50	0.0	0.0	0.0	0.1	0.1
10.75	0.0	0.0	0.0	0.1	0.1
11.00	0.0	0.0	0.0	0.1	0.1
Totals	42.8	15.7	15.7	4.3	19.9

Graph



Appendix C – Photographs and Flooding History

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Photographs of flooding – 20th July 2007

CAR PA

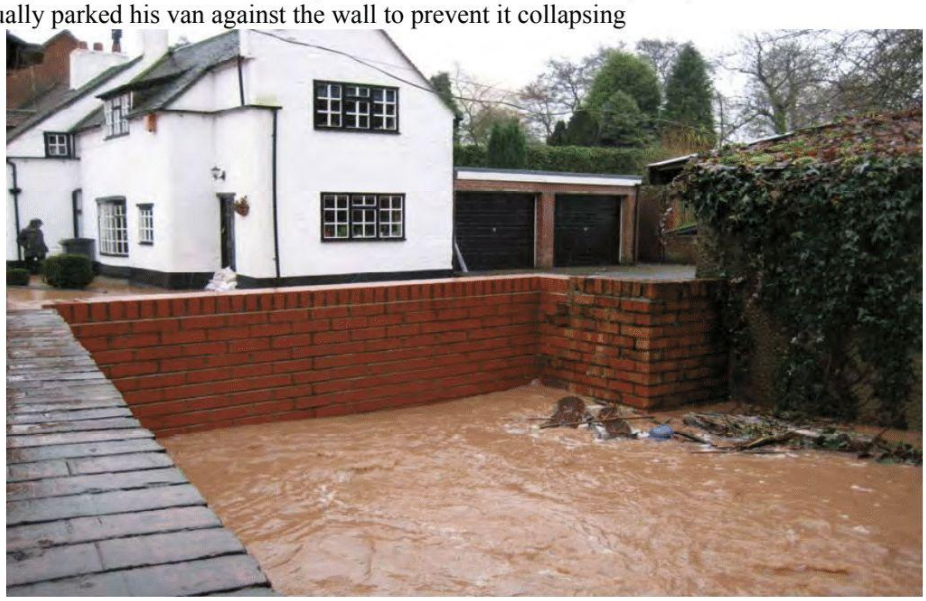
THE MANOR HOUSE
CAR PARK

THE MANOR HOUSE

Flooding 13th December 2008
Note of issues with photographs
All Photographs taken between 12.00 and 13.00 on Saturday the 13th December. After 13.00 hours the flood waters subsided.

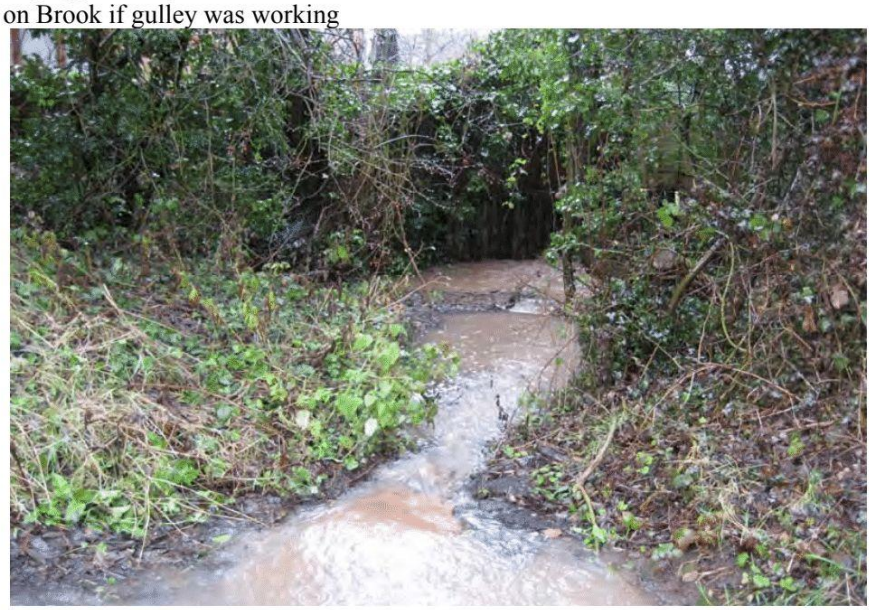
Location 1 Post Office, Manor House Pub and Culvert.

The culvert could not cope with the water, which fell overnight and during the morning of 13th December. The Culvert was submerged and the water held back by the pub head wall. The landlord eventually parked his van against the wall to prevent it collapsing



Water flowed around the wall through the car park to submerge the centre of the village. The police closed the road. The fire brigade pumped out the water to further down church lane to bypass the culvert.

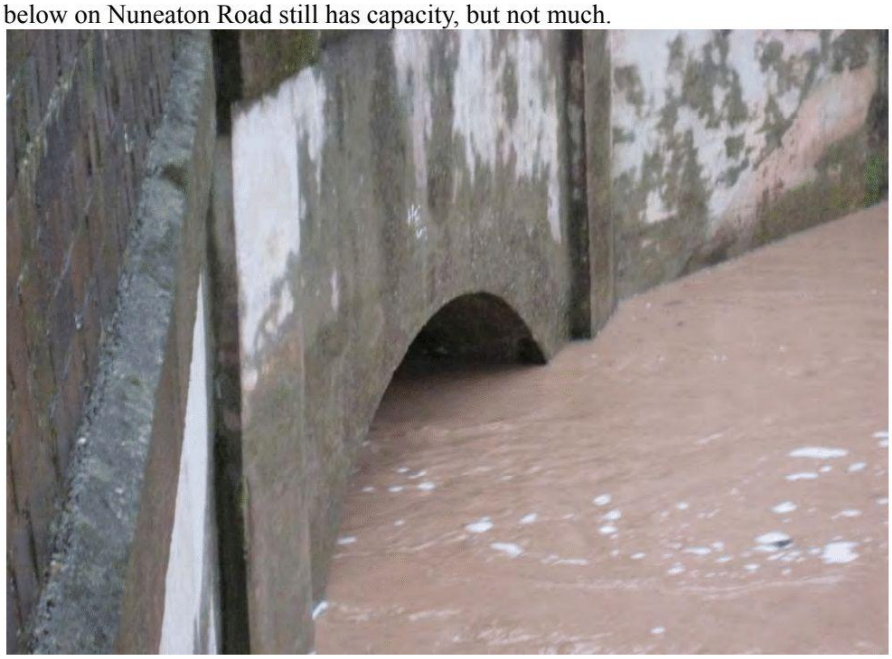
Location 2 Little London Gulley on Church Lane
The gulley opposite Little London, which was reported as blocked did not function water ran down from Little London to the gulley at the entrance to Atkins Croft. It could not cope and there was local flooding preventing pedestrian access to the Croft.
Gulley being bypassed by water at Little London. Difference in Levels shows that there is still capacity on Brook if gulley was working



Location 3
Junction of Atkins Croft and Church Lane

Location 4 Nuneaton Road
Nuneaton Road flooded over the top of the Culvert as gulleys were blocked or could not cope. Police allowed vehicles through with care.

Culvert below on Nuneaton Road still has capacity, but not much.



Location 5 The Brook at Nuneaton Road end
Photographs show the new footpath is over topped and that it will tale capacity when flood events occur. This event was not as bad as July 2007.

Location 6 Major Trees blocking flow of Brook

Location 7 Water meadow beyond Nuneaton Road
Blockage by old timber structure meant water flow disturbed.

Issues to be arising from this flood.

- Head Wall at public house needs to be strengthened
- The new culvert under the road at the Manor did not have enough capacity.
- Gulleys in Church Lane, which were reported in correspondence to the county council as blocked, had not been cleaned causing local flooding at Atkins Croft.
- Gulleys in Nuneaton Road above the culvert did not cope and were blocked. This has been reported at every meeting
- Sand bags ran out. Aqua Sacs which had been promised at the last meeting were not delivered. The cottage behind the post office, which was supposed to have them did not. This requires immediate action.

Appendix D – Option Costs

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Option A - Cost Breakdown

Should gully be located directly on culvert then grout up gully - Assume 2

2/600/39	Backfilling of disused gullies, 450 mm diameter with in-situ 4N foamed concrete	no.	2	178.04	356.08

	Cut back intrucding connections within the culvert flush with cuvert wall & make good			est.	£2,950.00
	To trace the location of drainage system's with the Manor pub car park & church land Including CCTV van and Jet Vac on site for 3 days.			est.	£3,825.00
				Total	£7,131.08

Traffic Safety and Management

1/100/08	3 way Traffic safety and management inc associated Chapter 8 signing	item		
	Site set up		£450	
	Maintain per day estimated 2weeks on site	14	£120	£1,680
	Remove from site on completion		£250	
			total	£2,380

Post Office Area

Breakout existing Gullys - Remove to tip
Grout up existing connections to culverts
Place new gullys and back fill
Construct new manhole with 150mm Forge non return Valve
Excavate new drainage pipes and connect to existing gullys & culvert & manhole
Back fill with Granular Material
Relay kebs with backing and bed
Reinstate full highway construction

2/200/21	Take up or down and remove to Contractor's tip off site precast concrete kerbing including bed and backing	**m**	4	£34.46	£137.84
2/200/32	Take up or down and remove to Contractor's tip off site gulley grating and frame	**no.**	4	£63.18	£252.72
2/600/38	Backfilling of disused sewer or drain 150 mm internal diameter with 1 metre or less of cover to formation	**no.**	1	£114.86	£114.86
2/600/11	Extra over excavation for excavation in hard material **(For New manhole & drainage)**	**m^3**	0.18	£45.95	£8.27
2/600/21	Disposal of unacceptable material class U1 **(For New manhole & drainage)**	**m^3**	0.18	£57.43	£10.34
2/500/173	Precast concrete manhole Type 11b with Class A cover and frame depth to invert exceeding 1 metre but not exceeding 2 metres	**no.**	1	£1,378.38	£1,378.38
2/500/183	Precast concrete trapped gulley (450 x 900 mm) with GA1-450 grating and frame	**no.**	4	£459.46	£1,837.84
2/500/19	150 mm internal diameter drain specified design group Z1 in trench depth to invert not exceeding 2.0 metres, average depth to invert 1.35 metres	**m**	10	£103.38	£1,033.80
2/500/20	Adjustment on last item for variation greater than 150 mm above or below the average depth of 1.35 metres per 25 mm of variation in excess of 150 mm	**Rate only required**		£0.46	£0.00
2/500/139	Connection of 150 mm diameter pipe to existing 450 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	**no.**	9	£183.78	£1,654.02
	Non return valve - **(Supply & Fit)**	**no.**	1	£817.40	£817.40
2/500/143	Connection of 150 mm diameter pipe to existing 900 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding	**no.**	1	£229.73	£229.73

	4 metres				
2/1100/01	Precast concrete kerbs Type HB2 laid straight or curved exceeding 12 m radius	**m**	4	£28.72	£114.88
2/1100/24	Additional in-situ concrete mix ST4 for precast concrete kerbs	**m^3**	0.36	£103.38	£37.22
2/700/09	Reinstate paved area with 55/10 stone asphalt Surface Course, 40 mm thick	**m^2**	4.5	£10.11	£45.50
2/700/08	Reinstate paved area with 20 mm aggregate Dense Macadam Binder Course, 60 mm thick	**m^2**	4.5	£12.35	£55.58
2/700/10	Reinstate paved area with 28 mm aggregate Dense Macadam Base, 125 mm thick	**m^2**	4.5	£25.85	£116.33
2/700/01	Granular Type 1 sub-base in carriageway, hard shoulder, hard strip and all other trafficked areas	**m^3**	4.5	£51.69	£232.61
				Total	£8,077.30

Little Bell Cottage Area

Breakout existing Gullys - Remove to tip
Grout up existing connections to culverts
Place new gullys and back fill
Construct new manhole with 150mm Forge non return Valve
Excavate new drainage pipes and connect to existing gullys & culvert & manhole
Back fill with Granular Material
Relay kebs with backing and bed
Reinstate full highway construction

