

**To: The Deputy Leader and Members of the Planning and Development Board
Councillors Simpson, Bell, T Clews, Deakin, Dirveiks, Downes, Hayfield, D Humphreys, Jarvis, Lees, Macdonald, Morson, Moss, Parsons, H Phillips.**

For the information of other Members of the Council

For general enquiries please contact the Democratic Services Team on 01827 719221 or via e-mail – democraticservices@northwarks.gov.uk

For enquiries about specific reports please contact the officer named in the reports.

The agenda and reports are available in large print and electronic accessible formats if requested.

PLANNING AND DEVELOPMENT BOARD AGENDA

5 October 2020

The Planning and Development Board will meet on Monday 5 October 2020 at 6.30pm via Teams. An email invite will be sent to Board members and the meeting will be live streamed on the Council's YouTube channel, accessible from the home page of the Council's website or at <https://www.youtube.com/user/northwarks>

AGENDA

- 1 Apologies for Absence / Members away on official Council business.**
- 2 Disclosable Pecuniary and Non-Pecuniary Interests.**

REGISTERING TO SPEAK AT THE MEETING

PLEASE BE AWARE THAT THIS MEETING WILL BE TAKING PLACE
REMOTELY

Anyone wishing to speak at the meeting, in respect of a Planning Application, must register their intention to do so by 1pm on the day of the meeting, either by email to democraticservices@northwarks.gov.uk or by telephoning 01827 719221.

Once registered to speak, an invitation will be sent to join the Teams video conferencing for this meeting. Those registered to speak should join the meeting via teams or dial the telephone number (provided on their invitation) when joining the meeting and whilst waiting they will be able to hear what is being said at the meeting. They will also be able to view the meeting using the YouTube link provided (if so, they may need to mute the sound on YouTube when they speak on the phone to prevent feedback). The Chairman of the Board will invite a registered speaker to begin once the application they are registered for is being considered.

- 3 **Minutes of the meeting of the Board held on 2 March, 20 July and 19 August 2020** – copies herewith, to be approved and signed by the Chairman.

ITEMS FOR DISCUSSION AND DECISION (WHITE PAPERS)

- 4 **Budgetary Control Report 2020/21 Period Ended 31 August 2020**

Summary

The report covers revenue expenditure and income for the period from 1 April 2020 to 31 August 2020. The 2020/2021 budget and the actual position for the period, compared with the estimate at that date, are given, together with an estimate of the out-turn position for services reporting to this Board.

The Contact Officer for this report is Nadeem Afzal (719444).

- 5 **Planning Applications - Report of the Head of Development Control**

Summary

Town and Country Planning Act 1990 – applications presented for determination.

The Contact Officer for this report is Jeff Brown (719310)

6 **Planning Consultations** – Report of the Chief Executive

Summary

This report brings to Members attention recent consultations relating to Planning, including the White Paper “*Planning for the Future*”.

The Contact Officer for this report is Dorothy Barratt (719250).

7 **Warwickshire Minerals Plan Update – Statement of Common Ground, Examination Hearing Date – Outstanding Issues** – Report of the Chief Executive

Summary

This report updates and informs Members of the Warwickshire County Council’s Minerals Plan Examination in Public (EiP).

The Contact Officer for this report is Dorothy Barratt (719250).

STEVE MAXEY
Chief Executive

NORTH WARWICKSHIRE BOROUGH COUNCIL

**MINUTES OF THE
PLANNING AND DEVELOPMENT BOARD**

2 March 2020

Present: Councillor Simpson in the Chair

Councillors Bell, D Clews, T Clews, Deakin, Dirveiks, Downes, Hayfield, D Humphreys, Jarvis, Lebrun, Parsons, H Phillips and David Wright

Apologies for absence were received from Councillors Morson, Symonds (substitute Councillor D Wright) and A Wright (substitute Councillor D Clews)

Councillors Lees and Osborne were also in attendance

56 Disclosable Pecuniary and Non-Pecuniary Interests

There were no interests declared at the meeting.

57 Minutes

The minutes of the meetings of the Planning and Development Board held on 9 December 2019, 13 January and 3 February 2020, copies having been previously circulated, were approved as a correct record and signed by the Chairman.

58 Brownfield Register Review 2020

In line with Regulation 17(1) of the Town and Country Planning (Brownfield Land Register) Regulations 2017, the Chief Executive reported on the annual review of the Council's Brownfield Land Register.

Resolved:

- a That, in accordance with Regulation 17(1) of the Town and Country Planning (Brownfield Land Register) Regulations 2017, the updated Brownfield Land Register (2020) be published; and**
- b That Members receive a full list of all Brownfield sites in the Borough; and**
- c That a call for sites be organised.**

59 Government Consultation – “First Homes”

The Head of Housing and Head of Development Control invited the Board to respond to a recent Government consultation aimed at increasing home ownership for first time buyers through the supply of affordable homes.

Resolved:

That a meeting of the Section 106 Working Group be arranged to discuss a response to be forwarded to the MCLG through the Chief Executive.

60 Planning Applications

The Head of Development Control submitted a report for the consideration of the Board. Details of correspondence received since the publication of the agenda is attached as a schedule to these minutes.

Resolved:

- a That in respect of Application Nos CON/2020/004, 005 and 006 (Land and Buildings at the Interchange Triangle, the M42/A452 and A45), no objections be lodged with the Solihull Metropolitan Borough Council along with the comment on the maintenance building as set out in the report of the Head of Development Control;**
- b i) That Application No PAP/2017/0560 (Manor Farm, Main Road, Newton Regis, B79 0NA) be approved subject to a S106 Agreement and subject to the conditions set out in the report of the Head of Development Control;**
ii) That Application No PAP/2019/0567 (Manor Farm, Main Road, Newton Regis, B79 0NA), be approved subject to the conditions set out in the report of the Head of Development Control;
- c That in respect of Application No PAP/2019/0473 (The Paddocks, Church Lane, Corley, Coventry, CV7 8AZ) the Board is minded to support the application subject to a Section 106 Agreement;**
- d That Application No PAP/2019/0498 (Polesworth High School, Dordon Road, Polesworth, Warwickshire, B78 1QT) be approved subject to the revised conditions as circulated by the Head of Development Control at the meeting:-**

Speakers: Maura Favell and David Harris

- e That Application No PAP/2019/0529 (Wishing Well Farm, Breach Oak Lane, Fillongley, CV7 8AW) be refused for the following reason:

The site is in the Green Belt. It is considered that the development amounts to inappropriate development thus giving rise to a presumption of refusal. It is considered that the applicant's case is insufficient to clearly outweigh the overall level of harm caused. The harm arises from the inappropriateness of the development and the significant harm caused by the site not having safe and reasonable access to facilities and services. The applicant's case is limited in weight as the Council is responding positively to the submission of planning applications for traveller sites when they align with adopted policies and in this case, there is no detailed information submitted relating to the personal circumstances of the applicant families. The proposal is thus not in accord with policies NW3 and NW8 of the North Warwickshire Core Strategy 2014 as supported by the Planning Policy for Traveller Sites 2015;

- f That in respect of Application No PAP/2019/0599 (Michael Drayton Middle School, Church Road, Hartshill, Nuneaton, CV10 0SZ:

- i) the medical centre be approved subject to the conditions set out in Schedule 1 of the report of the Head of Development Control; and
- ii) the residential development be approved subject to the conditions set out in Schedule 2 of the report of the Head of Development Control and the completion of a S106 Agreement;

- g That Application No PAP/2019/0685 (Wathen Grange School, Church Walk, Mancetter, CV9 1PZ be approved subject to the conditions set out in the report of the Head of Development Control.**

Speakers: Matthew Williams and Trevor Hopkins

61 Appeal Update

The Head of Development Control updated the Board on two recent appeal decisions

Resolved:

That the report be noted.

62 Exclusion of the Public and Press

Resolved:

That, under Section 100A(4) of the Local Government Act 1972, the public and press be excluded from the following item of business, on the grounds that it involves the likely disclosure of exempt information as defined by Schedule 12A to the Act.

63 Breaches of Planning Control

The Head of Development Control drew the Board's attention to unauthorised works to trees, the subject of a Tree Preservation Order in Coleshill.

Resolved:

That the Solicitor of the Council be authorised to initiate prosecution proceedings, if necessary, in respect of the unauthorised works undertaken to trees numbered T1 (Oak) T2, T3, T4, T5, T6, T7 and T8 (Silver Birches), being the subject of a Tree Preservation Order 2017 date d 15 May 2017.

**Councillor Simpson
Chairman**

NORTH WARWICKSHIRE BOROUGH COUNCIL

**MINUTES OF THE
PLANNING AND DEVELOPMENT BOARD**

20 July 2020

Present: Councillor Simpson in the Chair.

Councillors Bell, T Clews, Deakin, Farrell, Hayfield, D Humphreys, Jarvis, Lees, Macdonald, Morson, Moss, Osborne, Parsons and H Phillips.

Apologies for absence were received from Councillors Dirveiks (Substitute Councillor Osborne) and Downes (Substitute Councillor Farrell).

Councillors Chambers, D Clews, Davey, Lebrun, Reilley, Singh and Symonds were also in attendance.

With the consent of the Chairman, Councillor Reilley spoke on agenda item 2 - Planning Application – PAP/2020/0496 and PAP/2019/0701.

1 Disclosable Pecuniary and Non-Pecuniary Interests

Councillors Jarvis and T Clews declared non-pecuniary interests in Minute No 2 – Planning Applications (Application No PAP/2020/0056 Town Council Offices, North Street, Atherstone), by virtue of being Atherstone Town Councillors, left the meeting and took no part in the discussion or voting thereon.

2 Planning Applications

The Head of Development Control submitted a report for the consideration of the Board. Details of correspondence received since the publication of the agenda is attached as a schedule to these minutes.

Resolved:

- a (i) **That Application No PAP/2019/0496 (Coleshill Manor Campus, South Drive, Coleshill) that the Council support the granting of planning permission subject to the plans referred to in Condition 2 being updated to remove the “cabin in the woods” as well as the conditions set out in the report of the Head of Development Control and that as a consequence, the case be referred to the Secretary of State under the 2009 Direction to see whether he wishes to call-in the application for his own determination. If not, then the Notice granting planning permission be delegated to officers;**

(ii) That a further report be presented to a subsequent meeting of the Board detailing the off-site biodiversity off-setting strategy and the associated financial contributions;

[Speaker: Steve Price]

- b That Application No PAP/2019/0701 (Land adjacent to Coleshill Manor, Off South Drive, Coleshill, B46 1DF) that the Council support the granting of planning permission subject to the conditions set out in the report of the Head of Development Control and that as a consequence, the case be referred to the Secretary of State under the 2009 Direction to see whether he wishes to call-in the application for his own determination. If not, then the Notice of granting of planning permission be granted to officers;

[Speaker: Richard Gamble]

- c That Application No PAP/2020/0295 (Land west of Hams Hall Roundabout and south of, Marsh Lane, Curdworth) be deferred for a site visit by Board Members.

[Speakers: Steve Harley and Richard Habgood]

- d That Application No PAP/2020/0056 (Town Council Offices, North Street, Atherstone, CV9 1JN)

Under Standing Order No.9 (9) it was proposed by Councillor Morson and seconded by Councillor Phillips:

That the application be REFUSED on grounds of the Highway Authority objection and NW 10, NW12 and NW18 of the Council's Core Strategy.

On being put to the vote the amendment was declared as lost.

A subsequent amendment that the application be deferred for a site visit was proposed by Councillor Farrell and seconded by Councillor Morson.

On being put to the vote the Motion was carried.

Councillor Simpson
Chairman

**Planning and Development Board
20 July 2020
Additional Background Papers**

Agenda Item	Application Number	Author	Nature	Date
1	PAP/2019/0496	Coleshill Resident	Objection	16/7/20
		Mr Richards	Objection	13/7/20
		Councillor Lebrun	Objection	20/7/20
2	PAP/2019/0701	Coleshill Resident	Objection	16/7/20
		Mr Richards	Objection	13/7/20
		Councillor Lebrun	Objection	20/7/20
4	PAP/2020/0056	Atherstone Civic Society	Objection	17/7/20

NORTH WARWICKSHIRE BOROUGH COUNCIL

**MINUTES OF THE
PLANNING AND DEVELOPMENT BOARD**

19 August 2020

Present: Councillor Simpson in the Chair.

Councillors Davey, Deakin, Farrell, Hayfield, M Humphreys, D Humphreys, Lees, Macdonald, Morson, Moss, Parsons, H Phillips, Rose, Symonds.

Apologies for absence were received from Councillors Bell (Substitute Councillor (M Humphreys), T Clews (Substitute Councillor Davey), Dirveiks (Substitute Councillor Rose), Downes (Substitute Councillor Farrell) and Jarvis (Substitute Councillor Symonds).

Councillors Chambers and D Clews were also in attendance.

3 Disclosable Pecuniary and Non-Pecuniary Interests

None were declared at the meeting.

4 Planning Applications

The Head of Development Control submitted a report for the consideration of the Board. Details of correspondence received since the publication of the agenda is attached as a schedule to these minutes.

Resolved:

- a That Application No PAP/2020/0020 (Land North West of Newton Regis Village Hall, Austrey Lane, Newton Regis) be deferred for a site visit;**

[Speakers: Diane Radbourne and William Brearley]

- b Application No PAP/2020/0056 (Town Council Officer, North Street, Atherstone, CV9 1JN) be approved subject to the conditions set out in the report of the Head of Development Control;**

[Speaker: Martin Short]

- c Application No PAP/2020/0167 (Fillongley Mount, Green End Road, Fillongley)**

Under Standing Order No 9 (9) it was proposed by Councillor Farrell and seconded by Councillor Phillips:

That the application be approved on the grounds of the harm caused to amenity being outweighed by the benefit to the community.

On being put to the vote the amendment was declared as lost;

It was then proposed by Councillor and seconded by Councillor Symonds that:

The application be refused for the following reasons:

- i) The alterations to the approved outbuilding into a residential dwelling includes a gable window that is not in keeping with a building set in a rural context, particularly where the architectural form in the wider setting of the application building is traditional and historic. The design of the gable window is considered to be detrimental to the character of this historic setting and detrimental to the rural context of the surroundings and is of an appearance not normally associated with Green Belt conversions. The proposal is thus contrary to Policies ENV13 and ENV16 of the North Warwickshire Local Plan 2006 and to policies NW10, NW12 and NW14 of the North Warwickshire Core Strategy 2014;**
- ii) That the Solicitor to the Council be authorised to issue an Enforcement Notice relating to building works not being undertaken in accordance with approved plans. The Notice would require the removal of the gable window, and the consequential reinstatement of the brick gable. A compliance period of 6 months is recommended;**

On being put to the vote the motion was carried;

- d That Application PAP/2020/0183 (Honey Pot Cottage, 60 Coleshill Road, Curdworth) be approved for the reasons set out in the report;**

[Speaker: Gemma Jenkinson]

- e That Application No PAP/2020/0204 (Mulberry Cottage, Farthing Lane, Curdworth, Sutton Coldfield) be approved for the reasons set out in the report;
- f That Application No PAP/2020/0215 (42 Austrey Road, Warton) be deferred for a site visit;
- g That Application No PAP/2020/0236 (Land between Holmfield and Oakdene, Bennetts Road North, Corley) be deferred to allow further discussion with the applicant on the harm to the Green Belt;

[Speaker: Dereck Beverley]

- h That Application No PAP/2020/0245 (Land to the Rear of 50 New Street, Dordon) be deferred for a site visit;

[Speaker : Owen Carvalho]

- g That Application No PAP/2020/0348 and PAP2020/0349 (1 & 2 Nightingale Cottages, Tamworth Road, Nether Whitacre) be deferred for a site visit.

[Speaker: Helen Lloyd]

5 Progress Report on Achievement of Corporate Plan and Performance Indicator Targets April 2019 – March 2020

The Chief Executive informed Members of the progress with the achievement of the Corporate Plan and Performance Indicator targets relevant to the Board for April 2019 to March 2020.

Resolved:

That the report be noted.

Councillor Simpson
Chairman

**Planning and Development Board
19 August 2020
Additional Background Papers**

Agenda Item	Application Number	Author	Nature	Date
1	PAP/2020/0020	Residents Local Resident Local Resident Local Resident	Objection Objection Objection Objection	12/8/20 19/8/20 19/8/20 19/8/20
2	PAP/2020/0056	Atherstone Civic Society Local Resident Local Resident	Objection Objection Objection	18/8/20 17/8/20 17/8/20
4	PAP/2020/0183	Local Resident	Objection	13/8/20
8	PAP/2020/0245	Applicant	Support	18/8/20

Agenda Item No 4

Planning and Development Board

5 October 2020

Report of the Corporate Director - Resources

Budgetary Control Report 2020/21 Period Ended 31 August 2020

1 Summary

- 1.1 The report covers revenue expenditure and income for the period from 1 April 2020 to 31 August 2020. The 2020/2021 budget and the actual position for the period, compared with the estimate at that date, are given, together with an estimate of the out-turn position for services reporting to this Board.