2/200/21	Take up or down and remove to Contractor's tip off site precast concrete kerbing including bed and backing	**m**	4	£34.46	£137.84
2/200/32	Take up or down and remove to Contractor's tip off site gulley grating and frame	**no.**	4	£63.18	£252.72
2/600/38	Backfilling of disused sewer or drain 150 mm internal diameter with 1 metre or less of cover to formation	**no.**	1	£114.86	£114.86
2/600/11	Extra over excavation for excavation in hard material **(For New manhole & drainage)**	**m^3**	0.54	£45.95	£24.81
2/600/21	Disposal of unacceptable material class U1 **(For New manhole & drainage)**	**m^3**	0.54	£57.43	£31.01
2/500/173	Precast concrete manhole Type 11b with Class A cover and frame depth to invert exceeding 1 metre but not exceeding 2 metres	no.	1	£1,378.38	£1,378.38
2/500/183	Precast concrete trapped gulley (450 x 900 mm) with GA1-450 grating and frame	**no.**	4	£459.46	£1,837.84
2/500/19	150 mm internal diameter drain specified design group Z1 in trench depth to invert not exceeding 2.0 metres, average depth to invert 1.35 metres	m	30	£103.38	£3,101.40
2/500/20	Adjustment on last item for variation greater than 150 mm above or below the average depth of 1.35 metres per 25 mm of variation in excess of 150 mm	Rate only required		£0.46	£0.00
2/500/139	Connection of 150 mm diameter pipe to existing 450 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	no.	8	£183.78	£1,470.24
	Non return valve - (Supply & Fit)	no.	1	£817.40	£817.40
2/500/143	Connection of 150 mm diameter pipe to existing 900 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	no.	1	£229.73	£229.73

2/700/09	Reinstate paved area with 55/10 stone asphalt Surface Course, 40 mm thick	m^2	13.5	£10.11	£136.49
2/700/08	Reinstate paved area with 20 mm aggregate Dense Macadam Binder Course, 60 mm thick	m^2	13.5	£12.35	£166.73
2/700/10	Reinstate paved area with 28 mm aggregate Dense Macadam Base, 125 mm thick	m^2	13.5	£25.85	£348.98
2/700/01	Granular Type 1 sub-base in carriageway, hard shoulder, hard strip and all other trafficked areas	m^3	13.5	£51.69	£697.82
				total	£10,746.24

Manor House Area

Breakout existing Gullys - Remove to tip
Grout up existing connections to culverts
Place new gullys and back fill
Construct new manhole with 150mm Forge non return Valve
Excavate new drainage pipes and connect to existing gullys & culvert & manhole
Back fill with Granular Material
Relay kebs with backing and bed
Reinstate full highway construction

2/200/21	Take up or down and remove to Contractor's tip off site precast concrete kerbing including bed and backing	**m**	4	£34.46	£137.84
2/200/32	Take up or down and remove to Contractor's tip off site gulley grating and frame	**no.**	4	£63.18	£252.72
2/600/38	Backfilling of disused sewer or drain 150 mm internal diameter with 1 metre or less of cover to formation	**no.**	1	£114.86	£114.86
2/600/11	Extra over excavation for excavation in hard material **(For New manhole & drainage)**	m^3	1.26	£45.95	£57.90
2/600/21	Disposal of unacceptable material class U1 **(For New manhole & drainage)**	m^3	1.26	£57.43	£72.36
2/500/173	Precast concrete manhole Type 11b with Class A cover and frame depth to invert exceeding 1 metre but not exceeding 2 metres	no.	1	£1,378.38	£1,378.38
2/500/183	Precast concrete trapped gulley (450 x 900 mm) with GA1-450 grating and frame	**no.**	4	£459.46	£1,837.84
2/500/19	150 mm internal diameter drain specified design group Z1 in trench depth to invert not exceeding 2.0 metres, average depth to invert 1.35 metres	m	70	£103.38	£7,236.60
2/500/20	Adjustment on last item for variation greater than 150 mm above or below the average depth of 1.35 metres per 25 mm of variation in excess of 150 mm	Rate only required		£0.46	£0.00
2/500/139	Connection of 150 mm diameter pipe to existing 450 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	no.	8	£183.78	£1,470.24
	Non return valve - (Supply & Fit)	no.	1	£817.40	£817.40
2/500/143	Connection of 150 mm diameter pipe to existing 900 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	no.	1	£229.73	£229.73
2/700/09	Reinstate paved area with 55/10 stone asphalt Surface Course, 40 mm thick	m^2	31.5	£10.11	£318.47
2/700/08	Reinstate paved area with 20 mm aggregate Dense Macadam Binder Course, 60 mm thick	m^2	31.5	£12.35	£389.03
2/700/10	Reinstate paved area with 28 mm aggregate Dense Macadam Base, 125 mm thick	m^2	31.5	£25.85	£814.28

2/700/01	Granular Type 1 sub-base in carriageway, hard shoulder, hard strip and all other trafficked areas	m^3	31.5	£51.69	£1,628.24

total £16,755.87

Church Lane

Breakout existing Gullys - Remove to tip
Grout up existing connections to culverts
Place new gullys and back fill
Construct new manhole with 150mm Forge non return Valve
Excavate new drainage pipes and connect to existing gullys & culvert & manhole
Back fill with Granular Material
Relay kebs with backing and bed
Reinstate full highway construction

2/200/21	Take up or down and remove to Contractor's tip off site precast concrete kerbing including bed and backing	**m**	2	£34.46	£68.92
2/200/32	Take up or down and remove to Contractor's tip off site gulley grating and frame	**no.**	5	£63.18	£315.90
2/600/38	Backfilling of disused sewer or drain 150 mm internal diameter with 1 metre or less of cover to formation	**no.**	16	£114.86	£1,837.76
2/600/11	Extra over excavation for excavation in hard material **(For New manhole & drainage)**	m^3	0.774	£45.95	£35.57
2/600/21	Disposal of unacceptable material class U1 **(For New manhole & drainage)**	m^3	0.774	£57.43	£44.45
2/500/173	Precast concrete manhole Type 11b with Class A cover and frame depth to invert exceeding 1 metre but not exceeding 2 metres	no.	2	£1,378.38	£2,756.76
2/500/183	Precast concrete trapped gulley (450 x 900 mm) with GA1-450 grating and frame	**no.**	5	£459.46	£2,297.30
2/500/19	150 mm internal diameter drain specified design group Z1 in trench depth to invert not exceeding 2.0 metres, average depth to invert 1.35 metres	m	43	£103.38	£4,445.34
2/500/20	Adjustment on last item for variation greater than 150 mm above or below the average depth of 1.35 metres per 25 mm of variation in excess of 150 mm	Rate only required		£0.46	£0.00
2/500/139	Connection of 150 mm diameter pipe to existing 450 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	no.	12	£183.78	£2,205.36
	Non return valve - (Supply & Fit)	no.	2	£817.40	£1,634.80
2/500/143	Connection of 150 mm diameter pipe to existing 900 mm diameter drain or existing piped culvert depth to invert exceeding 2 metres but not exceeding 4 metres	no.	2	£229.73	£459.46
2/700/09	Reinstate paved area with 55/10 stone asphalt Surface Course, 40 mm thick	m^2	19.35	£10.11	£195.63
2/700/08	Reinstate paved area with 20 mm aggregate Dense Macadam Binder Course, 60 mm thick	m^2	19.35	£12.35	£238.97
2/700/10	Reinstate paved area with 28 mm aggregate Dense Macadam Base, 125 mm thick	m^2	19.35	£25.85	£500.20
2/700/01	Granular Type 1 sub-base in carriageway, hard shoulder, hard strip and all other trafficked areas	m^3	19.35	£51.69	£1,000.20

total £18,036.62

Grand Total £63,127.10

Option B Costs - Balancing Pond Only

Series		Amount	
		£	p
100	Preliminaries	£0.00	
200	Site Clearance	£6,424.40	
300	Fencing, Gates and Stiles	£24,663.36	
500	Drainage and Service Ducts	£2,182.40	
600	Earthworks	£349,358.28	
700	Pavements	£74,869.33	
1200	Traffic Signs, Road Markings and Ancillaries	£1,527.70	
1700	Structural Concrete	£2,908.58	
1800	Steelwork for Structures	£5,000.00	
2400	Brickwork, Blockwork and Stonework	£0.00	
2700	Provisional Sums and Prime Cost Items	£11,216.00	
3000	Landscape and Ecology	£72,060.40	
	Sub-Total	£550,210.46	
	Add 5% for Contingencies	£27,510.52	
	TENDER TOTAL Carried to Form of Tender	£577,720.99	

For Official Use Only

Opened in the Presence of …….. (Signature)

and …….. (Signature)

Date ……

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The prices are based on possible 5300m3 and 6700m3 flood storage areas. , it is assumed that the land is completely flat and ground conditions are ideal to construct on. We would require a full topographic survey to be taken of the proposed sites along with trail holes and core samples taken. Planning permission would be required and agreement and funding from land owners for the adoption of the land. Land owners would have to be consulted to ascertain how much material could be spread onsite as this will reduce tipping costs.

I have therefore allowed for the following:

Generally site clearance
Take up existing cattle fencing

Construct unbound access road with turning head/parking:
200mm 6G material
150mm type 1 layer
100mm type 1 to dust layer

Erection of access gates for pedestrians & vehicles to safe guard site.

Construct headwalls from concrete and surround with keyclamp fencing, construct control structure in watercourse
Excavate out 1.1m deep storage area including 0.100 topsoil, to be stored onsite and resited in storage area to vegetate.
Excavate 1m acceptable material
Form bund approx 18m3 in section by 100m in length, cover with 100mm of topsoil. All other material to go off site.
Take up 4 – 8 existing land drains to the sides of the storage area, and construct new headwall on them.

Surround flood storage area with cattle fencing
Along sections of roadway over control structure construct 3 rail wooden fencing to stop undesired access.
Erect safety rings and deep water signs

Grass seed all areas
Plant up pond and wetland

Option C - Headwall Reconstruction

Demolish & Reconstruct wall

Remove tree and exavate out stump
Take up brige for reuse
Take down existing collaping wall - Assume 35m in length
Reconstuct using reinforced concrete filled hollow concret blocks
Waterproof Concrete face with Bitium, filter drain, Filtram membram
Resite footbridge
Face concrete wall with red brick to tie in with conservation area, use stainless steel ties
Construct trash Screen

Large Tree

	Remove Tree and route mass				£600.00

Raise Footbride

	Prep footings for removal, two day Crane Hire, Prep footings & reset				£10,000.00

Garage

	Demolish existing garage & reconstruct garage 5.4m x 3.6m in size with 0.600 x 0.600 concrete footings				£10,000.00