Recommendation to the Board

That the report be noted and that the Board requests any further information it feels would assist it in monitoring the budgets under the Board's control.

2 Introduction

- 2.1 Under the Service Reporting Code of Practice (SeRCOP), services should be charged with the total cost of providing the service, which not only includes costs and income directly incurred, but, also support costs relating to such areas as finance, office accommodation, telephone costs and IT services. The figures contained within this report are calculated on this basis.

3 Overall Position

- 3.1 The actual expenditure for those services reporting to this Board as at 31 August 2020 is £109,046 compared with a profiled budgetary position of £88,316; an overspend of £20,730 for the period. Appendix A to this report provides details of the profiled and actual position for each service reporting to this Board, together with the variance for the period.

- 3.1.2 Where possible, the year-to-date budget figures have been calculated with some allowance for seasonal variations, in order to give a better comparison with actual figures. Reasons for the variations are given, where appropriate, in more detail below.

3.2 Planning Control

- 3.2.1 The overspend of £19,839 is mainly due to lower than profiled income from planning fees of £43,644. This has been partly offset by lower than expected expenditure on professional fees of £17,326, and advertising and publicity budgets of £5,021.

4 Performance Indicators

- 4.1 In addition to the financial information provided to this Board, when the budgets were set in February, performance indicators were included as a means of putting the financial position into context. These are shown at Appendix B.
- 4.2 The gross and net cost of planning applications is above the budgeted position due to a lower number of applications received.
- 4.3 The gross and net cost per Land Charge search is higher than expected due to the lower number and mix of searches between full searches and Official Register searches undertaken.

5 Risks to the Budget

- 5.1 The key risks to the budgetary position of the Council from services under the control of this Board are:
- The need to hold Public Inquiries into Planning Developments. Inquiries can cost the Council around £50,000 each.
 - A change in the level of planning applications received. A fall in applications would lead to a reduction in planning income, whilst an increase in applications would increase the pressure on staff to deal with applications in the required timescales
 - The Government require all planning applications to be dealt with within 26 weeks. If this is not achieved, the costs of the application must be borne by the authority. Whilst the Planning team deal with almost 100% of current applications within this time, there is always the potential for this to slip, leading to a decline in the Planning income level.
 - There are potential additional costs for the Council in carrying out its planning function. If the Council loses a planning appeal, an award of costs can be made against the Council (the appellant's costs for the appeal). If the Council consistently loses appeals it will become a designated authority, which means that prospective applicants can submit their applications directly to the planning directorate. This would mean the Council would lose the accompanying planning fee.
- 5.2 A risk analysis of the likelihood and impact of the risks identified above are included in Appendix B.

6 Estimated Out-turn

- 6.1 Members have requested that Budgetary Control reports provide details on the likely out-turn position for each of the services reporting to this Board. The anticipated out-turn for this Board for 2020/21 is £264,650 the same as the approved budget.

6.2 The figures provided above are based on information available at this time of the year. Whilst planning income is currently below budget, it can vary significantly during the year. No change to the out-turn has been assumed at this time but this may change as the financial year progresses. Members will be updated in future reports of any changes to the forecast out turn.

7 Report Implications

7.1 Finance and Value for Money Implications

7.1.1 Income and Expenditure will continue to be closely managed and any issues that arise will be reported to this Board at future meetings.

7.2 Environment and Sustainability Implications

7.2.1 The Council has to ensure that it adopts and implements robust and comprehensive budgetary monitoring and control, to ensure not only the availability of services within the current financial year, but in future years.

The Contact Officer for this report is Nadeem Afzal (719444).

APPENDIX A

Planning and Development Board

Budgetary Control Report 2020/2021 as at 31 August 2020

Cost Centre	Description	Approved Budget 2020/2021	Profiled Budget to 31 Aug 2020	Actual to 31 Aug 2020	Variance	Comments
4009	Planning Control	148,100	58,416	78,255	19,839	Comment 3.2
4010	Building Control Non Fee-earning	52,020	7,008	7,008	-	
4012	Conservation and Built Heritage	56,530	23,554	23,566	12	
4014	Local Land Charges	4,320	(2,196)	(304)	1,892	
4018	Street Naming & Numbering	3,680	1,533	520	(1,013)	
	Total Net Expenditure	264,650	88,316	109,046	20,730	

Performance Indicators for Budgets Reporting to the Planning and Development Board

	Budgeted Performance	Profiled Budgeted Performance	Actual Performance to Date
Planning Control			
Number of Planning Applications	900	375	330
Gross cost per Application	£872.23	£863.45	£909.24
Net cost per Application	£164.56	£155.78	£237.14
Caseload per Planning Officer			
All applications	167	69.4	61.1
Local Land Charges			
Number of searches	400	167	115
Gross cost per search	£127.55	£103.57	£150.19
Net cost/(surplus) per search	£10.80	-£13.18	-£2.64

Risk Analysis

	Likelihood	Potential impact on Budget
Need for public enquiries into planning developments	Medium	Medium
Decline in planning applications leading to a reduction in Planning Income.	Low	Medium
Applications not dealt with within 26 weeks, resulting in full refund to applicant.	Low	Medium
Implications of losing planning appeals, resulting in appellant costs awarded against the Council or loss of Planning Income	Medium	Medium

Agenda Item No 5

Planning and Development Board

5 October 2020

Planning Applications

Report of the Head of Development Control

1 Subject

1.1 Town and Country Planning Act 1990 – applications presented for determination.

2 Purpose of Report

2.1 This report presents for the Board decision, a number of planning, listed building, advertisement, proposals, together with proposals for the works to, or the felling of trees covered by a Preservation Order and other miscellaneous items.

2.2 Minerals and Waste applications are determined by the County Council. Developments by Government Bodies and Statutory Undertakers are also determined by others. The recommendations in these cases are consultation responses to those bodies.

2.3 The proposals presented for decision are set out in the index at the front of the attached report.

2.4 Significant Applications are presented first, followed in succession by General Development Applications; the Council's own development proposals; and finally Minerals and Waste Disposal Applications.

3 Implications

3.1 Should there be any implications in respect of:

Finance; Crime and Disorder; Sustainability; Human Rights Act; or other relevant legislation, associated with a particular application then that issue will be covered either in the body of the report, or if raised at the meeting, in discussion.

4 Site Visits

4.1 Members are encouraged to view sites in advance of the Board Meeting. Most can be seen from public land. They should however not enter private land. If they would like to see the plans whilst on site, then they should always contact the Case Officer who will accompany them. Formal site visits can only be agreed by the Board and reasons for the request for such a visit need to be given.

4.2 Members are reminded of the “Planning Protocol for Members and Officers dealing with Planning Matters”, in respect of Site Visits, whether they see a site alone, or as part of a Board visit.

5 **Availability**

5.1 The report is made available to press and public at least five working days before the meeting is held in accordance with statutory requirements. It is also possible to view the papers on the Council’s web site: www.northwarks.gov.uk.

5.2 The next meeting at which planning applications will be considered following this meeting, is due to be held on Monday, 2 November 2020 at 6.30pm via Teams.

6 **Public Speaking**

6.1 Information relating to public speaking at Planning and Development Board meetings can be found at:
https://www.northwarks.gov.uk/info/20117/meetings_and_minutes/1275/speaking_and_questions_at_meetings/3.

Planning Applications – Index

Item No	Application No	Page No	Description	General / Significant
1	CON/2020/0013	5	Land between A452 & A446 Chester Road & Stonebridge Road Intersection, A452 Chester Road adjacent Melbicks Garden Centre, & land east of A452/A446 roundabout over M42, including A446 Approach, High Speed Rail (London-West Midlands) Act 2017 Consultation on Schedule 17 Submission	General
2	PAP/2018/0686	13	Kingsbury Hall, Coventry Road, Kingsbury, i) Full planning application for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 Use Classes; ii) Outline planning application (all matters reserved except access) for a high dependency care centre (Use Class C2), assisted living accommodation (Use Class C2) and dwellings for the over-55's (Use Class C3),	General
3	PAP/2018/0755	119	Land to east of Former Tamworth Golf Course, North of Tamworth Road - B5000 and west of M42, Alvecote, Outline application - Demolition of all existing buildings and construction of up to 1540 dwellings (including a 100 bed unit extra care home) a community hub (up to 2,250m ² of gross floorspace for use class A1-A5, B1a-B1b, D1 and D2) a two form entry primary school, the provision of green infrastructure comprising playing fields and sports pavilion, formal and informal open space, children's play areas, woodland planting and habitat creation, allotments, walking and cycling routes, sustainable drainage infrastructure, vehicular access and landscaping	General

4	PAP/2020/0020	171	Land North West Of Newton Regis Village Hall, Austrey Lane, Newton Regis, Outline application for the erection of 9 dwellings, re-surfacing, line marking and replacement lighting of village hall car park, access alterations to the village hall car park and associated works (all matters reserved except for access)	General
5	PAP/2020/0215	252	42, Austrey Road, Warton, Replacing existing building with a 2 bedroom dwelling	General
6	PAP/2020/0245	267	Land to the Rear of 50, New Street, Dordon, Erection of dormer bungalow (re-submission PAP/2019/0462)	General
7	PAP/2020/0341	275	Land Adjacent The Lodge, Tamworth Road, Cliff, Material change of use of land for stationing of caravans for residential use for Gypsy-Traveller family with associated development (relocated access, hard standing and package treatment plant) - part retrospective	General
8	PAP/2020/0348 & PAP/2020/0346	304	1 & 2 Nightingale Cottages, Tamworth Road, Nether Whitacre, Erection of oak framed garden room extensions to rear elevations	General

General Development Applications

(1) Application No: CON/2020/0013

Plans and Specifications under Schedule 17 of the High Speed Rail (London to West Midlands) Act 2017 for

HS2 Ltd

Introduction

This Schedule 17 application has been submitted to the Solihull Metropolitan Borough Council ("SMBC") and it in turn has invited this Council for comments prior to determination.

Members may recall that in June last year, a report was brought to the Board being a consultation from the SMBC in respect of major road engineering and re-alignment works for the area alongside the M42, the A452, the A446 and the line of HS2. These involved the access provisions into the new station. That report is attached at Appendix A. The Board's response is at Appendix B.

As Members can see from that report only a very minor portion of these extensive works affect land within North Warwickshire.

As Members will have seen in recent media coverage work is well underway on implementing some of the new bridge sections.

Members are also reminded that Schedule 17 applications are NOT planning applications and the remit of the Local Planning Authority in this regard is very limited.

The Proposals

The current Schedule 17 application submitted to the SMBC seeks a variation of the already approved works. These are to be at the re-located A452/A446 roundabout which is illustrated in the appendices to Appendix A.

In short, the proposals are to widen this roundabout to four lanes from the approved three and to include the consequential embankment and earthwork alterations as well as those to the slip roads. The proposal is illustrated at Appendix C.

The bulk of these works are within SMBC's area but there will be consequential minor re-alignments necessary to the already approved new access ways into Melbick Nurseries and to the Quartz Business Park which involves land in North Warwickshire. A companion application for these variations has been submitted to the Council under reference HS2/2020/0004.

Observations

Given that extensive road re-alignments have already been approved here and that work is already underway there is little in the way of comment that can be made. This applies to the current proposed variation as well. There would be very little in the way of direct

impacts on the Borough too as the works are effectively altered surface access arrangements.

Once again it is the visual impacts that are going to be significant, particularly if the additional land-take results in less room for landscape mitigation.

Recommendation

That the Solihull MBC be informed that the Council repeats its representations as made earlier in June 2019.

(2) Application No: CON/2019/0018 and CON/2019/0016

A452/B4438 Northway Island, Bickenhill and land to the east of the A542, Solihull Development authorised by the High Speed Rail (London – West Midlands) Act 2017 for highway works for

HS2 Ltd

Introduction

These are two Schedule 17 applications submitted to the Solihull Metropolitan Borough Council under the above Act for highway works consequential to the HS2 line and the new Birmingham Interchange station, together with the equivalent Schedule 17 application submitted to this Council for that part of the works within North Warwickshire.

The Borough Council can of course only determine the application for the works within North Warwickshire (HS2/2019/0001). The Solihull Metropolitan Borough Council has also invited comments from the Borough Council as part of its determination on the two applications it has received for the works in its area (CON/2019/0016 and 0018).

Members are aware that Schedule 17 applications are NOT planning applications and the remit of the Local Planning Authority in this regard is very limited.

The applicant is understood to have prepared a short "video" of the proposed works and it is anticipated that this will be available to be shown to the Board at the meeting.

The Sites and Proposals

It is easier in this case to describe the full extent of the works and then to describe those that are within North Warwickshire.

The HS2 line will run to the west of the present A542 and cross the M42 in the vicinity of the existing A 452 roundabout that is on the west side of the M42. It is shown on Appendix A.

The proposed works are substantially all located in Solihull and are all connected to consequential road re-arrangements to provide access into the new HS2 Station and to accommodate the line of HS2, because it will remove the A452 roundabout referred to above. That is to be relocated further to the south. The consequential works are to continue links to the NEC, the Airport and to the Birmingham Business Park, as well to provide access into the new station. The proposals are shown at Appendices A and B.

The whole of the illustrated works are substantially in Solihull but there are parts of the overall scheme located in North Warwickshire – namely revised access arrangements into Melbick Nurseries; the Birmingham Business Park known as The Quartz and some slight re-alignment of the link road from the A452 to the M42 over bridge.

Observations

These substantial works are almost all in Solihull and thus the Council can only make representations to that Council as it has been invited to do so. There will be little direct impact on North Warwickshire apart from the revised routeing into the NEC and to the Airport. The new roundabout itself will have to be built over the HS2 line and its link roads will thus need to rise to do so. Given that the line of HS2 is set, together with its levels and gradients as well as the location of the station, there is very little room here for making representations in principle. These link roads will have to rise to clear the HS2. The comments that need to be made to Solihull are that they should take every opportunity to seek substantial tree planting and landscaping provided throughout the whole works in order to lessen the visual impact of what will be significant engineered works. This will particularly be the case for that part of the works facing The Quartz site referred to above, because of the size of the roundabout abutment here which leaves very little room for effective mitigation.

In respect of the application submitted to the Borough Council the remit for comment is even more limited, as the works are essentially altered surface access alterations.

Recommendation

- a) That the Solihull MBC be informed that the Council makes representations as set out in this report.
- b) That the Council has no comments to make of the associated Schedule 17 application affecting North Warwickshire.

BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

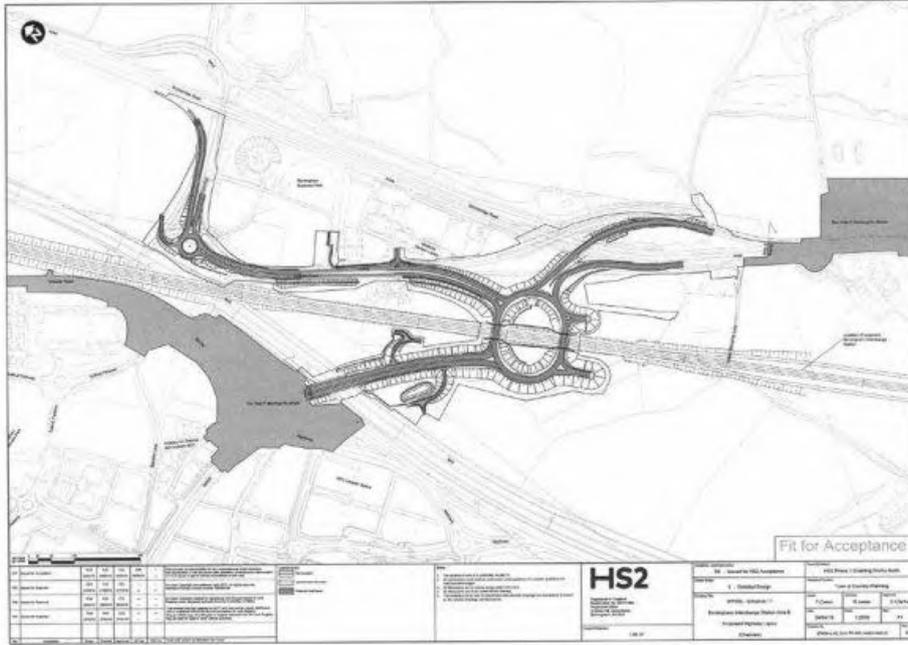
Planning Application No: CON/2019/0018

Background Paper No	Author	Nature of Background Paper	Date
1	SMBC	Consultation letter	10/5/19
2	SMBC	Consultation letter	14/5/19
3		Application	17/5/19

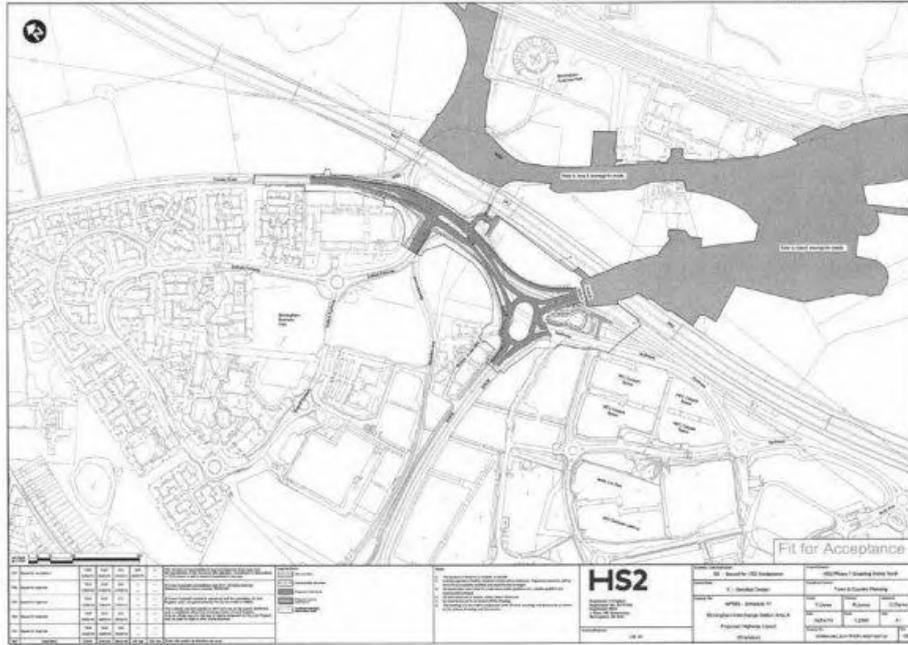
Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.

A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.

APPENDIX A



APPENDIX B





North Warwickshire
Borough Council

APPENDIX B

Claire Bishop
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Jeff Brown BA Dip TP MRTPI
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Fax : (01827) 719225
E Mail : jeffbrown@northwarks.gov.uk
Website : www.northwarks.gov.uk
This matter is being dealt with by
: Mr J Brown
Direct Dial : (01827) 719310
Your ref : PL/2019/01316/HS2DIS
Our ref : Con/2019/0016 and 0018

Date : 11th June 2019

Dear Claire

**HS2 – Consultation Schedule 17 Submission
Bickenhill/Northway Island**

I refer to your letters of 10 and 14 May which were referred to the Council's Planning and Development Board on 10th June. It resolved that whilst it had no objection in principle, your Council should take every opportunity with HS2 to seek substantial tree planting and landscaping throughout the whole of the works in order to lessen the visual impact of these significant engineered works.

Yours faithfully

Jeff Brown
Head of Development Control

(2) Application No: PAP/2018/0686

Kingsbury Hall, Coventry Road, Kingsbury,

Hybrid planning application comprising:

- iii) Full planning application for the restoration and conversion of Kingsbury Hall and outbuildings to C1, E and F2 Use Classes;**
- iv) Outline planning application (all matters reserved except access) for a high dependency care centre (Use Class C2), assisted living accommodation (Use Class C2) and dwellings for the over-55's (Use Class C3), for**

Kingsbury Hall Developments Ltd

Introduction

The receipt of this application was referred to the Board in December 2018 and a copy of this is attached at Appendix A. The Board resolved to undertake a visit and that took place in November 2019. A note of that is attached at Appendix B.

Members should be aware that an appropriate Listed Building application has also been submitted to run alongside this planning application.

The application description above has been altered to take account of the recent changes to the Use Classes Order.

Progress to Date

Since the site visit, there have been two meetings with the applicant and representatives of the Board in order to better understand the full extent and implications of the proposals. In particular, the substance of those meetings looked at the exploring the full nature of the proposals themselves, but the focus was on better understanding the linkages between the development and the Hall's restoration and future maintenance.

As a consequence of these meetings, the applicant has provided a Supplementary Document. This is attached at Appendix C. Additionally, a summary is provided at Appendix D.

The applicant has also drawn attention to the following documents, included again here:

Appendix E is a summary of the public consultation undertaken by the applicant prior to submission

Appendix F is a copy of the Parameters or Master Plan and Appendix G includes a couple of images of the proposed development

Observations

In light of the receipt of the supplementary document which has come about through Members' involvement, the Chairman asked for the case to be reported to the Board, before the matter is finally brought back for determination. In this way, if Members have any comments or issues arising from the additional document, they can still be referred to the applicant at this pre-determination stage. Additionally, because there have been a number of changes to the membership of the Board, the Chairman considered that a second visit would be worthwhile.

Recommendation

That the receipt of the Supplementary Document be noted and that a further site visit be arranged in accordance with current requirements for "gatherings".

(12) Application No: PAP/2018/0686

Kingsbury Hall, Coventry Road, Kingsbury,

Hybrid planning application comprising:

- 1) **Full planning application for the restoration and conversion of Kingsbury Hall and outbuildings to A3, C1 and D2 use classes;**
- 2) **Outline planning application (all matters reserved except access) for a high dependency care centre of up to 4565 square metres (use class C2) and**
- 3) **81 dwellings for the over 55's (use class C3) for**

Kingsbury Hall Developments Ltd

Introduction

This application is reported to the Board for information at this time in view of the Board's previous interest in the site; its inclusion on the Historic England's Building at Risk register and the significant heritage and planning issues involved. The purpose of the report is to outline the proposal; the relevant Development Plan policies and other material planning considerations.

The proposal also constitutes a departure from the Development Plan because of its scale within the Green Belt. As such it falls within the scope of the 2009 Direction. In other words if the Board is minded to support the proposal it would need to be referred to the Secretary of State to see if he wishes to call-in the application for his own decision following a Public Inquiry. The Board is free to refuse planning permission without the need for referral.

In view of its significance and in order to appreciate the works undertaken to the Hall under previous planning permissions, it is recommended that a site visit be undertaken prior to determination.

The Site

Kingsbury Hall comprises the Hall itself together with a range of outbuildings, a bungalow and the remains of a former Hall in the form of 14th Century curtain walling. It is located to the far west of Kingsbury accessed off a private road running between the Recreation Ground and a collection of residential properties. The access runs from the Coventry Road in the centre of the settlement. It also hosts a public right of way leading from the village to the Kingsbury Water Park. The Hall and its grounds are at a much higher level than land further to the west as it stands on the River Tame cliff bluff and overlooks the Kingsbury Water Park. The application site itself includes open agricultural land to the north of the Hall between that bluff and the playing fields of Kingsbury School right up to the residential property in Bromage Avenue. A further footpath runs north/south along the site boundary here.

The whole site is shown at Appendix A.

The Hall is a Grade 2 star Listed Building and is included in Historic England's Buildings at Risk register. It also sits within a Scheduled Ancient Monument site. To the south is the Kingsbury Conservation Area which includes St Peters and St Pauls Church.

Background

The Hall has remained on the Buildings at Risk register for some time, so when its ownership changed hands some time ago there was renewed interest in seeking a viable use for the building. That resulted in the grant of planning permission and Listed Building Consents in 2009 for its conversion to nine apartments; conversion of some of the outbuildings to seven residential units, demolition of the bungalow, the construction of a new residential block comprising thirteen units and repairs to the curtain walling and other parts of the former Hall.

These consents were partly taken up in that substantial repair and refurbishment was undertaken to the Hall together with work to the curtain walling. These works were treated as a priority in view of the significance of the heritage asset here. There were some minor amendments agreed to the refurbishment work, but essentially work ceased following this repair stage and the full implementation of the uses as permitted has not taken place.

Members will recall that the proposals were dealt with as an "enabling" development. In other words the viability of repairing, refurbishing and converting the Hall for an appropriate use as well as undertaking repairs to the curtain wall and Ancient Monument would not be viable on its own. This "conservation deficit" could only be achieved or enabled through the inclusion of the new build. That new build would not normally have been supported had it not been linked to the refurbishment scheme, as it is located in the Green Belt.

The approved layout is shown at Appendix B and the elevations for the new build are at Appendix C.

The Proposals

As described in the header there are three parts to the overall proposal. The overall objective is to bring the Hall back into a viable use. Again this application is to be treated as an "enabling development". At this time, rather than implement the development approved in 2009, a different concept for the future of the Hall is envisaged. In this case the Hall becomes part of a whole new scheme for an enlarged site. The proposed development comprises a high-dependency care centre and 81 residential dwellings for the over 55's as well as the conversion of the Hall and some of the outbuildings to uses within classes A3 (restaurant and café), C1 (guest house) and D2 (assembly and leisure). The proposals involve demolition of three of the existing outbuildings at the Hall as well as the bungalow, leaving three to be converted.

A fuller description of this summary is provided by the applicant at Appendix D.

A plan illustrating the overall site layout is at Appendix E

The existing layout of the area around the Hall and its outbuildings is at Appendix F with the proposed layout for this part of the site at Appendix G.

The existing and proposed elevations for the Hall are at Appendices H to K.

The proposed appearance of the converted outbuildings is at Appendix L.

An illustration of the possible new build houses is at Appendix M

The application is accompanied by a number of supporting documents

A preliminary Ecological Assessment has been undertaken for the whole site and its Non-Technical Summary is as Appendix N.

A preliminary Bat Roost Assessment was also undertaken and the summary of the findings is at Appendix O.

A Heritage Assessment of the Hall and its outbuildings has been submitted and is provided in full at Appendix P.

A Heritage Assessment of the impact of the new development is at Appendix Q.

A Landscape and Visual Appraisal has been undertaken. Its summary is attached at Appendix R

A Transport Statement concludes that because of the nature of the proposal the traffic impact would not be material. There would be improvements to the existing access road – widening and the provision of a footpath – together with barriers closer to the Hall to restrict unauthorised access to the Hall and beyond. Road Safety Audits have been completed for these arrangements.

A Drainage Assessment finds that the below ground conditions here are unlikely to support infiltration systems so on-site surface water storage is recommended with discharge to the River Tame. Foul water will need to be drained to a central pumping station which then pumps the water to a public foul water sewer located behind the White Swan Public House.

A Statement of Community Involvement describes the applicant's engagement with the local community prior to submission of the application. In particular it describes a consultation event held in the Kingsbury Methodist Church Hall in October 2018, which 68 people visited. In general terms the applicant considered that there was support for the overall objective here particularly in the refurbishment of the Hall.

Two Design and Access Statements – one for the Kingsbury Hall proposals and the second for the new development to the north - describe how the approach to design, layout and appearance has have been arrived at. The second one refers to how the scale of the development has been mitigated through making use of existing levels and through the approach to the design.

Finally a Planning Statement draws the applicant's case together and sets it in the context of the Development Plan and other material planning considerations.

Development Plan

The Core Strategy 2014 – NW1 (Sustainable Development); NW2 (Settlement Hierarchy), NW3 (green Belt), NW5 (Split of Housing Numbers); NW6 (Affordable Housing), NW10 (Development Considerations), NW12 (Quality of Development), NW13 (Natural Environment), NW14 (Historic Environment), NW15 (Nature Conservation)

Saved Policies of the North Warwickshire Local Plan 2006 – ENV4 (Trees and Hedgerows); ENV12 (Urban Design), ENV13 (Building Design), ENV14 (Access Design), ENV15 (Heritage), ENV16 (Listed Buildings), HSG3 (Development Outside of Development Boundaries), HSG5 (Special Needs Accommodation), TPT 1 (Transport Considerations), TPT2 (Traffic Management), TPT3 (Sustainable Transport) and TPT (Vehicle Parking)

Other Material Planning Considerations

The National Planning Policy Framework – (the “NPPF”)

The Submitted Local Plan for North Warwickshire 2018 – LP1 (Sustainable Development); LP2 (Settlement Hierarchy), LP3 (Green Belt), LP7 (Housing Development), LP9 (Affordable Housing Provision), LP14 (Landscape), LP15 (Historic Environment), LP16 (Natural Environment), LP24 (Recreational Provision), LP25 (Transport Assessment), LP31 (Development Considerations), LP32 (Built Form) and LP36 (Parking)

The North Warwickshire Landscape Character Assessment 2010

Historic England's Buildings at Risk Register 2018

“Enabling Development and the Conservation of Significant Places” – Historic England The Town and Country Planning (Consultation) (England) Direction 2009

Observations

This major and significant application will need to be assessed afresh. Whilst the previous permissions here are material planning considerations to be weighed in the final planning balance, they are not the “starting-point” for the assessment because the current set of proposals is materially different by fact and by degree.

The determination report that is brought to the Board following consideration of the proposals with the benefit of all of the appropriate consultation responses and the representations received from the community will follow the familiar approach of dealing with the planning balance. It will firstly decide whether the development is appropriate or not appropriate development in the Green Belt. Given that the proposal involves new buildings, it is highly likely that that it will be found to be not appropriate development. Clearly though, all of the exceptions as set out in the NPPF will need to be explored. If it is found to be not appropriate then the nature of that planning balance changes.

Members will be familiar with the need in these circumstances to assess what the degree of actual Green Belt harm is caused, together with any other harm that might be caused. In this case there are material considerations of substance to consider here – heritage and visual impacts as well as highway and drainage considerations. The cumulative weight given to the harm side of the planning balance will thus be established.

On the other side of the balance, Members will be asked to consider what weight should be given to the applicant's case. In summary, the focus of this is to find a sustainable and viable use for the future of the Hall. Other considerations include the need for the

type of residential accommodation being proposed and the previous grants of permission here for an enabling development.

The Board's final assessment of this balance will have to conclude whether the applicant's case and the public benefits of his proposal are found to "clearly" outweigh the cumulative level of Green Belt and other harm likely to be caused. If the Board finds that it is, then it can support the proposals as there would be the "very special circumstances" necessary to evidence that support.

Recommendation

That the Board notes the receipt of the application and undertakes a site visit prior to determination

BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: PAP/2018/0686

Background Paper No	Author	Nature of Background Paper	Date
1	The Applicant or Agent	Application Forms, Plans and Statement(s)	19/11/2018

Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.

A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.

Land at Kingsbury Hall, Kingsbury, North Warwickshire**Planning Statement****High Dependency Care Centre**

- 2.2.2. The proposed development comprises a high-dependency care centre of up to 4,565sqm, which makes provision for 120 beds. The centre would provide accommodation and 24 hour care to the frail elderly. This element of the proposed development therefore falls under use class C2.
- 2.2.3. The care centre would be a maximum of 4 storeys in height and would include one level of basement car parking (see drawing DD.3.010). The wing closest to the river will be limited to 3 storeys. The centre would also provide further parking for staff and visitors situated in the north east corner of the site. The total number of car parking spaces to be provided at the centre would be 36 spaces.

Elderly Housing

- 2.2.4. The proposed development will include independent living accommodation for people over the age of 55. This provision would include 39 independent living apartments, which would be no more than 3 storeys in height, with a maximum height of 11.2m from ground level to roof ridge level. Apartments are expected to be of 1 – 2 bedrooms in size (to be finalised at the reserved matters stage). These apartments are proposed to be located within the north area of the site alongside the west boundary and will include a single storey of basement parking. 42 independent living houses, of 2 storeys in height (maximum height of 8.5m from ground level to roof ridge level) and expected to be of 1 – 2 bedrooms, are also proposed. The 2 storey housing element of the proposed development would be located in the lower end of the site closer to the site access.
- 2.2.5. The proposed development would also make provision for areas of public open space, leisure equipment (for example an outdoor gym and tennis courts), as well as potential for roof gardens on the care centre and independent living/extra care apartment block. 2 parking spaces per dwelling would be provided.

Conversion of Kingsbury Hall

- 2.2.6. The proposed development also seeks to secure the long-term viable use of Kingsbury Hall. It is therefore proposed to convert the Hall, as well 3 outbuildings for use classes A3, C1 and D2. These proposed uses are summarised as follows:
- Use Class A3 – It is proposed that one of the outbuildings (outbuilding 'D' on drawing DD3.170) will be converted to community use and also a potential café room. Alternatively, should this outbuilding be utilised for community use, it is also proposed that the ground floor of Kingsbury Hall will potentially be utilised as a café room instead.
 - Use Class C1 – It is proposed that Kingsbury Hall include 3 apartments for the purpose of providing short stay accommodation for visitors to the care centre or staff. The apartments are for short stay only and not for permanent living.

Land at Kingsbury Hall, Kingsbury, North Warwickshire

Planning Statement



- Use Class D2 – It is also proposed to convert Kingsbury Hall to make it to suitable to accommodate community facilities. Such use would utilise an area of open space adjoining the Hall to the south east, within the curtain walls, for use as community amenity space. Additionally, a retained outbuilding to the east of the Hall is proposed to be converted for potential community use / café room.
- 2.2.7. The proposed uses for Kingsbury Hall have been informed by a feedback received at a public consultation event held at Kingsbury Methodist Church on Saturday 6th October. Visitors to the event were encouraged to provide their views on potential suitable uses for the Hall and outbuildings. The feedback received has shown the members of the community felt that the Hall should be used as a space for community activities, as well as a cafe. Strong positive feedback was provided to the principle of the proposed development with 81% of respondents stating that they 'strongly agree' or 'agree' that Kingsbury Hall and surrounding grounds should be restored as per the proposals and that the proposed care village would be great addition to the community of Kingsbury. Further details of the event and feedback received are provided in the Statement of Community Involvement.

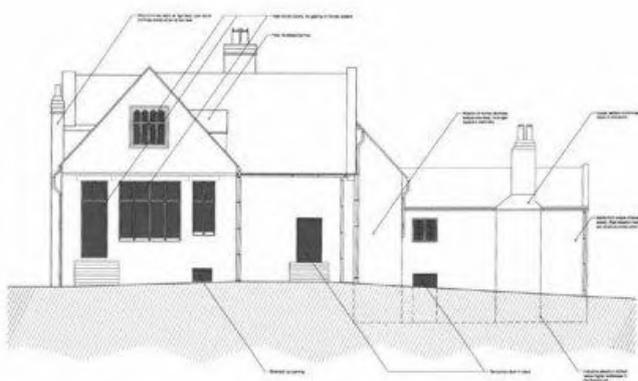




APPENDIX I

PAP/2018/0686

All drawings and designs shall be the property of APC Architects and shall not be used without the consent of APC Architects. The drawings shall not be used for any other purpose without the written consent of APC Architects.



Reference:
 A - 2018/0686 (Rev. 01) APC Architects Ltd
 2018/0686
 2018/0686 (Rev. 01) APC Architects Ltd
 2018/0686

FOR PLANNING

Project:
 KINGSLEY HALL

Client:
 KINGSLEY HALL DEVELOPMENT LTD & DAVID

Job Number: Drawing Number: Sheet:
 2201 00 3.350 A

Drawing Title:
 EAST ELEVATION - EXISTING

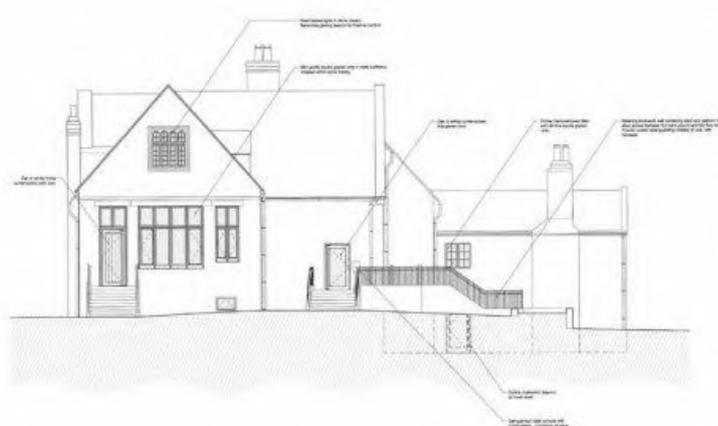
Scale:
 1:100 @ A3

APC Architects
 APC Architects Ltd
 100 Kingsley Hall, Kingsley, London, E16 3JL
 Tel: 020 8511 1111
 Email: info@apcarchitects.co.uk



PAP/2018/0686

All drawings and designs shall be the property of APC Architects and shall not be used without the consent of APC Architects. The drawings shall not be used for any other purpose without the written consent of APC Architects.



Reference:
 A - 2018/0686 (Rev. 01) APC Architects Ltd
 2018/0686
 2018/0686 (Rev. 01) APC Architects Ltd
 2018/0686

FOR PLANNING

Project:
 KINGSLEY HALL

Client:
 KINGSLEY HALL DEVELOPMENT LTD & DAVID

Job Number: Drawing Number: Sheet:
 2201 00 3.350 A

Drawing Title:
 EAST ELEVATION - PROPOSED

Scale:
 1:100 @ A3

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NON-TECHNICAL SUMMARY

Middlemarch Environmental Ltd was commissioned by Savills to carry out a Preliminary Ecological Appraisal at the site of a proposed care home in Tamworth, Warwickshire. To fulfil this brief an ecological desk study and a walkover survey (in accordance with Phase 1 Habitat Survey methodology) were undertaken.

The desk study exercise identified no European statutory sites within 5 km of the survey area, two UK statutory sites within 2 km and eight non-statutory sites within 1 km. The site is not located within 10 km of a statutory site designated for bats. The closest statutory site is Kingsbury Meadow Local Nature Reserve located 220 m south-east. River Thame (ID: 10/29D) Ecosite, Kingsbury SS Peter and Paul Churchyard Ecosite are both located adjacent to the survey area. The desk study also provided records of protected and notable species including bats, otter, brown hare, hedgehog, badger, amphibians, birds, plants and invertebrates.

The walkover survey was undertaken on 30th April 2018 by Victoria Worrall MSc (Senior Ecological Consultant) and Sian Comlay BSc (Hons) (Ecological Project Officer). At the time of the survey, the site comprised two distinct sections. To the east was an agricultural field with a substantial scrub buffer. In the south was the original complex of Kingsbury Hall, a manor house dating from the mediaeval period. Surrounding this were numerous brick-built storage buildings/barns.

In order to ensure compliance with wildlife legislation and relevant planning policy, recommendations have been made regarding the following:

- Production of a Construction Ecological Management Plan, to ensure the protection of River Thame (ID: 10/29D) Ecosite, Kingsbury SS Peter and Paul Churchyard Ecosite and Kingsbury Water Park and Coton Pools Local Wildlife Site;
- In accordance with the provision of Chapter 11 of the National Planning Policy Framework (Conserving and Enhancing the Natural Environment) and Local Planning Policy, biodiversity enhancement measures should be incorporated into the landscaping scheme of any proposed works to maximise the ecological value of the site. This should include the provision of a barn owl nesting box;
- Retention and protection of the trees on and the functionality of the adjacent wildlife corridor adjacent to the site;
- A preliminary ground level bat roost assessment should be undertaken on any trees to be impacted as a result of the proposed development works;
- If the scrub along the western boundary of the survey area is to be cleared to facilitate the proposed development, it is recommended that this is undertaken under the direct supervision of an experienced ecologist to ensure the protection of badgers;
- A reptile survey should be undertaken of suitable habitats within the proposed development site. Reptile surveys can be completed in suitable weather conditions between April and September (inclusive). Clearance of vegetation undertaken at appropriate times of the year to ensure nesting birds are not impacted;
- Covering of excavations that are to be left overnight or fitted with mammals ramps and any open pipework is covered at the end of each working day to prevent animals entering.

Full recommendation text is provided in Chapter 7.

In addition, a Preliminary Bat Roost Assessment has been undertaken of the buildings on site (RT-MME-127311-02) and all recommendations within this report should be adhered to.

NON-TECHNICAL SUMMARY

In April 2018, Savills commissioned Middlemarch Environmental Ltd to undertake a Preliminary Bat Roost Assessment at Kingsbury Hall in Tamworth. This assessment is required to inform a planning application associated with the proposed demolition of some of the existing buildings and construction of 81 independent living dwellings and a High Dependency Unit.

To fulfil the above brief to assess the potential for the existing buildings on site to support roosting bats, a Preliminary Bat Roost Assessment was undertaken on 30th April 2018.

Building 1 (Kingsbury Hall) has undergone roof works in the recent past with breathable roofing membrane being utilised with original and reclaimed tiles. No glass was present in the building windows and hasn't been for a considerable amount of time (10 years plus). Bat droppings were found within the middle floor of the hall. There were no obvious accumulations of more than 5 droppings noted at any one location. They appeared scattered throughout with no defining patterns.

Therefore, it is unclear without further surveys whether a small number of bats are using this building as a day roost or whether due to the open nature of the building, bats are using it for exploratory foraging. Internally there are very few roosting places for crevice dwelling bats, but the building does offer roosting features for cavity dwelling species. This building is therefore classified as having a high potential for roosting bats.

Buildings 2,3,4,5,7 and 8 have a similar appearance and structure. With no lining to the roof and solid brick walls, the majority of these building could be inspected. All of these buildings had free flight access to the inside. Only Building 4 held any evidence of bats in the form of two very old bat droppings. These were found approximately 4m apart and are unclear whether these were deposited as part of exploratory flight or from a roost. The remaining buildings did not show any evidence of bats but the nature of the floor substrate and accumulations of bird droppings, dust and debris could potentially disguise this. Therefore, these buildings are classified as having a high potential for roosting bats.

Building 6 was a more modern construction with cavity walls and loft space. The roof was well intact with a few missing tiles on both sides. Due to the lack of access internally, this building is classified as having a high potential for roosting bats.

Following the results of the Preliminary Bat Roost Assessment, the following recommendations have been made:

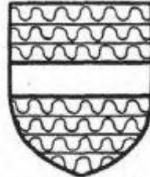
- R1** Buildings 1-8 have been identified as having high potential to support roosting bats. Bat Surveys: Good Practice Guidelines published by the Bat Conservation Trust (Collins, 2016) recommends that for structures with high bat roosting potential at least three dusk emergence and/or dawn re-entry surveys be undertaken during the bat emergence/re-entry survey season to determine the presence/absence of roosting bats within the structures. The bat emergence/re-entry survey season extends from May to September. At least two of the surveys should be undertaken during the peak season for emergence/re-entry surveys between May and August and one of the three surveys should be a dawn re-entry survey. If a roost is discovered during these surveys, a Natural England licence application may be required.
- R2** **Lighting**
In line with paragraph 125 of the National Planning Policy Framework, the development should aim to limit the impact of light pollution on bats through the careful use of lighting in critical areas only and at a low level with minimum spillage. Any lighting, either temporary or permanent, along the site boundaries (especially along the western boundary where the site abuts the River Tame, which would provide suitable foraging/commuting habitat) should be kept to a minimum and directed away from the boundary features to maintain dark areas and corridors. Lighting should be designed in accordance with the principles of 'Landscape and urban design for bats and biodiversity' as published by the Bat Conservation Trust (Gunnell *et al*, 2012). Materials used under lights, such as floor surfaces, should be materials that have a minimum reflective quality to prevent light reflecting upwards into the sky. This will ensure that bats using the site and surrounding area to roost/forage/commute are not affected by illumination.

R3 Habitat Enhancement

In line with the National Planning Policy Framework, the development should aim to enhance the site for bats. Bat boxes should be installed to provide roosting habitat for species such as pipistrelle. In general, bats seek warm places and for this reason boxes should be located where they will receive full/partial sun, although installing boxes in a variety of orientations will provide a range of climatic conditions. Position boxes at least 3 m above ground to prevent disturbance from people and/or predators. The planting of species which attract night flying insects is encouraged as this will be of value to foraging bats, for example: evening primrose *Oenothera biennis*, goldenrod *Solidago virgaurea*, honeysuckle *Lonicera periclymenum* and fleabane *Pulicaria dysenterica*.

Kingsbury Hall Farm, Kingsbury, Warwickshire

Kingsbury Hall Farm
Kingsbury
Warwickshire
NGR: SP 214 963



BRACERIDGE. *Fairy*
argent and table a fesse
gules.

A
Heritage Assessment

Text

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November 2014

Mercian Heritage Series No.782

Page 11

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A selection of marital Bracebridge coats of arms noted by Dugdale in the windows of Kingsbury Hall and published in his 'Antiquities of Warwickshire Illustrated' in 1657.

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Kingsbury Hall
Kingsbury
Warwickshire
NGR: SP 214 963

1. Introduction

Kingsbury Hall is a remarkable building that, until very recently, was in danger of becoming derelict and ruinous. Fortunately, its future now seems to have been assured by its purchase by a new owner who first consolidated and then began the process of restoring it.

In advance of the work this consultancy was commissioned to undertake an assessment of the development and significance of the building, supported by the available documentary and, more importantly, archaeological evidence related to the standing buildings on the site and their overall setting.¹

Subsequent work within the grounds of the Hall has included repairs to the medieval curtain walls, archaeological excavations, and some demolitions of structurally unsound agricultural buildings.

The medieval and early-post-medieval setting of the Hall is becoming to be seen as more and more significant and this report has been commissioned to assess the significance of the remaining farm buildings.

1.1 Report Format

The report format is fairly straightforward. Following this brief introduction, Sections 2 and 3 relate to planning advice, and Section 4 is concerned with a brief resume of the outline history of the site based mainly on readily available sources. Section 5 is concerned with the setting of the buildings and Section 6 describes and discusses the medieval curtain wall. Section 7 concerns the farm buildings and includes descriptions and discussions on the individual components. Section 8 is an overall discussion and heritage statement and Section 9 a short conclusion.

¹ Morriss, R K. 2004, *Kingsbury Hall, Warwickshire: An Archaeological & Architectural Analysis* (Mercian Heritage Series No.243).

2. Planning Guidance

2.1 National Planning Policy Framework Guidelines

In March 2010 the long-lasting *Planning Policy Guidance Nos.15 and 16* (PPG15 and PPG16) – relating respectively to archaeology and buildings – were amalgamated into a new set of guidelines - *Planning Policy Statement No.5* (PPS5).² This introduced a new term in planning legislation – the ‘heritage asset’. This was identified in the guidance as:

*‘A building, monument, site, place, area or landscape positively identified as having a degree of significance meriting consideration in planning decisions. Heritage assets are the valued components of the historic environment’.*³

Parts of PPS5, much condensed, were incorporated and regurgitated into a new *précis* of planning guidance published in March 2012 – the *National Planning Policy Framework* (NPPF) – which replaced all other separate Planning Policy Guidelines and Planning Policy Statements.⁴

Because of the condensed and generalised nature of the new document there has been considerable confusion as to the guidance within it, but in essence, excepting the over-arching concept of presumption in favour of ‘sustainable development’, the heritage aspects have changed little.

Much of the existing advice outlined in the earlier guidelines is still deemed to be of relevance and this is summarised best in a guidance note to planning inspectors issued by the Planning Inspectorate, which states that ‘*The Framework* [i.e. the NPPF] largely carries forward existing planning policies and protections in a significantly more streamlined and accessible form’.⁵ The main relevant paragraph in the NPPF (largely based on policies HE6-HE8 of PPS5) states that local planning authorities should require applicants:

*‘...to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposals on their significance’.*⁶

The *National Planning Policy Framework*, as a general rule, recommends approval of development unless ‘any adverse impacts of doing so would significantly and demonstrably outweigh the benefits’.⁷

² Department for Communities & Local Government, 2010, *Planning Policy Statement No.5: Planning for the Historic Environment*

³ *op. cit.*, 13, Annex 2

⁴ Department for Communities & Local Government, 2012, *National Planning Policy Framework*, para. 128.

⁵ The Planning Inspectorate, 2012, *Advice Produced by the Planning Inspectorate for use by Inspectors*

⁶ *Ibid.*

⁷ NPPF, para. 14

3. Heritage Impact Assessments

3.1 General Introduction

The purpose of a heritage impact assessment (HIA) is to meet the relevant guidance given in the NPPF. This outlines the need to inform the planning decisions when considering proposals that have the potential to have some impact on the character or setting of a heritage asset. It is not concerned with other planning issues.

The nature of the heritage assets and the potential impact upon them through development are both very varied. The heritage assets include both designated heritage assets – such as listed buildings, scheduled ancient monuments and conservation area – and non-designated heritage assets, a rather uncomfortable and sometimes subjective category that includes locally listed buildings, field systems and views.

The degree of impact a proposed development could have on such assets is variable and can sometimes be positive rather than negative. The wide range of possible impacts can include loss of historic fabric, loss of historic character, damage to historic setting, and damage to significant views.