Total £20,600.00

Headwall

2/200/01	General Site Clearance	ha	0.023	########	£261.89
2/200/29	Take up or down and remove to Contractor's tip off site brickwall, 230 mm thick	m²	60	£57.43	£3,445.80
2/600/10	Extra over excavation for excavation in hard material in cuttings and other excavation	m³	2	£45.95	£91.90
2/600/07	Excavation of unacceptable material Class U1	m³	175	£22.97	£4,019.75
2/600/33	Excavation of soft spots and other voids below cuttings or under embankments	m³	4	£57.43	£229.72
2/600/34	Filling of soft spots and other voids below cuttings or under embankments with granular type 1	m³	4	£57.43	£229.72
2/600/21	Disposal of unacceptable material class U1	m³	181	£57.43	£10,394.83
2/1700/11	High yield steel for reinforcement nominal 16 mm and under of 12 metres length or less	tonne	2.1	£1,435.81	£3,015.20
2/1700/03	In situ concrete RC30	m³	32.55	£201.01	£6,542.88
2/1700/06	Formwork Class F1 vertical more than 300 mm wide	m²	271.5	£45.95	£12,475.43
2/2000/02	Waterproofing with two coats of bitumen sprayed or brushed to surfaces more than 300 mm wide or less at any inclination	m²	151	£28.72	£4,336.72
2/2400/03	Brickwork in Engineering Class B bricks in cement mortar designation type (i) one and a half brick thick in any bond in wall	m²	126	£137.84	£17,367.84
	Stainless steel ties spaced 5 per square m	no.	525	£3.90	£2,047.50
2/500/125	150 mm single diameter filter drain specified design group Type H1 in trench	m	35	£45.95	£1,608.25

	depth to invert not exceeding 2 metres, average depth to invert 1.0 metre				
	Filtram	m^2	129	£5.00	£645.00
2/600/23	Imported acceptable material Class 6F2 in embankments and other areas of fill	m^3	119	£51.69	£6,151.11
2/700/01	Granular Type 1 sub-base in carriageway, hard shoulder, hard strip and all other trafficked areas 200mm thick	m^3	19.32	£51.69	£998.65
2/700/11	Reinstate paved area (footway) with 20 mm aggregate Dense Macadam Binder Course, 50 mm thick	m^2	84	£11.49	£965.16
2/700/12	Reinstate paved area (footway) with 45/6 stone asphalt Surface Course, 25 mm thick	m^2	84	8.27	694.68
2/400/07	Kee Klamp Type 90º galvanised 50 mm diameter tube handrails, 1 m high inclusive of posts and fittings, or similar approved	m	35	£57.43	£2,010.05
2/1200/01	"Danger Deep Water" yellow signage 400mm x 600mm PVC on backing boards mounted on 4 m long 75 mm diamter plastic coated tubular steel posts	no.	2	£252.70	£505.40
2/1200/02	Life rings - 600 mm "Glasdon" lifebouy	no.	1	£258.45	£258.45

	Trash Screen				£8,000.00

total ########

Option D - Balancing Pond Only

Series		Amount	
		£	p
100	Preliminaries	£0.00	
200	Site Clearance	£3,802.02	
300	Fencing, Gates and Stiles	£36,181.68	
500	Drainage and Service Ducts	£0.00	
600	Earthworks	£488,189.72	
700	Pavements	£74,869.33	
1200	Traffic Signs, Road Markings and Ancillaries	£1,527.70	
1700	Structural Concrete	£2,908.58	
1800	Steelwork for Structures	£5,000.00	
2400	Brickwork, Blockwork and Stonework	£0.00	
2700	Provisional Sums and Prime Cost Items	£11,216.00	
3000	Landscape and Ecology	£88,747.16	
	Sub-Total	£712,442.20	
	Add 5% for Contingencies	£35,622.11	
	TENDER TOTAL Carried to Form of Tender	£748,064.31	

For Official Use Only

Opened in the Presence of …….. (Signature)

and …….. (Signature)

Date ……

The prices are based on possible 5300m3 and 6700m3 flood storage areas. , it is assumed that the land is completely flat and ground conditions are ideal to construct on. We would require a full topographic survey to be taken of the proposed sites along with trail holes and core samples taken. Planning permission would be required and agreement and funding from land owners for the adoption of the land. Land owners would have to be consulted to ascertain how much material could be spread onsite as this will reduce tipping costs.

I have therefore allowed for the following:

Generally site clearance
Take up existing cattle fencing

Construct unbound access road with turning head/parking:
200mm 6G material
150mm type 1 layer
100mm type 1 to dust layer

Erection of access gates for pedestrians & vehicles to safe guard site.

Construct headwalls from concrete and surround with keyclamp fencing, construct control structure in watercourse
Excavate out 1.1m deep storage area including 0.100 topsoil, to be stored onsite and resited in storage area to vegetate.
Excavate 1m acceptable material
Form bund approx 18m3 in section by 100m in length, cover with 100mm of topsoil. All other material to go off site.
Take up 4 – 8 existing land drains to the sides of the storage area, and construct new headwall on them.

Surround flood storage area with cattle fencing
Along sections of roadway over control structure construct 3 rail wooden fencing to stop undesired access.
Erect safety rings and deep water signs

Grass seed all areas
Plant up pond and wetland

Option E - Cost Estimate

Option	Length of Barrier	Height of Barrier	Cost £/m	Cost £	Uplift for Price Inflation (20%) £
E1	36	0.9m	340	12240	14688
E2	47	0.5m	150	7050	8460
E3	60	0.9m	340	20400	24480
E4	82	0.5m	150	12300	14760

Costs are based on fluvial solutions "Floodstop" barrier. Data obtained in January 2010.

Appendix E – Maintenance Costs

DRAFT

Maintenance Costs

Screen Clearance estimated Costs

Prices Based on approx meterage of debris cleared per visit		Estimated to be cleared 1x a every month		Adhoc clearances		annually	Over 5 years
Little London Triburity Screen	£11.99	12	£143.91	8	£95.94	£239.85	£1,199.25
Manor House Public House Screen	£22.14	12	£265.68	8	£177.12	£442.80	£2,214.00
Flood storage area 1 screen	£27.68	12	£332.10	8	£221.40	£553.50	£2,767.50
Flood storage area 2 screen	£27.68	12	£332.10	8	£221.40	£553.50	£2,767.50
	Total		£1,073.79		£715.86	£1,789.65	£8,948.25

Estimated costs to visit operate, cleans, and grease Forge valve's

		Approx number of valves:-	Cost per valve	1x visit annually	2x visits annually	over 5 years based on 2x visit annually
Surface water drainage to watercourse culvert		5	£65.00	£325.00	£650.00	£3,250.00
Properties to Severn trent foul System		14	£65.00	£910.00	£1,820.00	£9,100.00
	Total	19		£1,235.00	£2,470.00	£12,350.00

CCTV Survey & Culvert cleansing

Based on 1 x survey & culvert cleans every 5 years

CCTV Van per day	est. time onsite in days	
£600	1	£600
Jet Vac & Gully Suck		
£675	2	£1,350

FILLONGLEY NEIGHBOURHOOD PLAN

Basic Conditions Statement

February 2025

Fillongley Neighbourhood Plan - Basic Conditions

The draft plan is being submitted by a qualifying body

The qualifying body is Fillongley Parish Council.

What is being proposed is a neighbourhood development plan

The plan proposal relates to planning matters (the use and development of land) and has been prepared in accordance with the statutory requirements and processes set out in the Town and Country Planning Act 1990 (as amended by the Localism Act 2011) and the Neighbourhood Planning Regulations 2012.

The proposed neighbourhood plan states the period for which it is to have effect

The Plan is intended to run from 2017-2034. The neighbourhood plan is likely to require updating in whole or in part at least every 5 years

The policies do not relate to excluded development

The neighbourhood plan proposal does not deal with county matters (mineral extraction and waste development), nationally significant infrastructure or any other matters set out in Section 61K of the Town and Country Planning Act 1990.

The proposed neighbourhood plan does not relate to more than one neighbourhood area and there are no other neighbourhood development plans in place within the neighbourhood area.

The neighbourhood plan proposal relates to the Parish of Fillongley and to no other area. There are no other neighbourhood plans relating to the parish.

The Fillongley Neighbourhood Plan has appropriate regard to national policy

The Fillongley Neighbourhood Plan was written with regard to the National Planning Policy Framework. The NPPF provides a framework within which local people and their accountable councils can produce their own distinctive local and neighbourhood plans, which reflect the needs and priorities of their communities.

The Fillongley Plan is based on an extensive survey of the views of residents of the parish, who were then regularly consulted via the parish magazine, email and open meetings to ensure that they supported the policies contained in the Plan.

The National Planning Policy Framework must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. The Fillongley Plan has been written in the context of the NPPF and the North Warwickshire Local Plan, and has been checked to ensure that it complements the objectives of the Local Plan.

There are no nationally significant infrastructure projects within the parish that need to be given special consideration.

- With regard to the **Core Planning Principles** the Fillongley Plan has been devised to be ‘genuinely plan-led, to empower local people to shape their surroundings; a succinct neighbourhood plan setting out a positive vision for the future of the area’.

- Fillongley lies in the Green Belt and the areas within the development boundaries are intensively developed. Within those restrictions the Fillongley Plan seeks to ‘set out a clear strategy for allocating sufficient land which is suitable for development in their area, taking account of the needs of the residential and business communities. FNP01,

- The Plan ‘seeks to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings.’ FNP05, FNP06

- Because the policies in the Plan are taken from surveys of the residents of the parish their knowledge ‘of the roles and character of different areas’ and their commitment to ‘the intrinsic character and beauty of the countryside’ are strongly reflected in the Plan policies. The Fillongley Plan was originally undertaken as a way of developing and supporting a ‘thriving rural community’ and to ‘contribute to conserving and enhancing the natural environment’ FNP01, FNP06

- The Plan advocates the use of brownfield land for development. FNP01

- The Plan recognises Fillongley is shaped by its history, and the preservation of the different stages of development in the residential areas is an important part of the character of the parish. FNP07

- The Plan takes account of the need for sustainability with regard to transport, walking and cycling when new developments are being considered. FNP08

Contribute to the Achievement of Sustainable Development

The Fillongley Neighbourhood Plan starts with a vision statement. lists the challenges that need to be met in order ‘to ensure its long term future by meeting the needs of those who live and work in this outstanding rural area’.

- The built and natural heritage of the Parish will be maintained and protected.
- Future housing building should conform to the existing character by comprising small developments in keeping with their surroundings.
- Provision of a mix of housing for all sectors of the community must be made.
- Rural setting and character will be preserved and enhanced for residents and visitors alike.

The Fillongley Plan takes account of the parish’s place in the Green Belt and its tight development boundaries, but within that context seeks to encourage development that will allow Fillongley to continue to move forward as a community:

FNP01 seeks to protect the countryside that the residents value so highly, while FNP03 and FNP06 stress the importance of safeguarding the links between the residential areas and the open countryside and maintaining the balance between the natural and built environment.

These policies preserve the features of rural life in the parish, but the Plan looks to future development to strengthen the community. FNP05 seeks to provide new houses that meet the needs of local people, while they are built to the highest standards. FNP07 asks that, where appropriate, new developments should contribute to improved infrastructure in the parish, FNP06 supports the Local Plan in preserving existing employment sites and encouraging flexible use of those sites in pursuit of more local employment. FNP06 Work towards further protection and enhancement of both the recorded assets of the parish.

Be in General Conformity with Strategic Local Policy

The Fillongley Neighbourhood Plan has been written within the context of the North Warwickshire Local Plan and has been checked to ensure that it complements the objectives of the Local Plan.

Be Compatible with EU Obligations

The Fillongley Neighbourhood Plan was written to be compatible with EU obligations around human rights, habitat protection and environmental impacts.

Fillongley Neighbourhood Plan

The Environmental Assessment of Plans and Programmes Regulations 2004

SEA Screening Statement

Introduction

The requirement for a Strategic Environmental Assessment to be undertaken on development plans and programmes that may have a significant environmental effect is outlined in European Union Directive 200142/EC. The Environmental Assessment of Plans and Programmes Regulations 2004 state that this is determined by a screening process, utilising a specified set of criteria which is outlined in Schedule 1 of the Regulations. The results of this process must be set out in an SEA Screening Statement, which must be publicly available.

As the responsible authority under Regulation 9 of the SEA Regulations 2004, North Warwickshire Borough Council have produced this Screening Assessment and consequentially do not believe that the Draft Fillongley Neighbourhood Plan (FNP) in its current form will have any significant negative effects on the environment. We are therefore of the belief that a full environmental assessment is not necessary. This determination has been reached by assessing the contents of the Draft NP against criteria provided in Schedule 1 of the 2004 Regulations.

Fillongley Neighbourhood Plan

The Fillongley Neighbourhood Plan has been produced by Fillongley Parish Council with the aid of local residents; it plans for the future development and growth of the area up to the year 2034. The NP covers the Parish of Fillongley, North Warwickshire, as seen in Figure 1.

The objectives of the Fillongley Plan are expressed through the Vision listed at the start of the Plan. They are followed by policies which suggest practical ways of implementing the priorities of the residents of Fillongley expressed in several public consultations and surveys.

Vision Statement

To value, protect and promote the parish of Fillongley; a thriving rural community, preserving its historic setting and character whilst working to ensure its long term future by meeting the needs of those who live and work in this outstanding rural area. The built and natural heritage of the Parish will be maintained and protected. Future housing building should conform to the existing character by comprising small developments in keeping with their surroundings. Provision of a mix of housing for all sectors of the community must be made. Rural setting and character will be preserved and enhanced for residents and visitors alike.

Polices and Proposals

FNP01 Built Environment
This is our overriding goal. To retain the peaceful and quiet countryside of the Parish of Fillongley together with its diversity of agricultural businesses and woodland.

FNP02. Green Belt
The Greenbelt Policy set out in the NPPF and so no separate policy is required within this plan. FNP02 has been removed and is only commented on for completeness.

FNP03 Natural Environment
To protect and enhance the environment, ensuring the tranquil, rural nature of the Parish. To protect the visual appearance and important scenic aspects of the village centre (the setting) and other rural and natural features in the landscape. To protect the green spaces that already exist within and on the edges of the developed areas of the Parish as these contribute to the history, the rural nature, to residents well- being and the bio-diversity of the Parish. To protect and increase, where possible, current levels of biodiversity and interconnectivity by ensuring current wildlife corridors (using data from Biodiversity Interconnectivity Mapping) are maintained, and increased where practicable. To protect all existing definitively mapped footpaths that criss-cross our Parish and ensure that they are there for future generations to enjoy. To protect existing habitats of native species (using data from Habitat Distinctiveness Area map). To protect traditional Arden landscaped hedges and native trees.

FNP04 Flooding
To minimise flood risk within the village whilst maintaining balance with other policies. Any developments will ameliorate flood risks by providing SUDS as required in consultation with the lead flood authority.

FNP05 Housing.
New developments should encourage a broad mix of housing types including smaller starter homes and retirement dwellings together with provision for ‘Affordable Housing’ for local people as per NWBC requirements.

FNP06 Economy.
Support development of new rural businesses/rural employment opportunities when they are not to the detriment of existing residents. Ensure that new employment developments provide/ensure sustainable transport provision. Support digital infrastructure provision such as mobile phone/broadband. Support local business/amenities such as shops/pubs.

FNP07 Heritage
Work towards further protection and enhancement of both the recorded assets of the parish, and other locally identified heritage features. S106 /CIL financial contribution to go towards improvements for interconnectivity of Ancient Woodland using data from Habitat Biodiversity Audit, in the locality of the development.

FNP09 Traffic and Transport.
To promote safe vehicular access, parking/garaging and turning provisions for new developments without detriment to existing residents and the street scene. To ensure that number of car parking spaces to be related to the size of the new and extended properties; i.e a minimum of 2 parking spaces (as per NWBC standard) plus an additional 1 parking space per increased bedroom. Prevent developments that will give rise to significant traffic (particularly heavy goods) in/through the Parish.

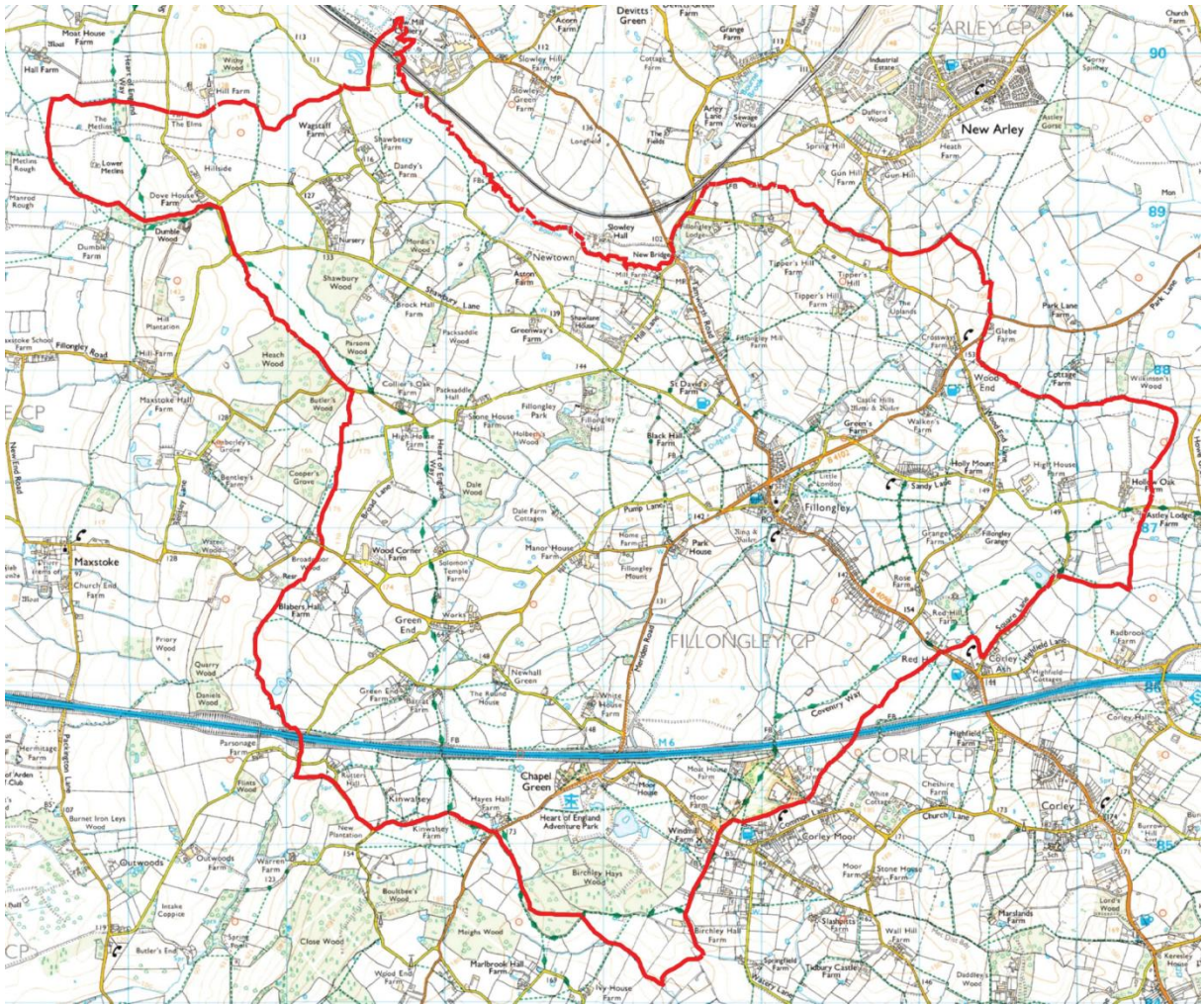

Figure 1: Fillongley Parish

1d Environmental problems relevant to the plan or programme.	No	The effects the FNP will have on the environment will be positive. This is due to the policies in the Plan which aim to protect and enhance environmental assets and the environment in general through good management and the promotion of sustainable development.

1e The relevance of the plan or programme for the implementation of Community legislation on the environment	No	The FNP is in compliance with the Local Plan which has taken into account the existing European and National legislative framework for environmental protection; it will therefore have a positive effect on compliance with regards to relevant legislation and programmes.

2a The probablility, duration, frequency and reversibility of the effects.	No	It is very unlikely that there will be any irreversible damaging environmental impacts associated with the FNP. The policies within the Plan seek to ensure new development is sustainably built and promotes the enhancement and protection of environmental assets. The timescales of the FNP is intended to be the same as that of the Local Plan; therefore the duration of any effects will be up to the year 2033. Should any unforeseen significant effects on the environment arise as a result of the FNP, the intention is to monitor and amend/update the Plan every 5 years; this will allow these effects to be addressed and reversed.

2b The cumulative nature of the effects**.**	No	It is considered that the policies contained in the FNP will have minimal negative effects on the environment and will have moderate positive effects. It is considered that all effects will be at a local level.

2c The trans boundary nature of the effects	No	Effects will be local with no expected impacts on neighbouring areas.

2d The risks to human health or the environment (for example, due to accidents).	No	No obvious risks have been identified, as the FNP's overall aim is to focus on the enhancement and protection of the environmental assets in the FNP area to provide for local residents and enhance social wellbeing.

2e The magnitude and spatial extent of the effects (geographical area and size of the population likely to be affected).	No	The FNP area relates to an area of approximately 2000 acres. The resident population of the FNP area is 1200 on the latest electoral roll.

2f The value and vulnerability of the area likely to be affected due to: (i) Special natural characteristics or cultural heritage; (ii) exceeded environmental quality standards or limit values; or (iii) Intensive land-use.	No	The FNP will not have an adverse effect on the value and vulnerability of the area in relation to its natural and cultural heritage. It will provide greater support to enhance the setting and identity of the area by supporting the enhancement of its non-designated heritage assets, environmental and community assets. The FNP provides additional guidance on design and sustainable development to ensure that any new developments enhance existing residential areas. It is important to local people that any new development remains in keeping with the area and maintains the balance between the natural and built environment. The FNP does not provide specific policies in relation to intensive land uses.

2g The effects on areas or landscapes that have a recognised national, Community or international protection status.	No	It is considered that the FNP will not adversely affect areas of landscape which have recognised community, national or international protection as the ANP aims to enhance and protect local assets.

As a result of this assessment, it is North Warwickshire Borough Council's opinion that there are no clear, significant negative impacts on the environment as a result of the contents contained of the Fillongley Neighbourhood Plan. Therefore it is considered that a full SEA is not required.

Consultation Statement for

Revised Fillongley Neighbourhood Plan 2025

1. Introduction

The Neighbourhood Planning Regulations 2012 part 5 s15 (2) sets out what a consultation statement should contain. This is as follows:-

(a) details of the persons and bodies who were consulted about the proposed Neighbourhood Development Plan

(b) an explanation of how they were consulted

(c) a summary of the main issues and concerns raised by persons consulted; and

(d) a description of how these issues and concerns have been considered and, where relevant, addressed in the proposed Neighbourhood Development Plan

2. Those contacted for the revision of FNP

All Parishioners, including businesses, received hand delivered letters for all the surveys and consultations. All surveys/consultations were also advertised on the Parish Council website, through the Parish Council Facebook page and on the Parish notice boards. For the Regulation 14 consultation, statutory consultees were contacted via email.

3. Methods

1. A Housing Needs Survey was conducted in 2023
2. There was a survey conducted of the proposed amendments to the FNP in 2023
3. A further Housing Needs Assessment was undertaken at the end of 2024/beginning of 2025
4. Regulation 14 consultation was undertaken in 2025;
   Further analysis of 2023 survey responses resulted in a draft NP. A letter (with weblink) was hand delivered to every property with the offer of a hard copy if they wish to contact the Parish Clerk. The emails were also sent to the Statutory Consultees.
5. Working with NWBC, amendments were made to the latest draft proposal to ensure compliance whilst still advocating the wishes of the local people.
6. The Parish Council have worked closely with NWBC Forward Planning Dept in order to ensure that the plan complies both with the processes laid down and also the NWBC Core Strategy.

4. Issues raised

The key issues raised were regarding flooding, housing and solar farms. Some comments have been used to amend our plan. Some alteration requests were covered by other regulation by, for example, the NPPF or the NWBC policies. Some responses requested amendments which were contrary to the majority views expressed, either in consultation responses, or through representation at PC meetings in direct response to proposals, eg development of land off Eastlang Road, allowing development of solar farms on prime agricultural land etc.

5. Actions taken

Every comment received from surveys, public consultations and meetings has been reviewed in detail by the Parish Council and actions taken where appropriate. In many cases the Fillongley Neighbourhood Plan and its associated documents have been amended.

6. Summary

The Fillongley Parish Council and Neighbourhood Planning Group firmly believe that the actions taken, and outlined above, demonstrate that the issued documentation clearly represents the stated views of the clear majority of the Fillongley community.

Appendix 1 Publicity and Community Consultation

The following publicity and consultations were undertaken in drafting the Neighbourhood Plan and to comply with Part 5 s14 of the Regulations.

It should be noted that broad progress of the Revisesd FNP has been discussed and Minuted at every Parish Council Meeting since the initial decision to review in 2022. These Minutes have not been specified in the publicity Appendix.