Under the requirements of the NPPF, the still current advice in the notes that accompanied PPSS, and of other useful relevant guidance, such as English Heritage's *Conservation Principles* and *Informed Conservation*, it is necessary to assess the significance of the designated and non-designated heritage assets involved, to understand the nature and extent of the proposed developments, and then to make an objective judgement on the impact that the proposals may have.⁸

The site is a scheduled ancient monument and the Hall is listed; the farm buildings are not but could be deemed to be curtilage listed because of their relationship with the Hall.

⁸ English Heritage, 2008, *Conservation Principles: Policies and Guidance for the Sustainable Management of the Historic Environment*; Clark, K, 2001, *Informed Conservation: Understanding Historic Buildings and Their Landscapes for Conservation*

3.2 Definition of Setting

The latest English Heritage guidance on the setting of heritage assets points out that:

'Setting is not a heritage asset, nor a heritage designation. Its importance lies in what it contributes to the significance of a heritage asset. This depends on a wide range of physical elements within, as well as perceptual and associational attributes, pertaining to the heritage asset's surroundings'.⁹

Setting, as a concept, was clearly defined in PPS5 and in the accompanying Guidance notes which state:

'Setting is the surroundings in which an asset is experienced. All heritage assets have a setting, irrespective of the form in which they survive and whether they are designated or not. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance, or may be neutral'.¹⁰

The same guidance states that setting is not confined entirely to visible elements and views but includes other aspects including environmental considerations and historical relationships between assets:

'The extent and importance of setting is often expressed by references to visual considerations. Although views of or from an asset will play an important part, the way in which we experience an asset in its setting is also influenced by other environmental factors such as noise, dust and vibration; by spatial associations and by our understanding of the historic relationship between places'.¹¹

3.3 Definition of Significance

In the glossary of the new *Planning Practice Guidance* to the NPPF, significance is defined as:

'The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting'.

⁹ English Heritage, 2011, *The Setting of Heritage Assets: English Heritage Guidance*, 7, para. 2.4

¹⁰ PPG Guidance para.113

¹¹ *Op. cit.*, para.114

3.4 Definition of Harm

The manner in which the significance of a heritage asset could be harmed was summarised in the case of *Bedford Borough Council v Secretary of State for Communities and Local Government*, [2012] EWHC 4344 (Admin)(also known as Podington):

'Significance may be harmed through alteration of the asset, i.e. physical harm, or development within its setting, i.e. non-physical or indirect harm. Significance may be lost through destruction of the asset, or, in a very extreme case, development within its setting'.

The NPPF and its accompanying Planning Practice Guidance effectively distinguish between two degrees of harm to heritage assets – *substantial* and *less than substantial*. Substantial harm is considered to be a degree of harm so serious to the significance of the heritage asset, usually involving total or partial destruction of a listed building, for example.

As the term suggests, *less than substantial harm* is not as serious and varies in its impact – but it still is an important consideration in assessing planning applications. In the Podington case the issue related to the impact on the setting of heritage assets and it was concluded that:

'In the context of non-physical or indirect harm, the yardstick was effectively the same. One was looking for an impact which would have such a serious impact on the significance of the asset that its significance was either vitiated altogether or very much reduced'.

4. Outline History

The history of the site is set out in some detail in the original report and what follows is related mostly to the post-medieval and modern periods to which the farm buildings belong.

Kingsbury is a growing village in the north-western corner of Warwickshire. It is a little over four miles to the south, and upstream, of the Saxon market town of Tamworth, now just over the county boundary in Staffordshire but once shared by the two counties.

The village is set on a bluff on the east bank of the River Tame just to the north of the confluence of a small brook that rises on Hurley Common to the east. The ancient Hall is just to the north of the parish church and its churchyard, which have Norman origins. In between is a deep ravine – probably man-made – through which a track, now known as Red Lane, leads down to the successor of earlier Red Lane bridges across the Tame.

The knight's fee or lordship of Kingsbury under its overlords was held after the Conquest by Turchil de Warwick, husband of Leverunia, Countess Godiva's granddaughter; Turchil, despite being a Saxon, had either supported or quickly acquiesced to William and was suitably rewarded, being apparently one of only two Saxon lords allowed to retain their lands.¹²

He adopted the surname Arden, presumably to reflect the many wooded forests in his expanded domains. He was succeeded in turn by his son and grandson, both called Osbert; the grandson's daughter, Amice, married John de Bracebridge – a knight from the Lincolnshire village of that name - who thus obtained the lordship.¹³

The 14th century seems to have been a profitable one for the Bracebridges, due in no small part to the wars with France. The capture and ransom of French knights in battle lined many an English lord's pocket at this time. A Sir John Bracebridge fought for Edward III in France as did a Sir Ralph Bracebridge, probably his brother.

At the end of the century either this Sir Ralph or another held Kingsbury which was then a large and prosperous place; he had 20 servants in or around the hall.¹⁴ His widow obtained permission from the Bishop of Lichfield and Coventry to have divine service in a chapel at her house.¹⁵ The surviving curtain wall to the south-east was probably built in this century, indicating that this was then a substantial fortified manor house.

¹² Haines, *op.cit.*, 13

¹³ VCH, *op.cit.*, 104

¹⁴ Haines, *op.cit.*, 22

¹⁵ Owen, A V, *op.cit.*, 10

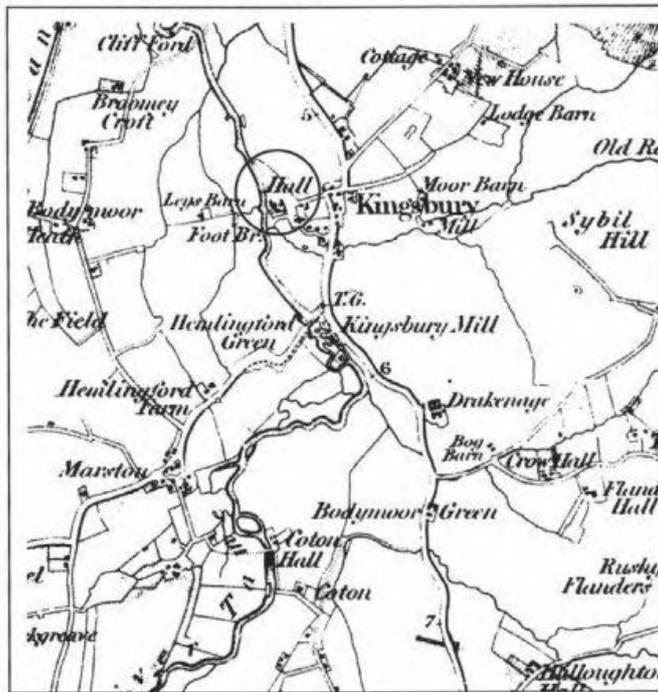


Fig.1: Enlarged extract from the 1834 Ordnance Survey map, showing the position of Kingsbury Hall.

In contrast, the 15th century saw a definite decline in the Bracebridges' fortunes. Sir Ralph's son and heir, John, died young and his widow Joan then held Kingsbury until her death in 1400. She left a son, Ralph – and the VCH implies that this was not Sir John's son.¹⁶ He may have been from a second marriage or illegitimate but noticeably was not knighted – the first head of the Bracebridge family not to have been given that honour for two centuries.¹⁷

Writing in the period between 1535 and 1543, the traveller and writer John Leland wrote that '*Kinisbyri is a fair manor place and a lordship of 140 li. One Brasebridge is lord of it. It is in Warwikshir.*'¹⁸

After his third marriage in 1557, Thomas Bracebridge appears to have left Kingsbury and moved to Twyford, near Derby.¹⁹ In 1559 he leased the manor house at Kingsbury from February of the following year to Sir Ambrose Cave, Chancellor of the Duchy of Lancaster, along with the park.²⁰ The younger Thomas disputed the arrangement, which was, with his agreement, redrawn as a 21-year lease; subsequently the lease was extended to 300 years from 1564 at a rent of £42 4s. 3d. This rent continued to be paid up until the 19th century.

The evidence from the tree-ring analysis of the Hall commissioned by the present owner indicated that it had been at least partly rebuilt – and entirely re-roofed and re-floored – in the mid-1560's when still evidently a grand property. It could have been the first significant double pile house in the country.

It is not clear from what time the Hall ceased to be a high status house, but the architectural evidence shows that it had certainly become little more than a farmhouse by the mid-18th century – and had probably been so from the latter part of the 17th century. The documentary evidence is confusing. Kingsbury Hall was apparently sold in 1657 to Richard Beardsley and his son George, who may have been leasing the hall for some time previously; they later conveyed it to Abel and Samuel Smyth – either father and son or brothers.²¹

Dugdale had visited in the mid-17th century and noted armorial bearings in the stained glass windows of the Hall; these included marital coats of Bracebridge impaling Ferrers of Groby, Francies, Hatton, and Clinton.²² There is a *graffito* date of 1692 on an upstairs stone fireplace, possibly related to a carved name, William Tripett; nearby is another *graffito* that states '*John Bradford had the smallpox Aprill [sic.] 1712.*'²³ The Bradfords appear to have leased the Hall in the early-18th century – certainly from 1707 onwards – and a deed of 1714-5 relating to land in Birmingham refers to Francis Bradford of Kingsbury Hall, 'yeoman', his wife, Hannah, and their son, Henry.²⁴

¹⁶ VCH, *op.cit.*, 104

¹⁷ Haines, *op.cit.*, 22

¹⁸ Toulmin Smith, L (ed.), *The Itinerary of John Leland Vol.V*, 21

¹⁹ Haines, *op.cit.*, 26

²⁰ VCH, *op.cit.*, 105

²¹ Haines, *op.cit.*, 35

²² Owen, *op.cit.*, 19

²³ In room F5, see below

²⁴ Birmingham Record Office MS 3568/ACC 1936-046/452127



Fig.2: Views of Kingsbury Hall in Niven's 1872 work on Warwickshire houses – From the west (top), north-east (centre) and south-east (bottom).

A Robert Reynolds paid a Mr Bond 5s. a year rent for part of the Kingsbury Hall estate; that was presumably William Bond, who lived at the Hall in 1768 and may have been responsible for some of the 18th century changes.²⁵ By the mid-19th century it was occupied by Walter Coleman; he is described as being 'of Kingsbury, gent.' in a deed of 1842.²⁶ In local *Directories* he was described as a farmer who, by 1866, had prospered sufficiently to be able to move to Church Hill House in Kingsbury and be classed under the 'gentry' section of the *Directory*.

The Hall was then occupied by another farmer, James Hanbury, who was still there in the 1870's; at the end of the century it was farmed by Henry Green. Illustrations of the Hall published by W Niven in the 1870's show it in more or less its present state.²⁷ In the *graffiti* in the attic Edward Whitehouse twice pencilled his name – in 1882 and 1884 – describing himself as an 'Esq.' and of Kingsbury Hall.

Photographs of the Hall at the end of the 19th century show that the South Range had been given over mainly to agriculture but the overall condition of the site seems to have been fairly good. The slopes to the west down to the Tame were well kept and cultivated.

Nevertheless, a writer in the early-20th century despaired of the future of the Hall. The gateway was '*supported by beams of modern construction, but will, I fear, soon give way at the top and be destroyed altogether*'; the hall itself was '*now a mere shell of crumbling walls, whose downfall is being hastened by ill-usage*'.²⁸ He thought that within a century all that would be left would be some old photographs and remnants of a few walls.²⁹

The situation was not helped by a swift turnaround of tenants or owners. *Directories* show a quick succession of farmers living at the Hall – Samuel Derricot in 1908, Frank Winfield in 1912, John Summerfield in 1924 and Fred Kitchen in 1932 – and it suffered continuing neglect up until very recently.³⁰

Photographs during this period show the gradual decline of the house. Sometime between 1930 and 1948, for example, the coping stones of the 'Flemish' gable of the West Range was removed, and holes begin to appear in the roof covering. The Hall has been uninhabitable since the 1970's and was recently used as part of a coal haulage depot; despite all that, Kingsbury Hall has managed to survive and now its long-term future appears to be assured.

²⁵ Haines, *op.cit.*, 37

²⁶ Shakespeare Birthplace Trust DR574/732

²⁷ Niven, W, 1872; earlier undated engravings and paintings also suggest that the Hall was similar from the late-18th century onwards.

²⁸ Owen, *op.cit.*, 16

²⁹ *ibid.*

³⁰ Fred Winfield, presumably related to Frank, wrote a rather poignant *graffito* in the attic – '*Fred Winfield arrived at Kingsbury Wed 16th March 1911, Sails for Australia March 31st 1911. Good Bye Old England.*'

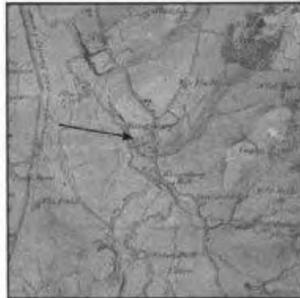


Fig.3: Extract from the original Ordnance Survey drawing, begun around 1817.

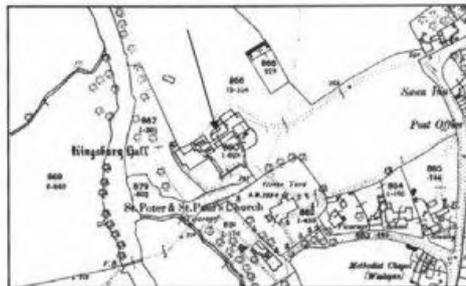


Fig.4: Extract from the 1st edition 1:2500 Ordnance Survey map published in 1888.



Fig.5: Extract from the 2nd edition 1:2500 Ordnance Survey map published in 1902.

5. The Site

Kingsbury Hall was dealt with in some detail in the original report and this one is concerned more with its setting – and, specifically, with the farm buildings and their relationship with the curtain wall.

The site lies in a clearly once defended site to the north of the parish church. Its grounds are separated from the churchyard by the deep ditch already referred to containing Red Lane. To the west, the land drops dramatically down to the floodplain of the river. The northern and eastern boundaries of the site have less obvious natural defences, but there are traces of a possible moat on the east side that could have continued along the northern perimeter as well.

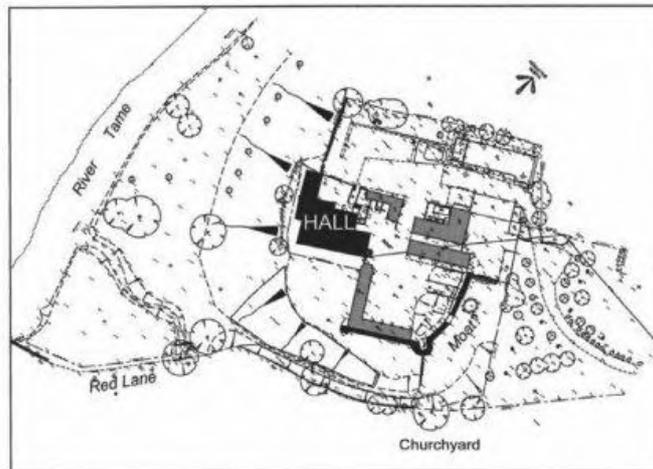


Fig.6: Modern site plan of Kingsbury Hall (approximate scale 1:1500)

6. The Medieval Curtain Wall

6.1 Description

The south-eastern corner of the site is also defended by a substantial curtain wall, built of well-coursed and well-worked sandstone masonry. The wall is about 1.7m (5' 6") thick and survives up to a height of approximately 6m (19' 6"). It was presumably once higher and embattled.

Both surviving sections of the wall are approximately 27m (88' 6") long and at their south-eastern junction is a contemporary projecting open-backed half-octagonal tower, now no higher than the adjacent sections of walling.

In the south-western part of the tower is a contemporary garderobe, lit by a small loop and served by a surviving chute; it is reached through a primary doorway with a two-centred arched head rebated on the inside.

There are the remains of a second garderobe, also reached through a doorway with a two-centre arched head, at the western end of the surviving southern section of the wall.

The wall presumably once extended further to the west and to the north and may have encircled the entire site – apart, perhaps, from the scarp on the river side; that may only have need a timber palisade in times of potential danger; the present low wall on this side just below the brow of the slope seems to have been added as a revetment wall.

There is a gateway in the eastern section of the curtain wall at the point where there is a slight change in direction in the wall. This has a chamfered stone arch with a four-centred head and appears to be inserted – probably in the late-16th or early-17th centuries. To either side of the opening are scars in the masonry that suggest the former existence of a projecting gatehouse or, less likely, another semi-octagonal mural tower.

The general characteristics of the wall, mural tower and garderobes suggest a later-14th century date, and there seems to have been just one major campaign of works involved. It is less easy to assess to full extent of these defences, either actual or intended.