Method	Location	Date	Comments	Evidence Base Document Reference
Parish Magazine	Households	October 2022	Revision in progress, announces Housing Needs Survey to be out soon	Public record
Parish Magazine	Households	Feb 2023	Announcing delivery of the Housing Needs Survey	Public record
Letter	Households	March 2023	Housing Needs Survey 2023	EB 09/05
PC meeeting	Village Hall	June 2023	Housing Needs Survey Results 2023	EB 09/06
Parish Magazine	Households	August 2023	Thanking respondents of HNS	Public record
Letter	Households	01/10/23	Revised FNP Consultation 2023	EB 09/03
Parish Magazine	Households	Nov 2023	Reinforcing that everyone should have received FNP Update consultation	Public record
PC Meeting	Village Hall	October 2023	Revised FNP Consultation Results 2023	EB 09/04
Parish Magazine	Households	Feb 2024	Information that to look out for the revised FNP consultation	Public record
Parish Magazine	Households	Nov 2024	Refers to update for fnp	Public record
Letter	Households	Dec 2024	Housing Needs Assessment 24/25	EB 09/07
Facebook	Group Members	05/01/25	Reminder to complete Housing Needs Assessment 2025	Public record
PC Meeting	Village Hall	January 2025	Results of Housing Needs Assessment 24/25	EB09/08
Parish Magazine	Households	Feb 2025	Thanks to those completing the Housing Needs assessment. Announcing the next full consultation on FNP	Public record
Letter	Households & Statutory Consultees	03/02/25	Regulation 14 Consultation	EB 09/13
Facebook	Group members	17/02/25	Reminder to respond to Reg 14 consultation on Revised FNP	Public record
Parish Council Meeting	Village Hall	20/03/24	FPC agree to submit to NWBC the Revised Fillongley Neighbourhood Plan for Regulation 16 Consultation	Public Record

Appendix 2 – Record of comments received

Document	Reference
Summary of online responses received to Reg 14 consultation	EB 09/14
Online response	EB 09/14a
Online response	EB 09/14b
Online response	EB 09/14c
Online response	EB 09/14d
Online response	EB 09/14e
Online response	EB 09/14f
Online response	EB 09/14g
Online response	EB 09/14h
Online response	EB 09/14i
Online response	EB 09/14j
Online response	EB 09/14k
Online response	EB 09/14l
Online response	EB 09/14m
Online response	EB 09/14n and o (duplication)
Response from WCC Ecology	EB/09/15a
Response from Coal Authority	EB 09/15b
Response from National Grid	EB/09/15c
Response from Natural England	EB/09/15d
Response from Environment Agency	EB 09/15e
Response from Historic England	EB/09/15f
Response from Environmena	EB/09/15g
Response from LLFA	EB 09/15h
Response from NWBC	EB 09/15i

Appendix 3 - Consultation Log

Consultee	Reply received	Reference
Environment Agency		EB/09/15e
Natural England		EB09/15d
Highways England	no	
Historic England		EB09/15f
WCC (public Health /Infrastructure /Transport/Ecology/LLFA		EB09/15a and EB09/15h
Inland Waterways Association	no	
Severn Trent	no	
NWBC		EB/09/15i
HS2	no	
Woodlands Trust	no	
Coal Authority		EB09/15b
Warwickshire Wildlife Trust	no	
HCA	no	
West Mercia Police	no	
National Grid		EB09/15c
NWBC Cllr Wright	no	
NWBC Cllr Simpson	no	
WCC Cllr Humphreys	no	
Arley PC	no	
Shustoke PC	no	
Meriden PC	no	
Coventry City Council	no	
Corley PC	no	
Packington and Maxstoke	no	
Fillongley Scouts	no	
Fillongley Guides	no	
Fillongley Cricket Club	no	
Fillongley Football Club	no	

Consultation has taken place as listed on the Consultation Log. Amendments made after consultation were evolved as responses came in and were discussed and the Plan progressed.

Appendix 4 Email addresses for online responses

Adrian White	[redacted]
Diana Wardley	[redacted]
Peter Wardley	[redacted]
Mike Newman	[redacted]
Pat Cripps	[redacted]
Lucy Skelding	[redacted]
Diane Goolding	[redacted]
Karla Ryan	[redacted]
Heather Badham	[redacted]
Jan Prowse	[redacted]
Maria – Delta Planning	[redacted]
Rebecca Brookes	[redacted]
Kristina Brandreth	[redacted]
Steven Bainbridge - Enviromena	[redacted]

Appendix 5 Consultation Evidence Action Log

Consultee	Reference	Actions
Summary of online responses received to Reg 14 consultation	EB 09/14	As individually listed below however it is noted that the overall response was of agreement to the proposals put forward.
Online response	EB 09/14a	Comments noted. No action taken.
Online response	EB 09/14b	No comments made. No action taken
Online response	EB 09/14c	No comments made. No action taken.
Online response	EB 09/14d	No comments made. No action taken.
Online response	EB 09/14e	No comments made. No action taken.
Online response	EB 09/14f	No comments made. No action taken.
Online response	EB 09/14g	Comments noted. Respondent did not ask for further information. No action taken.
Online response	EB 09/14h	Comment in support of inclusion of light pollution issue. Noted. Comment in support of inclusion of drovers roads. Noted. Comment on FNP07 noted, similar requirements already included in local and national policies
Online response	EB 09/14i	No comments made. No action taken
Online response	EB 09/14j	No comments made. No action taken
Online response	EB 09/14k	No comments made. No action taken
Online response	EB 09/14l	No comments made. No action taken
Online response	EB 09/14m	No comments made. No action taken
Online response	EB 09/14n and o (duplication)	Comments noted. No action taken.
Response from WCC Ecology	EB/09/15a	Comments noted. No action required.
Response from Coal Authority	EB 09/15b	Comments noted. No action required.
Response from National Grid	EB/09/15c	Comments noted. No action required.
Response from Natural England	EB/09/15d	Comments noted. Research/ consultations recommended already completed. No further action required.
Response from Environment Agency	EB 09/15e	Comments noted. No action required.
Response from Historic England	EB/09/15f	Comments noted. No action required.

Response from Environmena	EB/09/15g	Comments noted and discussed at length. No alteration required.
Response from LLFA	EB 09/15h	Comments noted. Most comments already included in other local and national polices. Flow rate comment noted and actioned.
Response from NWBC	EB 09/15i	All comments noted. Most were to do with the structure/layout/typing errors or inconsistent wording (Open spaces – greenspaces) of the document. Alterations implemented.

Fillongley Neighbourhood Development Plan

Review 2025

Statement of Modifications

From the original plan to the proposed plan submitted for Regulation 14 Consultation

Contents

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2.0 National Planning Practice Guidance (PPG) 3
3.0 Material Modifications to the Made NDP 5
4.0 Do the Material Modifications Change the Nature of the Plan? 6
Appendix 1 Detailed Modifications 7

1.0 Introduction

1.1 The Fillongley Neighbourhood Plan Review (FNPR) updates the previous Fillongley Neighbourhood Plan (FNP) 2018 - 2034. The former FNP was examined, subjected to a local referendum and then made (adopted) by North Warwickshire Borough Council in June August 2019.

1.2 In 2023 the Parish Council decided to review the FNP. The Review is being undertaken to update the policies and proposals in the previous FNP.

1.3 The Review NDP has been informed by the following:

- Changes to national planning policy set out in the National Planning Policy Framework (NPPF) December 2024 and other Government guidance;
- The North Warwickshire Local Plan, Adopted September 2021 and associated supporting documents and evidence base;
- The findings of the Fillongley Housing Needs Survey 2023
- The responses to the questionnaire Fillongley Neighbourhood Plan Revision Survey 2023
- The findings of the Fillongley Housing Assessment January 2025
- Experience of the Fillongley Parish Council since the adoption of the FNP.
- Informal advice and discussions with North Warwickshire Borough Council.

1.4 This document is the Statement of Modifications for the Regulation 14 Draft Plan. It sets out the extent of the modifications to the former FNP and summarises the changes to policies and proposals which have been incorporated into the NDP Review document.

2.0 National Planning Practice Guidance (PPG)

2.1 Planning Practice Guidance for neighbourhood planning sets out when it is considered necessary to review and update a neighbourhood plan[1]. This provides the following advice:

'Updating a neighbourhood plan

In what ways can a neighbourhood plan or order be changed?

There are 3 types of modification which can be made to a neighbourhood plan or order. The process will depend on the degree of change which the modification involves:

[1] https://www.gov.uk/guidance/neighbourhood-planning--2#updating-neighbourhood-plan

- *Minor (non-material) modifications to a neighbourhood plan or order are those which would not materially affect the policies in the plan or permission granted by the order. These may include correcting errors, such as a reference to a supporting document, and would not require examination or a referendum.*
- *Material modifications which do not change the nature of the plan or order would require examination but not a referendum. This might, for example, entail the addition of a design code that builds on a pre-existing design policy, or the addition of a site or sites which, subject to the decision of the independent examiner, are not so significant or substantial as to change the nature of the plan.*
- *Material modifications which do change the nature of the plan or order would require examination and a referendum. This might, for example, involve allocating significant new sites for development*.'

Paragraph: 106 Reference ID: 41-106-20190509
Revision date: 09 05 2019

2.2 The modifications to the Fillongley Neighbourhood Plan are considered to be material as they go further than correcting errors.

2.3 PPG goes on to advise:

'How are more substantive neighbourhood plan updates made?

If a qualifying body wish to make updates (modifications) that do materially affect the policies in the plan, they should follow the process set out in guidance, with the following additional requirements:

- *the qualifying body must (at the pre-submission publicity and consultation stage and when the modified plan is submitted to the local planning authority) state whether they believe that the modifications are so significant or substantial as to change the nature of the plan and give reasons.*
- *the local planning authority must (when sending the modified plan to the independent examiner) state whether they believe that the modifications are so significant or substantial as to change the nature of the plan and give reasons. The local planning authority must also submit a copy of the original plan to the independent examiner.*
- *the qualifying body must decide whether to proceed with the examination after the examiner has decided whether the modifications proposed change the nature of the plan.'*

2.3 The Statement sets out the extent of the modifications and gives reasons why the Parish Council considers the modifications are minor or material and if so whether they are so significant or substantial as to change the nature of the plan.

3.0 Material Modifications to the Made FNP

3.1 The FNP Review comprises amendments to formerly made neighbourhood plan policies and the introduction of one further allocated green space.

3.2 Following discussions with North Warwickshire Borough Council, the Parish Council agreed that the review would not include new site allocations for housing development but would focus on updating the other neighbourhood plan policies.

3.3 Former made NDP Policies which have been retained and modified are shown in Table 1: List of Modified NDP Policies:

Table 1: List of Modified NDP Policies

Former Made FNP Policy	Modified Policy in Review FNP	Brief Reason
FNP01: Built Environment	FNP01: Built Environment	The Policy has been updated to include the desire to blend development with the local landscape (closing a wording gap between FNP01 and FNP02), and the need to protect the area against further light pollution. These issues were identified by FPC who have received complaints regarding various properties over the duration of the current FNP and responses from the FNP Revision Survey 2023.
FNP02: Natural Environment	FNP02: Natural Environment	The Policy has been updated to include reference to recent legislation. The wording has also been updated to be more positive and less “woolly”.
FNP03: Flooding	FNP03: Flooding	The Policy has been updated and reworded to take into account the work of Fillongley Flood Group in trying to introduce measures to reduce flooding and protect homes in the Parish. The policy notes the impact of downstream water flow on to other properties and asks for development to provide more specific information so that informed decisions can be made. Responses from the FNP Revision Survey 2023 have been taken into account.