6.2 Discussion

The surviving curtain walls are of national significance on both architectural and historical grounds. They represent a form of defence on the cusp between the stronger fortified manor house and the lesser castle – combining aspirations for both prestige and defence and being an intriguing reminder of the long history of the site even before the construction of most of the present mid-16th century Hall.

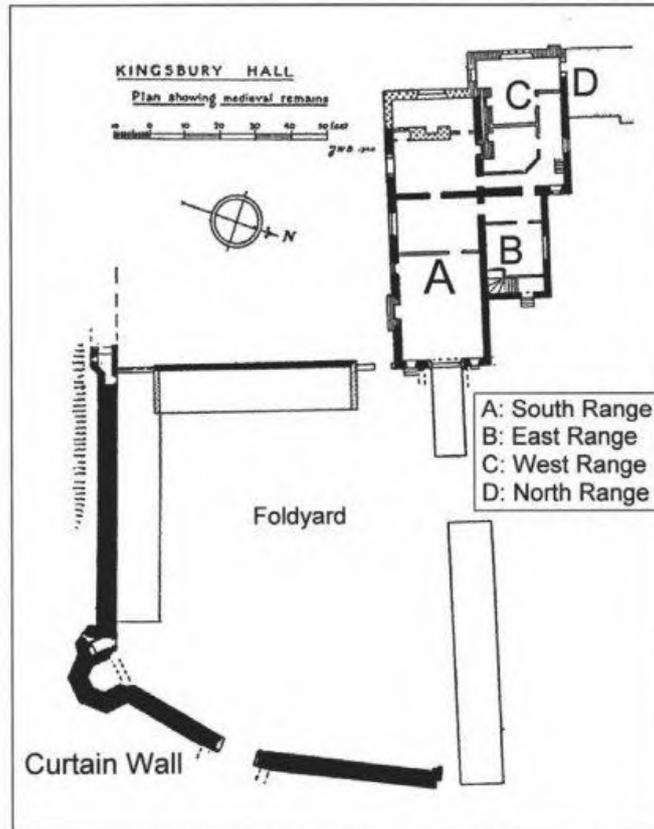


Fig.7: Annotated plan of Kingsbury Hall in 1940, taken from the relevant volume of the Victoria County History of Warwickshire – showing the position of the Hall and the surviving section of curtain wall.³¹

³¹ VCH, *op. cit.*,

Kingsbury Hall Farm, Kingsbury, Warwickshire



Pl.1: Kingsbury church, viewed from the Hall, with the southwest corner of the farmstead to the left and defensive ditch between (2004). The farm lean-tos have since been demolished.



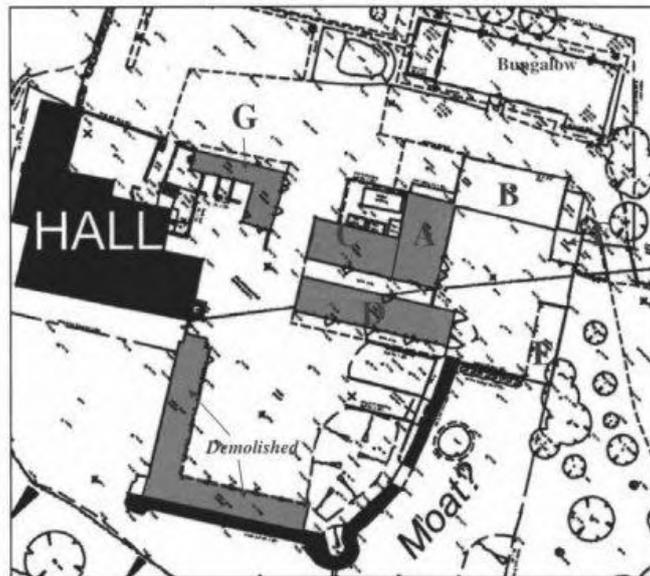
Pl.2: The open back of the corner tower of the medieval curtain wall



Pl.3: Part of the farmstead to the east of the Hall, forming the north side of the foldyard. The letters relate to the building identification in the report.

7. The Farmstead

To the south-east of the Hall is the former foldyard of the farmstead, its southern and eastern sides delineated by the medieval curtain wall. There are two yards – the main yard bounded by those walls and formerly lined with shelter sheds built against the walls – and a smaller eastern yard to the north-east. A modern bungalow lies at the northern edge of the farmstead and is of no architectural value.



- | | |
|----|--------------------------|
| A: | The Barn |
| B: | The Cart Shed |
| C: | The North Byre |
| D: | The South Byre |
| E: | The East Shelter Shed |
| F: | The North-East Loose Box |
| G: | The Piggery Complex |

Fig.8: Plan of the farmstead with identification of buildings.

7.1 Building A: The Barn

7.1.1 Description

The Barn lies at the north-eastern corner of the farmstead and is abutted by the western end of the Cart Shed (Building B) to the north-east and the east gable of the North Byre (Building C) to the west. It forms part of the western side of the east yard area. It is a complex building in poor condition.

7.1.1.01 The Exterior

In its present form the Barn is mainly built of hand-made red brick with a very tall undecorated and flush rubblestone plinth. The bond is erratic but mainly a form of crude Flemish Stretcher bond.

On the east elevation, facing the east yard, it is clear that the tall double doorways towards the left-hand, or south, of the elevation have been inserted – the base of the opening having been cut through the plinth. Curiously the section above the lintel of the doorway is of brick-nogged timber-framing.

Towards the right-hand end of the elevation is a doorway set high up in the wall and apparently primary to the brickwork, with a simple segmental arched head of one ring of headers. The threshold has been rebuilt and the opening was presumably reached by external ladders or steps; it has a plank door in a timber frame.

The west side elevation is abutted by the North Byre (Building C). This has just one centrally positioned window opening on the upper floor. This, like the doorway in the east elevation, seems to be primary to the brickwork and has the same type of segmental arched brick head.

There is a doorway with a segmental arched head centrally positioned in the south gable wall. In the north gable wall there is a single window opening at the upper level towards the left-hand, or eastern, end of the elevation – again with a segmental arched brick head.

There have clearly been at least two buildings butting against the gable wall at different times – one a lean-to against the gable end of the adjacent Cart Shed (Building B) and a built up section of wall between it and the Barn and the other a building against the Barn itself – which has left traces of its first-floor joists in the older building.



Pl.4: The east elevation of the Barn (Building A).



Pl.5: The Barn from the north-west.

7.1.1.02 The Roof

The roof is plain gabled, steeply pitched, and plain tiled. It is presumably of truss and purlin construction – with two tiers of purlins evident projecting through the brick gable ends. It could not be examined however because of the condition of the building.

7.1.1.03 The Interior

The interior could also not be examined for safety reasons because of the poor state of the building and there are no convenient openings to look through safely. It appears to be of two storeys.

7.1.2 Discussion

This is the tallest building on the farmstead but also the most complex. In its present form the brickwork on the rubblestone plinth would suggest a later-18th to early-19th century but it is possible that it is earlier – and, in fact, the result of the radical rebuilding of a timber-framed building on the same stone plinth. The only visible evidence at present for this is the brick-nogged framing above the large inserted doorway on the east side.

The function of the building is unclear. The large inserted doorways could suggest a use as a threshing barn but there is no answering opening on the other side. Without those doorways, the building in the rebuilt brick phase would have been tall, two-storied and quite dark – with a single opening in each side.

7.1 Building B: The Cart Shed

7.1.1 Description

7.1.1.01 The Exterior

The Cart Shed lies on the northern side of the farmstead, opposite the modern bungalow and its rear forming the northern side of the eastern yard. It is a plain brick rectangular structure under a plain gabled and plain tiled roof.

The hand-made and irregular dark red-brown bricks of which it is built are laid mainly to a plain English Bond. There is a low brick plinth and the front corners end in pilasters.

The front of the building was to the north, away from the yard. This was originally a three-bay open arcade with brick piers. The openings have since been infilled with brick containing later-20th century windows and a large French window towards the left-hand, or eastern end.

In the west gable elevation is an earlier inserted large doorway with an external sliding plank door. There is a very small window with segmental brick arched head in the gable of the east gable wall and, on the rear elevation facing the east yard, there is a larger primary window opening towards its left-hand, or west, end that has been re-windowed.

7.1.1.02 The Roof

The plain gabled roof is of quite crude construction with no trusses as such. Instead there are tie-beams supported on the arcade piers on the front elevation and brick pilasters on the rear. From these, vertical struts rise to support the single tier of purlins and the ridge-piece.

Raking braces from the beam and at right-angles to it support the purlins and there are smaller pairs of braces from the tops of the central posts to support the ridge piece. The timbers of these 'trusses', the purlins and the common rafters are crisp and the design unusual; it is possible it replaced an earlier roof.

7.1.1.03 The Interior

The interior has been completely modernised and little or nothing of interest remaining within it.



Pl.6: The former Cart Shed (Building B) from the north-west.



Pl.7: The east gable of the Cart Shed.

7.1.2 Discussion

The building was clearly designed as a three bay cart shed or implement store and probably dates to the mid-19th century though the rather odd roof could be a later replacement.

The large opening in the west gable end was probably added in the mid-20th century, possibly at the same time that the arcades to the front were infilled and, presumably, to create a larger and more secure storage area for larger machinery or a tractor. The infills have since been re-windowed.

Although part of the wider grouping of farm buildings, the building has no clear intrinsic architectural qualities and it is understood that permission has been granted to demolish it.



Pl.8: Part of the interior and unusual roof structure of the former Cart Shed.

7.3 Building C: The North Byre

7.3.1 Description

The North Byre is a fairly large but plain rectangular structure aligned west-east at the northern edge of the farmstead. It is close, and parallel to, the South Byre (Building D), its eastern gable abutting the Barn (Building A).

To the north is a large raised concrete terrace with brick walls on which there was evidently a building at one time – as indicated by the patina pattern in the brick flank of the adjacent Barn; this building was probably of 20th century date.

The Byre is built of fairly regular hand-made mid-red brick with many of the headers being over-fired and grey coloured as a result. This has not been used for decorative purposes as the bond is a simple English bond. The side walls are topped with a plain eaves course.

The building has remarkable few openings. There is a single doorway with a segmental arched head, rebated for an outwards opening door, towards the right-hand, or eastern, end of the south wall and a taking-in opening, also with segmental arched head, in the gable of the west gable wall. There are no openings in the north wall at all apart from three very small vents beneath the eaves.

The roof is plain gabled and plain tiled but its design could not be assessed at the time of the survey. The interior was not examined because of the poor condition of the building.

7.3.2 Discussion

This building is built of more regular bricks than the adjacent South Byre (Building D) and is probably slightly later than it in date. It appears to be of the second half of the 19th century but is shown on the 1st edition 1:2500 Ordnance Survey map published in 1888.

Dark, ill-lit and ill-ventilated – with just one door and the taking-in opening high in the west gable – its purpose was presumably associated with cattle but the precise purpose for which it was designed is unclear. It was clearly not a normal byre and seems too big to have been a slaughter house.



Pl.9: The North Byre (Building C) from the south-west, with the South Byre (Building D) to the right.



Pl.10: The north elevation of the North Byre, with the Barn (Building A) to the left.

7.4 Building D: The South Byre

7.4.1 Description

7.4.1.01 The Exterior

This range is a long rectangular single storey structure parallel to the North Byre (Building C) built of red bricks laid to a mainly Flemish Stretcher bond, its side walls topped by simple projecting eaves detailing.

The main elevation faces southwards, to the foldyard, and is of seven bays – of alternating windows and doorways – four of the former and three of the latter. The openings have segmental arched brick heads.

The doorways, set in inwardly projecting brick surrounds, have external rebates for originally outwards-opening doors and their inner surrounds are proud of the rest of the side walling. The stone pintle and catch blocks are integrated into the external jambs.

The windows had agricultural timber-framed glazing. Internally there were horizontally sliding shutters, the top and base timber rails for which survive in some places.

The rear wall is devoid of openings apart from a single doorway roughly midway – but not directly opposite the central doorway in the south elevation. There is evidence in the north-west corner of the west gable wall of a former western extension to the range, its cross-section – with shallow lean-to roof – fossilised in paint adhering the gable wall.

In the upper part of the west gable is a small window opening with a segmental arched brick head. Above and to the side of this are cantilevered out brick bands, designed as roosts; the openings for the birds have been infilled in brick.

In the eastern gable wall there are, high up in the gable itself, three tiers of projecting brick roosts – each roost necessarily shorter than the one below. The original openings above the lowest roost have been infilled with brick; the other two levels remain open.

7.4.1.02 The Roof

The roof is plain gabled and covered with plain tile. The trusses are made of relative thin scantling timbers and are of composite design, their tie-beams supported on brick corbels to either side.

The trusses consist of principals and tie-beam – with angled braces to the principals rising from a straining piece on top of the tie, and the composition stiffened by a king bolt. The trusses support a single tier of chocked purlins and a ridge-board; most of the common rafters appear to be original.



Pl.11: The front, or south, elevation of the South Byre (Building D).



Pl.12: The South Byre from the north-west, with the North Byre (Building C), left.

7.4.1.03 The Interior

The interior is one long open space open to the roof with limewashed walls and roof timbers. There were presumably dovecots at either end of the building but these have been removed. There are remnants of raised stalls against the rear, or north wall – with mangers of moulded upright ceramic slabs.

7.4.2 Discussion

This range was clearly built as a byre, facing onto the main foldyard to the south. It also contained dovecot roosts in each gable end. The cattle were in stalls, their heads against the rear wall.

It appears to have predated the North Byre (Building C) immediately to the north and probably dates to the mid-19th century. It is shown on the 1st edition of the 1:2500 Ordnance Survey map of 1888. Since it was built it appears to have been little altered but has clearly been redundant for many years and is becoming derelict.



Pl.13: The interior of the South Byre, looking east. Note sliding shutters (right) and trough (left), as well as the design of the roof structure.

7.5 Building E: The East Shelter Shed

7.5.1 Description

The East Shelter Shed is a fairly small single-storey rectangular structure on the eastern side of the east yard. It is built of red brick and had a three bay open front facing the yard. This had plain brick piers, of which only the southern, or right-hand, one survives. The other has collapsed or been removed. The interior is one single open space.

The roof structure is quite crude and made up of both re-used and waney edged timbers. The trusses were supported by the brick piers in the arcade and brick pilasters projecting from the rear wall. They consist simply of a tie-beam from which two stubby struts rise to support the single tier of purlins; there are no principal rafters. The heads of the common rafters meet at a ridge-board.

7.5.2 Discussion

This range was presumably a small shelter shed for cattle using the east yard, although it may also have served as a cart shed. It seems to be of later-19th century date and is of limited intrinsic architectural significance and in poor structural condition.



Pl.14: The East Shelter Shed (Building E) from the south-west.

7.6 Building F: The North-East Loose Box

7.6.1 Description

In the north-eastern corner of the east yard, butting against the south-eastern corner of the Cart Shed (Building B) is a small unheated single-storey brick-built structure aligned north-south.

It is built of mottled red grey bricks with rounded south-west corner. In the south gable elevation is a doorway with a segmental arched brick head and external rebate for an outward opening door; the existing strap-hung plank door could be primary but is in poor condition. There is a window in the west elevation. The roof is plain gabled and covered in plain tile; the interior was inaccessible.

7.6.2 Discussion

This appears to be a mid-late 19th century building, being shown on the 1st edition of the 1:2500 Ordnance Survey map. It was possibly designed as a small loose box. It is of limited intrinsic architectural significance.



Pl.15: The Loose Box (Building F) from the south-west.

7.7 Building G: The Piggery Complex

7.7.1 Description

The Piggery Annexe is an 'L-shaped' structure built of hand-made dark red brick laid to an English Garden Wall bond, the side walls topped by a simple projecting eaves band. Both sections are covered by plain-gabled and plain-tiled roofs.

The taller section forms the 'foot' of the 'L', is aligned north-south, and has a loft. The lower single-storey rear, or western, section has a north wall in line with the north gable wall of the taller section – and there are no breaks in the coursing to suggest that they are of different phases.

The east elevation of the East Section, of 'foot', of the complex has two doorways, the northern, or right-hand, one wider than the other. The wider doorway has a segmental brick arched head of just one ring; the other opening has a two-ring segmental arched head instead. Both have plank doors of unknown antiquity.

Attached to the south gable is a later brick lean-to with a simple eaves detail and a square-headed doorway in its south wall. Above this there are three brick roosts in the south gable. In the opposite north gable there is an attached wooden roost. This gable is effectively a heel gable attached to the left-hand end of a longer wall which runs westwards.