Former Made FNP Policy	Modified Policy in Review FNP	Brief Reason
FNP04: Housing	FNP04: Housing	The Policy has been amended and detailed to reflect the wishes and needs of the community following the responses to varied consultations; • Housing Needs Survey 2023 • FNP Revision Survey 2023 • Housing Needs Assessment 2025 And data from 2021 census for Fillongley.
FNP05: Economy	FNP05: Economy	The policy has been amended with consideration to responses from FNP Revision Survey 2023 together with current trends enabling better working from home.
FNP06: Heritage	FNP06: Heritage	This policy has been updated to include much more specific, useful detail, designed to complement FNP01 and FNP02 whilst maintaining the objectives of the original responses to the FNP.
FNP07: Traffic and Transport	FNP07: Traffic and Transport	This policy has been updated to reflect responses from FNP Revision Survey 2023

4.0 Do the Material Modifications Change the Nature of the Plan?

4.1 The changes to the NDP Policies and supporting text are considered to comprise material modifications that do not change the nature of the Plan. M odifications comprise of updates to the former policies and several references to various public consultations which were commissioned as part of the review process.

4.2 The Parish Council considers that an examination will be required but not a referendum. However, it is recognised that the local planning authority (North Warwickshire Borough Council) and the examiner will draw their own conclusions and make recommendations accordingly as the FNP Review moves forward through the process.

4.3 Table 2 in Appendix 1 sets out all the modifications to the Adopted Fillongley Neighbourhood Plan 2019.

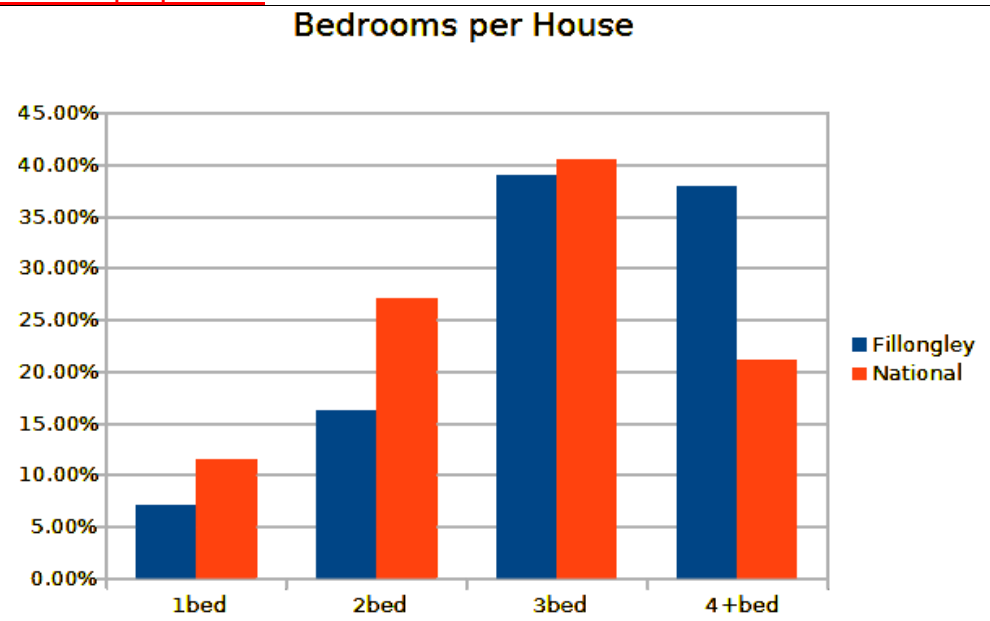
Appendix 1 Detailed Modifications

Table 2:Fillongley NDP Modifications

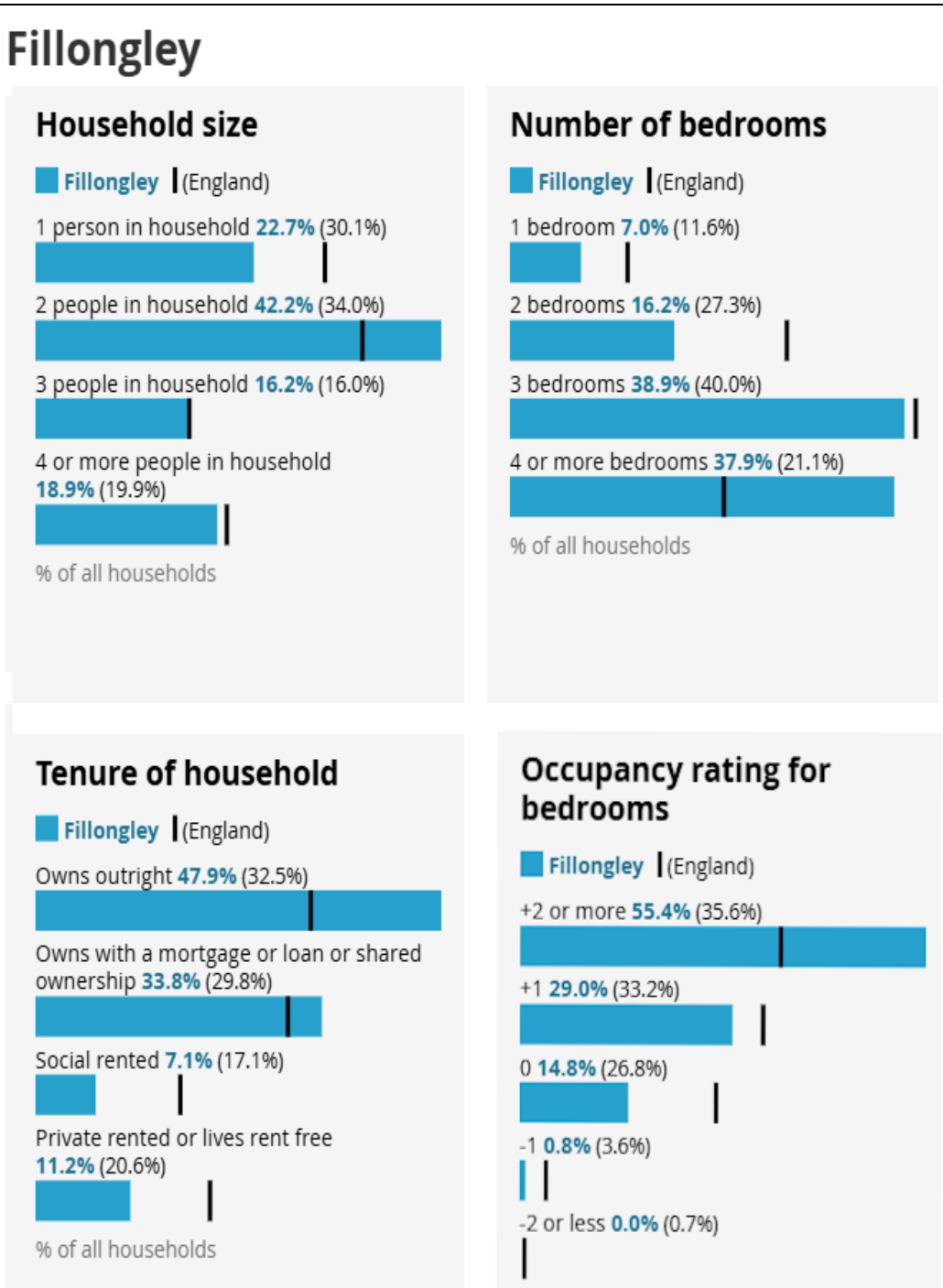
Reference Number	Made NDP Section / Policy / Para Number	Proposed change shown as deleted wording ~~strikethrough~~, and new wording in red text and underlined.	Brief description of reason for change and QB view on nature of change/modification i.e. • Minor (non-material) • Material that do not change the nature of the plan • Material that would change the nature of the plan
1.	Front cover	Added in revision date	The new front cover refers to the Review NDP (Regulation 14 Draft Plan). Minor change.
2.	Contents	Adjusted table, particularly page numbers to reflect additional contents. No evidential content from the original plan has been removed	Former contents table amended to add in the new consultations and evidence formulating the review. Page and reference numbers amended. No items are removed. Minor change.
3.	1.0.1	• Red sandstone buildings and walls created from local stone that is still found in fields and has been reused from older buildings.	Further information come to light. Material change that does not

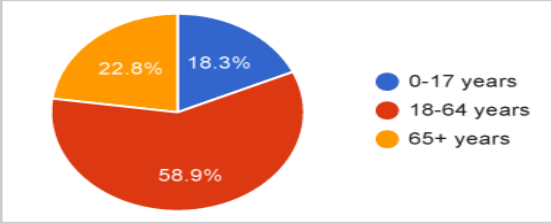
			change the nature of the plan.
4	1.0.4	Once the Plan has been accepted the Parish Council will ~~annually~~ consider whether any major changes should be made to the Plan. The review of the adopted FNP started in 2023. Within the first 5 years of the FNP, NWBC have altered their own policies and the Government-led specific number of properties to be built in Fillongley parish was withdrawn. There are updates to building regulations and requirements also superceding, and sometimes coming into line, with the wishes of the community and very recently a new NPPF (2024). Planning Practice Guidance is yet to be reissued. There are a number of areas where the Parish Council has had concerns that the policies are not worded strongly enough, and do not reflect well enough, the wishes of the Parishioners and the intentions of the Council. These were consulted on with the Parish in 2023. A number of policies have now been reworded. There have also been a further two new surveys, as part of the review, to understand the needs of the Parish. As these changes have been proposed, the Community is consulted to ensure that the Council are in sync with the Parishioners and that this remains a community driven document for the community, by the community.	The FNP has not been formally reviewed annually so remove this duty from the Council. Minor change. Amended policies from higher authorities led to change. Material change that does not change the nature of the plan. Amended policies from higher authorities led to change. Material change that does not change the nature of the plan. Self-explanatory. Material change that does not change the nature of the plan. .

5.	1.0.5 Map 2 Fillongley Development Boundary and Conservation Area	Fillongley Parish has two separate "*Development Boundaries*" within which development is permitted (subject to NWBC and FNP policies).	To ensure compliance with adopted FNP. Material change that does not change the nature of the plan.
6.	1.1.0	**Preparation of the Original Plan**	Description of section. Minor change
7.	1.2 1.2.1 1.2.2 1.2.3	Update of the Plan Results of the Housing Needs Survey 2023 Results of the FNP Update Survey 2023 Results of the Housing Needs Assessment 2025	This is the evidence for the changes proposed to the policies. Material change that does not change the nature of the plan.
8.	1.2.4	Consultation 2025	This is a new section stating that there will be a 6 week consultation process to review FNP. Material change that does not change the nature of the plan.
9.	2.1.1.6	Experience since the adoption of the FNP, is of an increase in home extensions, particularly extending bungalows into larger houses. This reduces the options of those wishing to downsize but stay in the Parish.	Experience explaining the need for further housing surveys. Material change that does not change the nature of the plan.
10.	2.1.1.7	Only 9% of properties are 1 bedroom, (compared to 11.6% nationally) and of these 5% are the flats in Eastlang Road which leaves only 4% of properties in the Parish as 1 bedroom properties away from Eastlang Road. 18% are 2 bedrooms; compared to a national average for England of 27.3% and 33.5% are 4+ bedrooms compared to a national average of 21.1%. This demonstrates that our parish is "top heavy", with a lot of large homes and disproportionately fewer smaller homes available.	Statistics from 2021 census explaining the current situation. Material change that does not change the nature of the plan.

11.	2.1.4 2.1.4.1 2.1.4.2 2.1.4.3	Further Evidence for FNP Updates In 2023, over 60% of respondents have lived in the Parish for 15+ years. In 2023, 79.7% of survey respondents lived in a one or two person household. 2021 parish census data is that 64.8% of residents live in a one or two person household. This indicates that respondents were in similar proportion to the general population of the Parish. 2021 Census data; 23.2% of the Parish is comprised of 1 and 2 bedroom properties.	Further evidence from 2023 Housing Needs Survey. Material change that does not change the nature of the plan.
		 No Fillongley National 1bed 7.00% 11.40% 2bed 16.20% 27.10% 3bed 38.90% 40.43% 4+bed 37.90% 21.07%	Further evidence from 2021 census. Material change that does not change the nature of the plan.

	2.1.4.4	2021 Census; Number of people in 1 and 2 household size was 64.9%	Further evidence from 2021 census. Material change that does not change the nature of the plan.

			Further evidence from 2021 census. Material change that does not change the nature of the plan.

	2.1.4.5 2.1.4.6	2021 Census; Occupancy rating of bedroom 2 or more was 55.4% 2021 Census; 16.6% of households are all over the age of 65.  **Age Groups (C 2021)** 0-17 years 288 18-64 years 929 65+ years 359 **Source:** UK Office for National Statistics (web).	Further evidence from 2021 census. Material change that does not change the nature of the plan.
	FNP01 Built Environment Policy	• The Parish's historic and rural character is well recognised, with the Church's setting and the broader rural landscape being particularly important. To preserve the balance of the entire landscape, no development will be allowed to disrupt this harmony. • Development proposals, as appropriate to their scale, nature and location, ~~where possible~~ should ensure the designs of new buildings (including extensions) do not cause a detrimental change to the overa character to ~~the village,~~ the neighbourhood plan area, the rural landscape of the parish and the setting of the Church through; ○ Encouraging developments that use the scale, shapes, forms of "traditional Arden Valley buildings", especially in or close to the Conservation Area. ○ Development should conserve the built character of Ancient Arden Landscape by ensuring that new development reflects vernacular features as stated in "Design Guidelines for Development in Ancient Arden" (WCC Character Guidelines 1993) (Evidence Base 05/03 National Character Assessment	Better, stronger wording to more appropriately and accurately reflect the original intentions of the policy together with the additional evidence gathered. Material change that does not change the nature of the plan.

		● Development that will affect the setting of the Church should be in accordance with the Fillongley Neighbourhood Plan, North Warwickshire Local Plan and the advice of Historic England. ● Development proposals, should be designed to take account of the landscape, the landscape character and topographical setting of the local area which contributes to the distinctive character of the Parish. ● The layout, scale and boundary treatment of any applicable development should seek to retain a sense of space, place and (wher relevant) separation. ● Buildings must be designed in such a way so as to make a positive us of local landform, mature trees, hedgerows and other vegetation and larger proposals has had a suitable regard to landscape setting and settlement pattern; ○ Seek to minimise the encroachment of development into visually exposed landscapes and where development is proposed on the edg of the village. Designs should not lead to inappropriate incursion into the surrounding countryside by reason of its siting, design, materials use of landscaping. ○ As appropriate to its scale, nature and location, development proposa across the Parish should demonstrate they are sympathetic to the landscape setting as defined in the NWBC Landscape Character Assessment. All applicants shall show that they have taken into account the matters identified above. Designs must include features to minimise light pollution.	Material change that does not change the nature of the plan.
	2.2.4	As per the NPPF 2012 Fillongley is in the Green Belt and inappropriate development will not be permitted unless very special circumstances can be demonstrated. The Greenbelt Policy is set out in the NPPF 2012 and so no separate policy is required within this plan. The NPPF 2025 contains amendments with regard to the Green Belt.	Change in policy. Material change that does not change the nature of the plan.

	2.3.1.3 2.3.1.4	Experience since the development of FNP is that there are significant applications in the Borough for Solar Farms. At the time of the original survey, the trend was for wind generator applications. These were not wanted by respondents. The FNP already states the high value that residents put on being part of a rural, farming community. FPC has received more complaints regarding properties installing exterior lighting. This has reduced the dark skies, especially since WCC have switched off street lighting late at night – it has made the exterior lighting more obvious and also more intrusive to other residents and wildlife.	Update on Key Facts from recent local experience. Material change that does not change the nature of the plan.
	2.3.3.5 2.3.3.5 2.3.4 2.3.4.1	To maintain the existing and traditional availability of farmland for food production and contribution towards food security. To reduce light pollution in order to reduce the possibility of complaints to the Council due to issues for both residents and wildlife. ***Further Evidence for FNP Updates*** Comments from the FNP update consultation 2023 "The extent of light pollution is terrible", "The increase in external lighting on residential properties is a blight on the area and completely unnecessary", "in favour of motion sensors or just down lights, but those that light up and down are pretty but pointless and cost money to run, wasting electricity, money, adding to carbon footprints and not helping wildlife".	Clearer objectives. Material change that does not change the nature of the plan. Evidence from 2023 and 2025 consultations. Material change that does not change the nature of the plan.

	FNP02	• Protect and increase, in accordance with Habitat Biodiversity Net Gain, ~~where possible,~~ current levels of biodiversity and interconnectivity by ensuring current wildlife corridors (using data from Biodiversity Interconnectivity Mapping) are maintained, and increased ~~where practicable~~. • Any development should have regard to the Habitat Biodiversity Audit (EB 05/01) • Section 106 payments/CIL financial contributions, should ~~wherever possible~~ go towards improvements to levels of biodiversity and interconnectivity using data from the Habitat Biodiversity Audit in the locality of the development (Reference EB 05/01) • Existing definitively mapped footpaths that criss-cross our Parish should be protected and enhanced ~~wherever possible~~. • Existing habitats of native species should be protected ~~wherever possible~~ (using data from Habitat Distinctiveness Area map). • Protect traditional Arden landscaped hedges and native trees ~~wherever possible~~. • Plans must include features to minimise light pollution.	Stronger wording. Material change that does not change the nature of the plan. As above. Light Pollution reduction in line with survey responses. Material change that does not change the nature of the plan.

	2.4 Open Spaces	7. Corner of Eastlang Road/Junction with Coventry Road	Additional green space generated from survey responses. Material change that does not change the nature of the plan.
	2.5.4 2.5.4.1 2.5.4.2	***Further evidence for FNP Update*** Comments from FNP Update consultation; "Anything having a detrimental impact on flood risks must be avoided given current weather trends", " this is common sense", "flood prevention is very important", "no building should take place to impact this". Report from hydrologist; Clive Young of Edenvale Young Associates regarding water flowing into the centre of the village.	New evidence from consultations. Material change that does not change the nature of the plan.

	FNP03 Flooding	• Development should minimise flood risk within the village whilst maintaining balance with other policies. Any developments will ameliorate flood risks by providing SUDS (Sustainable Drainage Systems) as required in consultation with the Fillongley Flood Group or other entity nominated by FPC and the lead local flood authority.
		• Development within flood zone 3 will be required to show no increase to the site and to others in line with the requirements of the NPPF 2025, and where possible a reduction in flood risk to the site and others should also be encouraged.
		• Surface water management strategies should demonstrate how site-specific guidance in the Strategic Flood Risk Assessment has been implemented and should be in accordance with Drainage Hierarchy (Planning Practice Guidance 80)
		• Drainage systems should maintain or, where applicable, enhance the aesthetic, recreational and ecological quality of the area and be available, where appropriate, as recreational space.
		• Development should incorporate SUDS. SUDS proposals should be managed in line with the Governments Water Strategy. In particular SUDS proposals should;
		  ○ Provide multifunctional benefits (eg enhance biodiversity by providing natural flood management and mitigation through the improvement or creation of green infrastructure such as ponds, wetlands, woodlands and swales).
		  ○ Take account of advice from Warwickshire County Council as the Lead Flood Authority, the Environment Agency and Severn Trent Water (as the sewage management company)
			Tighter wording to ensure the objectives are met. Material change that does not change the nature of the plan.

		• Proposals will be supported to include the replacement of tarmac or equivalent non-porous surface with a SUDS scheme in the area identified as Flood Zone 3.	
	2.6.1.2 2.6.1.3 2.6.1.5 2.6.1.7 2.6.1.9 2.6.1.11 2.6.4	Census 2021 Fillongley Parish currently has a population of 1083 people in approximately 640 households. Census 2021 Fillongley Parish currently has 20% of its population under 20 years of age, 26% are aged 50 – 70 years and 17% are over 70 years old. The number of older people as a percentage of the population is above average for England. Census 2021 There are approximately 22.7% of one person households. Census 2021 Approximately 81.7% of households in Fillongley are owned outright or with a mortgage by the occupants. Census 2021 11% are privately rented households, with 7% being socially rented accommodation. Evidence shows that since the plan was out for consultation (January 2018) to date (December 2024) permission has been granted for 23 new dwellings and 43 extensions in the parish. Further evidence for Neighbourhood Plan Housing Needs Survey 2023; Do you feel that the Parish suffers from a lack of adequate housing?	Updated evidence. Material change that does not change the nature of the plan.

	2.6.4.1 2.6.4.2 2.6.4.3 2.6.4.4 2.6.4.5 2.6.4.6 2.6.4.7	61 responses. No - 47.5%, Yes - 29.5%, Don't know 23%. "Yes" submitted varying needs response; affordable housing/affordable housing for local people/ starter homes/single storey retirement accommodation. Housing Needs Survey 2023; Do you think the current mix of housing fulfils your familys housing needs? 61 responses. Yes - 65.6%, 23%, No, 11.5% Don't Know Housing Needs Survey 2023; Do you think that the Parish has a suitable range of housing? 61 responses: Yes – 50.8%, No – 31.1%, Don't know – 18% Housing Needs Assessment 2025. This survey was intended to reflect less on residents' imminent "Need" and to remove the requirement to complete financial details, in an effort to encourage residents to participate. It includes wishes and aspirations, whether to downsize or move to an independent property etc and thoughts as to the balance of the properties in the Parish. Housing Needs Assessment 2025; (If you currently rent your home) Would you like to own your own home, but cannot afford to buy one in Fillongley that suits your needs? 10 responses 80% yes, 20% no Housing Needs Assessment 2025; Do you need to move to a larger accommodation, either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property? 70 responses 7% Can't afford, 1% not available, 5% yes, 87% No Housing Needs Assessment 2025; Do you need/wish to move to a smaller/single storey accommodation either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?	Updated evidence. Material change that does not change the nature of the plan.

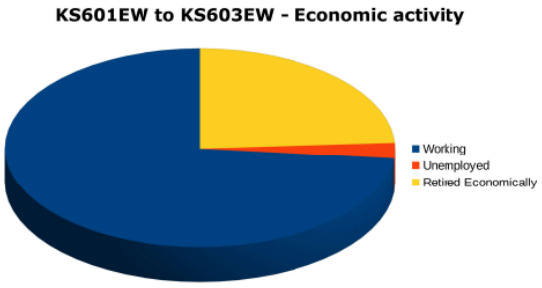
	2.6.4.8	73 responses 33% yes, 67% no Housing Needs Assessment 2025; If you answered Yes to the above question: Do you need? • Affordable property to release equity for retirement 4% • Single storey accommodation 12% • Sheltered accommodation 0 % • Quality, spacious, single storey accommodation but not as large as your current property 72% • first time buyer 4% • affordable new housing 4%	Updated evidence. Material change that does not change the nature of the plan.
	FNP04 Housing	• ~~All new developments should encourage a broad mix of housing types including smaller starter homes and retirement dwellings together with provision for 'Affordable Housing' for local people as per NWBC requirements.~~ • Proposals for residential development will be expected to contribute to the objective of creating a mixed and balanced community. • To achieve this objective, new residential development should seek to include in their housing mix a majority (greater than 50%) of 1 bedroom and 2 bedroom dwellings. These should provide for a range of needs including; homes for those with mobility issues; homes for older people; homes for young people. Where possible	Stricter wording, responding to new evidence and enabling the objectives. Material change that does not change the nature of the plan.

		this should include a mixture of ownership tenures to enable younger residents to stay in the Parish and purchase their own homes. • There is currently (2024) a disproportionately low number of bungalows to the number of residents over 60. • Development proposals for housing will be required to demonstrate that they take into account the most up to date published independent evidence of housing needs in Fillongley parish. • Where possible, affordable housing should be made available to eligible households with a local connection to the Parish in the first instance. • The affordable dwellings should include a mix of affordable home ownership and affordable dwellings for rent. • Proposals for new dwellings which incorporate flexible layouts (to facilitate home working and/or adaptations required by the occupiers over their lifetime) will be supported if the required housing mix is achieved. • Subject to viability assessment, homes that are accessible and adaptable (as defined in the Building Regulations) will be supported where they otherwise comply with development plan policies. • Development proposals will be required to demonstrate that residents and visitors parking requirements can be accommodated off street to facilitate traffic flow and accessibility for service and emergency vehicles. Proposals should ensure that enough off-street parking is integrated into the layout of the scheme or provided off site.	