The front elevation faces south but is heavily overgrown and internal access is also difficult. It consists of a series of brick-walled pig yards in front of the pig sties – the latter having low segmental arch-headed doorways for the animals.

The rear elevation is devoid of openings. The west gable elevation of the west wing has square-headed doorways at ground-floor and loft levels but is becoming overgrown.

7.7.2 Discussion

The Piggery seems to be a purpose built complex, largely made up of the pig sty and yard range with a store range – with possible cart shed and store in the taller 'foot' of the 'L'. It is a fairly plain brick structure that probably dates to the early-mid 19th century and is of limited architectural value but has a small amount of historical value in being a relatively unaltered exemplar of this type of complex.



Pl.16: The Piggery complex (Building G) from the north-west, with the main sty range in the foreground; the yards are to the right-hand side.



Pl.17: The Piggery complex from the south-east.

7.8 Removed Structures

Until recently there was an open fronted shelter shed with brick piers along the inner face of the south section of the medieval wall; this had a lean-to roof supported on neatly-sawn timber half-trusses and was probably of mid-19th century date.

At right-angles to it, its rear wall in line with the eastern gable of the South Range of the Hall, was a long low building – originally an open-fronted range of eight bays – forming the western side of the foldyard.

This was also of brick but its rear wall is of stone; this masonry seemed to have been reused in the construction of the wall and could be contemporary with the brickwork. Its roof trusses were fairly primitive, and utilised waney-edged timbers.

8. Discussion & Heritage Statement

The surviving farm buildings of Kingsbury Hall are of various dates but with the possible exception of the Barn (Building A), most seem to date to a broad mid to late 19th century period. The recently demolished buildings against the curtain walls would also fit into that general period.

There was evidently no overall designed plan to the farmstead, which appears to have grown and developed organically with little or no respect for the Hall to the west. The character of the buildings is also quite utilitarian and devoid of any architectural pretension or aspiration.

Whilst all are within the curtilage of the Hall and form part of its setting, none are of intrinsic architectural quality and it is unlikely that any would be considered for listing on their own historical or architectural merits. All are in relatively poor structural condition and all are also agriculturally redundant.

In the context of the Hall and the medieval curtain wall, the buildings are of relatively low significance, other than representing part of the later phases of the Hall as it ceased to be a high status dwelling from the later-18th century onwards.

Whilst all phases of a site such as this can be seen to be part of its organic development over time, there are clearly some elements that are of greater significance than others.

In this case it is clear that the medieval curtain walls and the Hall itself are of far greater importance than the farm buildings – and that the walls and the Hall predate the farm buildings by a considerable period of time.

The recent removal of the shelter sheds on the west and south sides of the main farmstead, along with other modern accretions within the yard, has exposed the inner face of the south curtain and the corner towers and resulted in a much better reading of the medieval layout of the site and of the later setting of the rebuilt late-16th century Hall.

In many ways the surviving buildings are unsuited to the type of adaptive reuse suggested briefly as a possible means of ensuring their long term futures at the end of the original report.

Clearly they would not be used for agricultural purposes and their design and size means that most other uses would be difficult to accommodate without quite radical change.

One of the main issues relates to the provision of natural light. The South Byre does have a relatively generous amount of windows and doorways which could provide access and light to the interior, but the others do not.

The North Byre is lacking in windows as is the Barn. To convert these buildings to any other viable use other than storage would result in necessarily radical changes to their character – especially if that use was residential.

Several new windows and doorways would be needed and these would then alter the external appearance of the buildings and alter the historical 'reading' of the buildings and alter their agricultural character.

Other buildings are too small or too inconvenient to convert to new uses. It is difficult, if not impossible, to find new residential uses for a Piggery for example, or for the two small buildings on the east side of the east yard – yet in all these cases some form of use would be needed to ensure their long-term futures.

9. Conclusions

The surviving redundant agricultural buildings in the grounds of Kingsbury Hall are of relatively low intrinsic architectural merit and generally in fairly poor structural condition.

Their potential conversion to new uses is problematic because the necessary changes that would be needed are of a scale and type that would severely erode any architectural and historical character that they retain.

Whilst they do represent some of the Hall's later agricultural phase they are incomplete and it can be argued that their removal will enhance the most important elements and periods of the site – the medieval curtain wall and the Hall itself.

Nevertheless, should permission be granted to remove one or more of these redundant buildings, it is recommended that a detailed photographic survey and outline plan be made to ensure a degree of 'preservation by record'.

4. Conclusion

- 4.1.1. It is through this document, and the separate Listed Building Application, that we aim to demonstrate that any harm is sufficiently outweighed by the benefits of the proposals.
- 4.1.2. The previous scheme, as approved (PAP/2008/0482 & PAP/2008/0483), was seen by all parties as a compromise of accepting far more development of the Scheduled Ancient Monument site than would normally be allowed, in exchange for restoring the Hall, which was identified as being at great risk by Historic England. Restoration works to the Hall were carried out, but increased and unexpected expense to the owner meant that only the shell of the building was restored, with no development taking place to provide the necessary return on the investment.
- 4.1.3. Since the scheme was put on hold in 2011, the owner has acquired the neighbouring field, so that a new option could be considered where the necessary capital funds for the conservation works (which were far greater than previously identified) could be raised by an appropriate development. This presented a rare opportunity to reassess the site, and develop new proposals that better address the sensitivities of development in the context of the heritage asset.
- 4.1.4. It was felt that the conversion of the Hall to residential use, as previously approved, would be too disruptive to its significance. The nature of residential conversion means that additional access stairs, services and fire and acoustic separation need to be incorporated into the Hall, where they do not currently exist, to comply with Building Regulations. The damage that this would cause could not be justified, especially now that the recent acquisition of the field meant that the owner no longer needed to rely on just the site of the Scheduled Ancient Monument to provide the necessary development to achieve the return on investment required to cover the funding deficit of the conservation work. The proposed use of the Hall as a community building means that the Hall can be conserved and restored much more faithfully. However, this function does not in isolation produce the returns required to fund the conservation work required, and therefore this demand is shifted to the new build within the field to the north.
- 4.1.5. The scale of development proposed on the field has been carefully considered so as to ensure that the amount and scale proposed is sufficient to achieve the aims of financing the restoration of the heritage asset and ensuring the site's long term viability. Financially, a certain scale of development, smaller than that proposed, could raise the return necessary for the conservation of the Hall to take place. However, given the more isolated location of Kingsbury Hall, that level of development would not be sufficient to achieve the critical mass of people required on the site for the Hall to be brought back into sustainable long term use.
- 4.1.6. The market need in the region was identified as over 55s' accommodation; particularly on a site that could cover a range of demands from fully independent living to high dependency care. The needs of the current and future over 55s population greatly differ to those of the generation before. People may wish to downsize and relocate on retirement, but do not wish to give up hobbies, sports and activities they are used to engaging in. New developments for this market cater for this with a wide range of facilities on site, such as workshops, classes, therapy rooms, spas, cafes and so on. The layout of Kingsbury Hall is well suited to providing this communal space, and is located close enough to the core of

Kingsbury so as to allow locals to also have access to this space. Assessment of a number of successful, recently completed, over 55s schemes was carried out to determine the area of communal space required by a different number of residents. Using this information, we worked backwards from the total floor area of Kingsbury Hall to determine the number of people required to achieve the necessary critical mass of use required. The proposals submitted represent this figure.

- 4.1.7. The restoration of the Hall and the retained outbuildings, as well as improvements to the setting is the mitigation for the development on the field. Without this, the only option for development that will fund the Hall's restoration, is to do so in the immediate vicinity of the Hall. This would not allow for the significant improvements to public accessibility and appreciation of the heritage assets that these proposals represent.
- 4.1.8. The careful use of the existing site topography and the self imposed protection of key views / sight lines, demonstrates how every effort has been made to minimise harm to the heritage assets, whilst still achieving the scale of development required. The proposals ensure that the Hall and walls will still be viewed as an isolated site, surrounded on the perimeter by natural landscape. There is little impact on the setting of the wider conservation area and on the principal view from the west. Whilst the Hall has long been a symbol of Kingsbury, opening it up to the public, as proposed, will ensure it becomes an even more important part of the local community.

8. SUMMARY AND CONCLUSIONS

8.1 Summary

This Landscape and Visual Appraisal (LVA) has been prepared in support of an outline planning application for a residential care village comprising 39 dwellings, 2 apartment blocks and related infrastructure on 3.08 hectares of land associated with Kingsbury Hall on the western edge of Kingsbury, North Warwickshire.

The LVA has recorded the baseline landscape and visual resources of the Application Site and surrounding area, identified landscape and visual receptors likely to be affected by the Development and determined the extent to which these will be altered.

The application includes the renovation and re-use of Kingsbury Hall and a key issue identified at the outset was the relationship of the new built form with the landscape setting of the hall and the historic core of Kingsbury which adjoins the Application Site to the south.

Mitigating measures were built into the Development at an early stage in order to reduce likely levels of adverse landscape and visual effects. Beneficial measures included confining the new built form to the arable field on the northern part of the Application Site, furthest from Kingsbury Hall; providing a sizeable area of green open space between the new built form and the hall; and retaining the vast majority of existing vegetation on the Application Site. Restoration of Kingsbury Hall grounds and other measures aimed at enhancing biodiversity across the Development were also incorporated.

The LVA concluded that whilst the new built form will give rise to varying degrees of negative landscape and visual effects on a number of receptors, the degree of effects predicted to arise once the Development is operational will be relatively low in most cases as a result of the mitigating measures proposed.

In summary, with mitigating measures in place and having become effective, residual effects on landscape character are predicted to be:

- Effects on national landscape character will be **negligible negative**;
- Effects on regional landscape character will be **negligible to minor negative**;
- Effects on local landscape character will be between **minor to moderate** and **moderate negative**;
- Effects on the landscape character of the Application Site and its immediate surrounds will be **moderate negative**.

In terms of effects on views and visual amenity, the appraisal concluded that residual effects (Year 15) would be largely unchanged from those appraised at completion (Year 0) due to the visually well contained nature of the Application Site afforded by mature vegetation to the boundaries. Residual effects on views and visual amenity are therefore predicted to be:

- Effects on people living in residential properties adjacent to the Application Site (on the western edge of Kingsbury) who are of high sensitivity will be between **minor to moderate** and **moderate negative**;
- Effects on people using the Heart of England Way long distance footpath where it passes adjacent to the Application Site who are of very high sensitivity will be **moderate to major negative**;
- Effects on people using other public footpaths and bridleways that adjoin the Application Site or pass adjacent to it who are of high sensitivity will be between **minor to moderate** and **major negative**;

- Effects on people using roads (A51) who are of a low sensitivity will be **negligible to minor negative**;
- Effects on people using Kingsbury Water Park who are of high sensitivity will be between **minor** and **moderate negative**; and
- Effects on people using other public open spaces adjacent to the Application Site (churchyard and village green) who are of medium sensitivity will be between **minor** and **minor to moderate negative**.

8.2 Heritage Assets

With regard to Kingsbury Conservation Area, likely adverse effects on its character in this location are predicted to be negligible. This is due to the discrete location of the new built form; the careful consideration given to the scale and configuration of the new built form; and the responsive green infrastructure and landscape design strategy, which includes the retention of perimeter vegetation and the creation of a sizeable area of green open space between the Conservation Area and the new built form. This is in the overall context of the restoration of Kingsbury Hall which forms an integral part of the Conservation Area.

Similarly, in terms of the setting of Kingsbury Hall and its grounds the new built form has been located at a distance from the hall and the southern part of the arable field that adjoins the hall has been kept free from development and incorporated into a new green open space that is more sympathetic to its setting. Whilst some outbuildings will be demolished, this needs to be balanced against the refurbishment of the hall and the restoration of its grounds.

8.3 Green Belt

Regarding the Green Belt where it extends to the western edge of Kingsbury, likely adverse effects on its openness are predicted to be negligible. The experience of openness here is limited by the treed and wooded nature of Kingsbury Park which extends west of the Application Site. Although elevated above the water park, the Application Site itself is small in scale and is visually well contained by mature vegetation to the boundaries, which will be retained and enhanced. The new built form is also confined to the northern part of the Application Site where it benefits most from screening vegetation to the site boundaries, in particular the western boundary.

8.4 Conclusion

The nature, scale and form of the Development will inevitably result in some adverse effects on landscape character and visual amenity as summarised above. However, the mitigation measures proposed ensure that effects are relatively small in magnitude and are largely restricted to the Application Site and its immediate setting. Furthermore, new green infrastructure and landscape proposals incorporated with the Development will deliver a number of enhancements to the immediate setting of Kingsbury Hall.

Overall, there is no reason why the likely landscape and visual effects arising from the Development should be regarded as unacceptable, particularly in terms of the setting of Kingsbury Hall and Kingsbury Conservation Area. Neither should the Development be considered unacceptable in terms of diminishing the perceived openness of the Green Belt where adjoining the western edge of Kingsbury.

PAP/2018/0686 and PAP/2019/0046

Kingsbury Hall Site Visit

November 15th at 1430

Present: Cllrs Chambers, T Clews, Dirveiks, Jarvis, Lebrun, Moss, Parsons, Phillips and Simpson together with I Fray and P Ellis (applicant) and F Wallace and J Brown.

1. Members were shown an outline of the proposals for the whole site as well as more detailed plans of the works to the Hall and to the farm outbuildings.
2. Some time was spent in looking inside the Hall at its ground and lower ground levels. The view of the northern part of the site was pointed out from the Hall's northern facing windows.
3. The elevations were also examined on the northern and eastern sides.
4. Members looked at the curtain walling as well as the gateway
5. The farm buildings that were proposed for demolition were pointed out as well as an explanation given as to what was proposed for the remaining structures.
6. Members then went to the northern edge of the current Hall curtilage so as to see the land over which the main development proposal would be constructed. The change in levels was noted as was the difference in levels to the River Tame below and the wooded river bluff. The School and the line of the public footpath running along the eastern boundary were also noted.
7. Members were asked to note the condition and nature of the access drive as they left the site.
8. The visit concluded at around 1530.



APPENDIX C

Kingsbury Hall Developments Ltd

September 2020

Kingsbury Hall - Supplementary Document in Support of Applications PAP/2018/0686 & PAP/2019/0046

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Executive Summary

This document has been produced to provide an overview of the rationale behind the proposed development of the Kingsbury Hall site as detailed in the Hybrid Planning Application PAP/2018/0686 and Listed Building Consent Application PAP/2019/0046.

Kingsbury Hall is a Listed Building and Scheduled Ancient Monument that sits in a most prominent position above the River Tame. Whilst it has always been in private ownership, it is somewhat of a local landmark and source of pride to its surrounding community; particularly those living in Kingsbury village. Therefore, its significance is not just related to its built fabric and historic associations, but is also of relevance to its importance today to the local area; something that came across incredibly strongly in the Pre-Application community consultation undertaken by the Applicant and their architects.

And yet, its ongoing survival is in the balance, as recognised by its continued inclusion in Historic England's Heritage At Risk Register. Whilst some extensive fabric restoration has taken place in the last twelve years, there remains a significant conservation deficit to bridge, whatever use it is repurposed for. In 2008-9, a combination of poor professional advice and economic recession contributed to the failure of the previously approved scheme to come anywhere near bridging that deficit. Moreover, on heritage grounds, that scheme presented much compromise to the building's significance and setting; yet compared to the threat of further deterioration and potential loss, it was reluctantly supported by English Heritage (now Historic England). The subdivision of large internal spaces, the need for insertion of a considerable amount of building services to serve 9 apartments, and the proximity of the enabling new build element of the scheme were particularly undesirable.

In recent times, the acquisition of the adjoining field, and the surge in demand for specialist residential care and over 55s housing market, present a new and exciting opportunity for Kingsbury Hall. Not only does the potential for a new residential care village scheme provide the economic enablement for restoration, but this new community of people downsizing or moving into a supported living arrangement provides the demand for the types of spaces that Kingsbury Hall already lends itself to. Furthermore, a semi-public function of the Hall can provide, for the first time in its history, community access to the Hall for activities, events and classes, in turn providing the opportunity for additional revenue for the development's operator. However, in order to justify the type and extent of provision, a critical number of new residents are needed, for activities to run and facilities to be used. This scheme proposes a development that not only economically enables the financial viability of the Hall's restoration but also enables the sustainability of the Hall as a vibrant community asset. This is why this scheme is not about Enabling Development in the pure sense of the word, but is enabling something of greater value. The size of the residential development is not, therefore, just determined by the financial deficit to be bridged, but has also been determined by calculating the number of residents housed independently and semi-independently to support the amount of activity space provided by the Hall, in order to make its usage economically viable.