<table>
<tr><td></td><td></td><td>New developments should include sufficient amenity space to serve the needs of the development and its users.</td><td></td></tr>
<tr><td></td><td>2.7 Economy
2.7.1.2

2.7.1.4
2.7.1.6</td><td>In 2021 Census 60% of population (who are of working age) are employed.
In 2021 Census 1% are unemployed.

In 2021 Census 39% are economically inactive (retired/students etc).

<table>
<tr><td>Working</td><td>805</td></tr>
<tr><td>Unemployed</td><td>28</td></tr>
<tr><td>Retired Economically Not Contributing</td><td>264</td></tr>
</table>
ONS Crown Copyright Reserved [from Nomis on 16 December 2024]</td><td>New evidence. Material change that does not change the nature of the plan.</td></tr>
</table>

	FNP05 Economy policy	• Business development will be supported when it is a) on brownfield sites or b) where small scale employment uses already exist in a suitable location, or c) as part of mixed-use schemes. • All new development should be provided with appropriate street ducting to allow connection to any superfast broadband service which may be (or become) available.	Additional wording to improve policy and make consistent with other developmental policies. Material change that does not change the nature of the plan.
	2.8.3.4 2.8.3.5 2.8.3.6	Further Evidence for FNP Updates New work by Keystone Heritage discovering further historic information about the Parish Response from FNP Update Survey 2023 suggested including sandstone boundary walls as protected heritage features	New evidence. Material change that does not change the nature of the plan.

	FNP06 Heritage Policy	• Applications for development that will harm designated and non-designated heritage assets will be refused unless the circumstances that would permit approval specified in the appropriate part of ~~paragraphs 133 to 135 of~~ the NPPF ~~(2012)~~ apply. • Development should demonstrate an understanding of the history of the area. Proposals for development, including change of use that involve a designated heritage asset, or the setting of a designated heritage asset will be expected to ○ conserve, enhance or better reveal those elements which contribute to the heritage significance and/or its setting; ○ respect any features of special architectural interest, including where relevant the historic curtilage or context, its value with a group and/or its setting, such as the importance of a street frontage, traditional roofscape or traditional shopfronts; ○ be sympathetic in terms of its siting, size, scale, height, alignment, proportions, design and form, building techniques, materials and detailing, boundary treatments and surfacing, or are of a high quality contemporary or innovative nature which complements the local vernacular, in order to retain the special interest that justifies its designation; ○ ensure significant views away from, through, towards, and associated with the heritage asset(s) are conserved or enhanced. • Proposals that will lead to substantial harm or total loss of significance to a designated heritage asset will be dealt with in accordance with Para 208 of the NPPF 2025 (208. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.)	More specific wording, particulary using experience from public Inquiry demonstrating the need for specific context. Using new evidence from Heritage Report. Material change that does not change the nature of the plan.

		• Proposals that would result in less than substantial harm to the significance of a designated heritage asset (including their setting) will only be supported where it can be demonstrated that the public benefits will outweigh any harm identified. • The restoration of Listed Buildings on Historic England's Heritage at Risk register, will be supported where the proposal is compatible with the designation provide that the proposal; a) recognises the significance of the heritage asset as an integral part of the proposal and its design and layout, b) recognises the significance of the heritag asset as a central part of the design and layout, c) has special regard to the desirability of preserving the asset and its setting and any features of special architectural or historic interest, and d) removes or seeks to remove the risk to the heritage asset. The former drovers' lanes are narrow country lanes and have a historic and rural landscape character being mainly single width carriageways which are sunken and with mature, high hedges in place. Where possible, proposals should demonstrate they have regard to this historic rural landscape character in the proposals for the movement of vehicles, pedestrians and cyclists along them.	
	FNPo7 Traffic and Transport Policy	• All development proposals will be required to demonstrate that residents' and visitors' parking requirements can be accommodated off street to facilitate traffic flow and accessibility for service and emergency vehicles. Proposals should ensure that off-street parking is integrated into the layout of the scheme or provided off site.	More specific wording to bring in line with other development policies. Material change that does not change the nature of the plan.

	4.0 References	**4.0 References** References to relevant policies to our plan, this is not an exhaustive list and there may be others that are also relevant. **FNP01: Built Environment** NPPF 2024 132. "Plans should, at the most appropriate level, set out a clear design vision and expectations, so that applicants have as much certainty as possible about what is likely to be acceptable. Design policies should be developed with local communities so they reflect local aspirations, and are grounded in an understanding and evaluation of each area's defining characteristics. Neighbourhood planning groups can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development, both through their own plans and by engaging in the production of design policy, guidance and codes by local planning authorities and developers". NPPF 2024 134. "Design guides and codes can be prepared at an area-wide, neighbourhood or site specific scale, and to carry weight in decision-making should be produced either as part of a plan or as supplementary planning documents. Landowners and developers may contribute to these exercises, but may also choose to prepare design codes in support of a planning application for sites they wish to develop. Whoever prepares them, all guides and codes should be based on effective community engagement and reflect local aspirations for the development of their area, taking into account the guidance contained in the National Design Guide and the National Model Design Code. These national documents should be used to guide decisions on applications in the absence of locally produced design guides or design codes".	New policies. Material change that does not change the nature of the plan.

		NPPF 2024 135. “Planning policies and decisions should ensure that developments: c) are sympathetic to local character and history, including the surrounding built environment and landscape setting”. NPPF 2024 139. “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes.” NPPF 2024 124. “makes as much use as possible of previously-developed or ‘brownfield’ land” ~~NPPF 28 Core Planning Principles ‘always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings’.~~ ~~NPPF56 The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.~~ ~~NPPF64 Permission should be refused for development of poor design that fails to take available opportunity for improving the character and quality of an area and the way it functions~~ ~~NWLP-CS 4.6 Strategic Objectives ‘To deliver high quality developments based on sustainable and inclusive designs’.~~ ~~NPPF 17 Core Planning Principles ‘encourage the effective use of land by reusing land that has previously been developed (brownfield land)’~~	

		~~NWLP-CS NW10 Development Considerations 1. 'be targeted at using brownfield land etc'.~~ NWBC LP 01 Sustainable Development NWBC LP14 Landscape NWBC LP29 Development Considerations NWBC LP30 Built Form NWBC LP34 Parking **Greenbelt** ~~NPPF 85 Defining Green Belt Boundaries~~ NPPF 2024 145. "Green Belt boundaries should only be altered where exceptional circumstances are fully evidenced and justified through the preparation or updating of plans". ~~NWLP-CS 2.2 Spatial Portrait 'the rural nature of the Borough is very important'~~ ~~NWLP-CS 4.1 Strategic Objectives 'rural character reflected in development'~~ ~~NWLP-CS 7.1 Core Policies 'the maintenance of the Green Belt'~~ **FNP02: Natural Environment** ~~NWLP-CS 4.8 Strategic Objectives 'maintain a network of accessible, good quality Green Infrastructure etc.'~~	

		~~NWLP-CS 7.76 Green Infrastructure 'strategically planned and delivered network of high quality green spaces etc.'~~ ~~NWLP-CS NW10 Development Considerations 8 'not lead to the loss unless a site of equivalent quality and accessibility can be provided, or shown that it is surplus to needs'.~~ ~~NWLP-CS; North Warwickshire Local Plan Core Strategy 2014~~ NWBC LP 01 Sustainable Development NWBC LP14 Landscape NWBC LP 15 Historic Environment NWBC LP16 Natural Environment NWBC LP20 Green Spaces NWBC LP21 Open Spaces and Recreational Provision NWBC LP29 Development Considerations NPPF 2024 106. "The designation of land as Local Green Space through local and neighbourhood plans allows communities to identify and protect green areas of particular importance to them." " Local Green Spaces should only be designated when a plan is prepared or updated, and be capable of enduring beyond the end of the plan period."	

		NPPF 2024135. “Planning policies and decisions should ensure that developments: c) are sympathetic to local character and history, including the surrounding built environment and landscape setting”. NPPF 2024 139 “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes.” NPPF 2024 187. “Planning policies and decisions should contribute to and enhance the natural and local environment by: b) recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland”. **FNP03: Flooding** ~~NPPF100. ‘Inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk, but where development is necessary, making it safe without increasing flood risk elsewhere’.~~ NWBC LP14 Landscape NWBC LP29 Development Considerations NWBC LP33 Water and Flood Risk Management	

		NPPF 2024 162. Plans should take a proactive approach to mitigating and adapting to climate change, taking into account the long-term implications for flood risk, NPPF 2024 170. Inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future NPPF 2024 181. When determining any planning applications, local planning authorities should ensure that flood risk is not increased elsewhere. ~~NWLP-CS7.48 despite flood alleviation works in some parts of the Borough, a significant amount of residential and employment land along and near these corridors is at risk of flooding.~~ ~~NWLP-CS7.49 The Council seeks to reduce this risk by minimising surface water run-off~~ **FNP04: Housing** NWBC LP7 Housing Development NWBC LP9 Affordable Housing Provision NWBC LP13 Rural Employment NWBC LP29 Development Considerations NWBC LP30 Built Form NWBC LP34 Parking	

		NPPF 2024 63 “housing needed for different groups in the community should be assessed and reflected in planning policies. These groups should include (but are not limited to) those who require affordable housing (including Social Rent); families with children; looked after children;older people (including those who require retirement housing, housing with-care and care homes); students; people with disabilities; service families; travellers” NPPF 2024 65 “Provision of affordable housing should not be sought for residential developments that are not major developments, other than in designated rural areas (where policies may set out a lower threshold of 5 units or fewer)”. ~~NPPF 50 `Identify the size, type, tenure and range of housing that is required in particular locations, reflecting local demand’.~~ ~~NWLP-CS 7.9 ‘The Borough Council is seeking to provide a variety of types and tenures of housing throughout the Borough, but will specifically seek the type and tenure to reflect the local settlement’.~~ **FNP05: Economy** NWBC LP11 Economic Regeneration NWBC LP13 Rural Employment ~~NPPF 28 Core Planning Principles ‘promote the retention and development of local services and facilities in villages, such as local shops, meeting places, sports venues, cultural buildings, public houses and places of worship’.~~ ~~NWLP-CS 7.31 Core Policies ‘The Borough Council wants to work with the private sector to create long lasting local employment opportunities~~	

		~~as well as mi gate any adverse impacts and enhance the rural character of the Borough'.~~ **FNP06: Heritage (AND COMMUNITY)** NWBC LP 01 Sustainable Development NWBC LP 15 Historic Environment NPPF 2024 208. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal. ~~NPPF 28 Core Planning Principles 'promote the retention and development of local services and facilities in villages, such as local shops, meeting places, sports venues, cultural buildings, public houses and places of worship'.~~ ~~NPPF 70 'guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community's ability to meet its day-to-day needs'.~~ ~~NWLP-CS NW10 Development Considerations 3 'maintain and improve the provision of accessible local and community services, unless it can be demonstrated that they are no longer needed by the community they serve'.~~	

		FNP07: Traffic and Transport NWBC LP 01 Sustainable Development NWBC LP7 Housing Development NWBC LP13 Rural Employment NWBC LP34 Parking ~~NPPF 162 'assess the quality and capacity of infrastructure for transport, water supply, wastewater and its treatment, energy (including heat), telecommunications, utilities, waste, health, social care, education, flood risk and coastal change management, and its ability to meet forecast demands.'~~ NPPF 2024 109. "This should involve: b) ensuring patterns of movement, streets, parking and other transport considerations are integral to the design of schemes, and contribute to making high quality places" NPPF 2024 112. "If setting local parking standards for residential and non-residential development, policies should take into account: a) the accessibility of the development; b) the type, mix and use of development; c) the availability of and opportunities for public transport; d) local car ownership levels; and e) the need to ensure an adequate provision of spaces for charging plug-in and other ultra-low emission vehicles". ~~NWLP-CS NW22 Infrastructure 'Provision of necessary services, facilities and infrastructure to meet the demands of new development and communities to include Green Infrastructure, open space, sports and recreation and transport'.~~ **Key:**	

		NPPF; National Planning Policy Framework, December 2024 LP; North Warwickshire Borough Council Local Plan 2021	