At a time when community cohesion is arguably at its strongest for over half a century, and yet when community infrastructure is lacking, the proposed scheme could make an essential contribution to harnessing the positivity of people's desire to connect with and support each other, whilst securing the viable future of this landmark heritage asset.

Following a review of a range of possible enabling uses it was concluded that residential (use class C3) and care (use class C2) were the only feasible options for sensitively bringing the asset back into use and also providing a link to the necessary income streams in the future.

Sections 5 of this supplementary document sets out the heritage considerations and benefits of the scheme, setting out the rationale and approach that has been taken based on extensive pre and post application discussions with NWBC officers and Historic England.

New information and evidence prepared by Warwickshire County Council since the applications were submitted provide further very special circumstances. Section 6 of the report sets out the very special circumstances and other scheme benefits which include:

- Restoration and re-use of Kingsbury Hall with the long-term maintenance secured by condition / legal agreement by the enabling development;
- The removal of Kingsbury Hall from the Heritage at Risk Register;
- An ageing population and lack of care / extra care facilities;
- An acute need for new retirement homes and specialist care accommodation;
- A range of public benefits including to access to community events and providing specialist accommodation not currently available in Kingsbury;
- Improvements to health and wellbeing of an above average ageing population;
- Community benefits including an enhanced experience of the local environment for local residents;
- Social benefits including access to the hall and facilities not currently available in Kingsbury;
- Economic benefits including construction jobs and over 100 permanent jobs following completion; and
- Environmental considerations including landscape, ecological and biodiversity enhancements.

In conclusion, it is considered that the collection of heritage, community, economic, social, health and environmental benefits associated with the application proposals, provide a comprehensive set of very special circumstances to justify the granting of planning and Listed Building consent.

1. Introduction

- 1.1. This document has been produced to provide an overview of the rationale behind the proposed development of the Kingsbury Hall site as detailed in the Hybrid Planning Application PAP/2018/0686 and Listed Building Consent Application PAP/2019/0046. The technical documentation that accompanies these applications is extensive. Therefore the purpose of this document is not to repeat this, but instead clarify the purpose and benefits of the scheme and set out the path that has been taken towards the proposals currently before the Council. In some aspects we consider that the understanding and approach that has been considered jointly with NWBC over the past 5 years may have become lost through the course of the planning process and it is, therefore, important to reiterate the aims and objectives of the proposals, and provide further explanation or justification. New information has also become available since the applications were submitted which provides further support to the proposals.
- 1.2. In recent correspondence with the local authority much emphasis has been placed on the scheme as Enabling Development, with the associated cost breakdowns being required to prove the case for this. However, this is a deviation from the intention of the proposed scheme and is not as the approach discussed during the early pre and post-submission conversations with Jeff Brown and Nick Molyneux of Historic England. During these discussions it was agreed that the scheme should be viewed as 'enabling development with a small e'. This is critical to the assessment of the scheme as the client and design team have always approached the development as being more than just a fabric restoration project.
- 1.3. **The primary aim of this project is to restore Kingsbury Hall**, but in doing so its future sustainability must be ensured through establishing a long-term use and providing a development which will unlock the ongoing funds to maintain the asset. Repairing the Hall is not simply enough and this fact has been the driving force behind all decisions when developing the submitted proposals, as this document seeks to clarify.
- 1.4. The aims of the applicant should also be recognised and addressed. The owner, purchased the adjacent site in January 2015 and has carried out significant work to the hall at significant expense primarily due to his interest in historic buildings. This interest has seen him purchase and renovate a number of other listed buildings over the years. The project is not being approached by a developer trying to make the most out of a site, but instead as a project of personal interest. However, as is demonstrated further into this report, the owner has expended a considerable amount of money to save the building from near dereliction (as it was upon his purchase) and is yet to realise any return to cover this. The proposals need to address this conservation deficit as well as satisfying the original aims of securing the future of the building.
- 1.5. The application proposals, as submitted, seek to:
 - restore the Hall in a way that is as least detrimental to its heritage significance as possible;
 - provide a new use for the buildings that ensure that they are financially supported in perpetuity;
 - create a development that will fund the works, the expenditure thus far and be of sufficient financial viability that revenue will fund the long term maintenance; and,
 - ensure that there is a critical mass of people local to the Hall so that it can sustain its use.

2. The 2008 Scheme

- 2.1 As mentioned in the introduction, significant work has already been carried out by the applicant to restore the curtain walls of the Scheduled Ancient Monument as well as the shell of Kingsbury Hall. This was part of the proposals (PAP/2008/0482 & PAP/2008/0483) approved on 6 May 2009 to restore the heritage asset through the creation of 29 apartments on the site; 9 located within Kingsbury Hall, 7 within converted outbuildings and 13 within new build blocks close to the Hall.
- 2.2 Professional advice given in 2008 estimated the costs to restore Kingsbury Hall as being at c.£1m (2008 prices). After planning approval, work commenced on the restoration of Kingsbury Hall. During this period and after spending well in excess of the original budget (current costs to date are c.£2.85m) it was apparent that the renovation and new build costs would be significantly higher than the advised budget. It was clear the original cost estimate was incorrect and grossly underestimated. As a result, work was stopped and contracts terminated. Subsequently, legal proceedings were taken against the professional advising team.
- 2.3 The gross development value (GDV) of the 2008 scheme is estimated at £6.4m. This includes the apartments within Kingsbury Hall, 13no. New build apartments and 7 apartments within 2 of the existing outbuildings.
- 2.4 Costs to date for the restoration of Kingsbury Hall are c.£1.5m (see below) and the estimate to complete the renovation of the Hall alone, based on the assessment of specialist conservation quantity surveyors, is an additional c.£1.6m (incl. services, roads, parking and landscaping). On top of this is the cost (£3.9m) of converting the other two existing buildings and construct the 13 new build apartments approved under the 2008 scheme and the associated land design and contingency costs (£2.45m).

Predicted 2008 Scheme Costs (as advised at the time):

Purchase	£ 799,000
Restoration (work, design fees & legal costs)	£1,529,928
Total Costs	£2,328,928

2008 Scheme Restoration Costs (realistic costs – not as advised at the time)

Construction Costs:	
Kingsbury Hall Restoration (9 Apartments)	£3.1m
Outbuilding Restoration (7 Apartments)	£1.7m
New Build (13 Apartments)	£2.2m
Other Costs:	
Land	£799k
Design/Finance/Sales Costs	£939k
Contingency (20%)	£712k
Total Cost (excl. Profit)	£9.45m
GDV	£6.4m

Deficit	£3.05m
2008 Scheme - required GDV to achieve profit	£11.35m

Restoration and re-use of Kingsbury Hall with the long-term maintenance secured by condition / legal agreement by the enabling development;

- 2.5 As such, it is clear that restoration and redevelopment of the original Kingsbury Hall scheme is not, and was not, financially feasible; GDV £6.4m, total build cost of £9.45m (without profit), giving a deficit of £3.05m. When the further costs and losses incurred since the 2008 scheme was suspended are taken into account, the owner's costs to date are **£3,074,348**.
- 2.6 During the build, strong concerns were raised by the owner with regards to the market demand for the types of unit proposed, and the final sales values that had been projected. Such concerns were compounded by the financial crisis and subsequent recession. Given this wider context, even if the scheme had still been on budget, the forecasts on which the scheme's viability was based were no longer valid. As such the owner suspended works once the shell of Kingsbury Hall had been made watertight (which has subsequently been compromised by vandals). No work was commenced on the new build elements of the scheme, as planning conditions determined that the Hall had to be finished before the occupation of the rest of the site and the construction programme was progressing on this basis.
- 2.7 The 2008 scheme, in retrospect and as evidenced above, would not have delivered the returns required to cover the cost of restoring the Hall. However, with the development commenced but incomplete, the owner did not receive any return for the sums invested in the restoration of the Hall.
- 2.8 At the time of the 2008 scheme, the owner only owned the land immediately surrounding the Hall, entirely within the zone defined as the Scheduled Ancient Monument. The 2008 scheme was a significant compromise that was deemed acceptable simply due to the precarious state of the listed buildings which were on the Heritage at Risk Register (as they still are). This meant the designs included a very dense scheme in close proximity to the Hall and, due to the need to maximise returns on the Hall, it being divided up into apartments. Both of these design elements had a negative impact on the value of the heritage significance of the asset and were only deemed acceptable as there was 'no other viable way' to save the asset from loss.
- 2.9 The overspend on the scheme, the legal action and the pause following the recession gave chance to reassess possibilities for the development of the site. During a meeting on site, it was indicated that Historic England would prefer, in an ideal world, for development to take place away from the immediate context of Kingsbury Hall to give the heritage asset 'breathing space'. It was subsequent meetings and a site visit, and the potential heritage benefits of space being retained around the hall, that resulted in the owner purchasing the adjoining field.
- 2.10 This additional site area would enable a ground-up reconsideration of the development potential of the site, to enable a restoration of Kingsbury Hall to take place.

3. Scheme Priorities

- 3.1 As has been long established by Historic England, and as evidenced by the vandalism that has taken place to Kingsbury Hall since the shell was made water-tight, it is not simply enough to restore a building without considering its long term use and financial stability. This is the principle that has driven all of the decisions that led to the application submission made in November 2018.
- 3.2 The challenge was to conceive a scheme that meets a range of priorities:
- Complete the interior conservation of Kingsbury Hall and make it suitable for a new use.
 - Ensure the works are carried out to the high-quality standards required by Historic England.
 - To find a sustainable use for the building which will ensure its long-term occupation.
 - Provide a scheme that will ensure a long-term fund for the future repair and maintenance of Kingsbury Hall.
 - Make use of the increased site area to reduce the impact of the required development on the heritage value of the listed buildings.
 - Where feasible, provide public access to the heritage assets for the first time in its history.
 - To complete the Hall development without incurring financial loss.
- 3.3 To be financially achievable any development would need to overcome the conservation deficit. As demonstrated by the 2008 scheme, there are not sufficient returns from the re-use of just Kingsbury Hall to make restoration financially viable. The success of the restoration of the Hall would, therefore, be intrinsically tied to the wider development of the site. It is for this reason that Kingsbury Hall would form a key component of the proposed development, without which the wider scheme would not work. The special nature of the site demands that no element of the scheme can be considered in isolation. This is also a deliberate move made by the design team to further satisfy the local authority that not only would completion of the Hall be required through conditions but that it is necessary to make the new build element viable (and not just the other way round).
- 3.5 The owner has always seen his role as a custodian of the building and did not wish to pursue a scheme which did not secure the future for Kingsbury Hall and was not tied to the commercial operation of a viable development.

4. The 2018 Care Village Scheme

- 4.1 Given one of the reasons for the suspension of the 2008 scheme was the lack of a viable market for the apartments proposed, great care has been taken to assess the viability of alternative development types within the local area before design work commenced. The increased site area allowed for the consideration of development types that were not possible previously and would also create the opportunity for the Hall to be converted in a manner that would not be as detrimental to its significance as the previously approved scheme.
- 4.2 Following a review of the 2008 scheme, a broad range of options were considered including residential, care, industrial, hotel & leisure. Industrial was quickly discounted as it is not appropriate for the location, was not complementary to the Hall and would not provide a maintenance fund for the Hall. Hotel and leisure uses were also discounted due to the speculative risk of such a development, the locale of the site and being financially insufficient to address the large conservation deficit. As such, residential and care uses were considered the only true feasible options.
- 4.3 Early discussions with the County Council's highways department, which took place prior to any designs being progressed, identified that the restricted vehicular access to the site would limit the number of units on the site to the equivalent of 150 no. 2-3 bed residential (Use Class C3) units. Any increase over this amount would require a secondary access road for emergency and refuse access. Based on this limitation, different sizes, layouts and types of development were appraised to identify which would make the necessary returns required to offset the conservation deficit in the smallest but also most appropriate development.
- 4.4 It was concluded that residential (use class C3) and care (use class C2) were the only feasible options for sensitively bringing the asset back into use and also providing a link to the necessary income streams in the future. The following five options were considered:
- Option 1: Restoration of Kingsbury Hall & 90 bed HDU;
 - Option 2: Restoration of Kingsbury Hall & 120 bed HDU;
 - Option 3: Restoration of Kingsbury Hall & 220 Residential Houses;
 - Option 4: Restoration of Kingsbury Hall & 400 Residential Apartments; and
 - Option 5: Restoration of Kingsbury Hall & 120 bed HDU & 30 Independent Living Houses & 60 Supported Living Apartments.
- 4.5 A breakdown of the conservation deficit and associated pros and cons of these options is provided in **Appendix A**. Below, a summary is provided of observations on the economically viable options considered:

Residential Development

- 4.6 Market housing (Use Class C3) was considered as one option for providing the funding necessary to restore the hall. However, one of the key constraints identified is the sales values that can be achieved in the local area of Kingsbury. For the appraisal, an expected sales price for two-bed houses of £255k was used. For two-bed apartments, a figure of £225k was used. Average house prices in Kingsbury (B78) are £224,405 which is significantly (10%) below the average prices found in the rest of Warwickshire £253,177).

- 4.7. Residential apartments on this particular site have the added cost burden of the extensive infrastructure/roadways, services, drainage/attenuation, as well as slope stability and more costly foundations to absorb. This is in addition to the restoration costs of Kingsbury Hall. All of these additional costs have to be added to the sales price of the apartments. With the constraint of the sales price within the area for 2 bedroom apartments, any apartments on this site produce only a small profit. As such, a large number need to be built to absorb the additional costs and conservation deficit. This approach would also fail to secure the long-term security and use of Kingsbury Hall.
- 4.8. Residential houses, are more cost effective, particularly as they attract a higher sales price. This is largely due to having a garden. In terms of costs, the additional sales value of a house absorbs the slight additional cost of providing a garden. The issue of providing houses over apartments is that the land take is significantly greater. The overall issue with residential houses on this site, is the same as for residential apartments (but less severe), is that too many are required for a site with the current access arrangements (i.e. at least 220 houses would be required to address the conservation deficit).

Care Development

- 4.9. Sales prices for care environments (independent and supported living) will be in excess of general residential and thus will allow the conservation deficit to be recovered on fewer properties. As such, sales values of £250k for the Supported Living Apartments and £275k for the Independent Living Houses have been used for the appraisal.
- 4.10. Beyond the financial appraisal was a consideration of the potential benefits that the chosen development type could bring to the surrounding area and the long-term use and financial support for the Hall. Given the sensitivity of both the Scheduled Ancient Monument site, and the field being within the Green Belt, it was felt by the client and the professional team that the scheme could provide more benefit than just the financial offset of the cost of conservation works. This is where the idea of the scheme being 'enabling development with a small e' originated and was referenced throughout all the pre-application planning discussions. The scheme as shown in the application was designed in this way because it offers greater social, historical and local benefits than could ever be achieved by Enabling Development in its true sense.
- 4.11. Whilst individual residential properties would achieve the necessary financial returns, if large enough numbers could be built on the site (i.e. 400+ apartments or 220 houses) it was considered that the care market could bring greater benefit directly to Kingsbury Hall and the local area, whilst also reducing the amount of built development required. This explains why the care village proposal was selected as the preferred development option to take forward. Market research involving discussions with professionals and care village operators highlighted that modern care villages require high-quality community facilities to provide areas for social gathering, dining, pastimes, clubs, events.

Breathing New Life Into Kingsbury Hall

- 4.12. Kingsbury Hall is to be the central focus and hub of this Retirement & Care Village. All modern retirement villages have a high quality central hub to facilitate social gatherings between residents, visiting family and friends, as well as space for formal social gatherings, events, hobbies and a central location for information and staff support. In addition, some forward thinking modern retirement villages allow the local community to use these facilities.
- 4.14. Within this scheme, Kingsbury Hall will provide;
- A high quality central hub;
 - High quality communal facilities and social spaces;

- Access to local residents to use Kingsbury Hall and the outside patio areas; and
 - Central support & information.
- 4.15. An example of such communal facilities, is Wixham's Retirement Village (Bedford) – one of the UK's newest retirement villages. Further details can be obtained from: <https://www.extracare.org.uk/wixams-village-hub/>. At **Appendix B**, we have provided some photograph plates to demonstrate the type of facilities that Kingsbury Hall Care Village is intending to provide.
- 4.17. The 2008 scheme demonstrated the negative impact of trying to insert residential properties within Kingsbury Hall. The large rooms and grand spaces are not well suited to sub-division and the installation of fire corridors, service risers and multiple stair cores is particularly disruptive. The communal space required by a care village presents a fantastic opportunity to convert the Hall for such use. Far less alteration to the building would be required, allowing the heritage asset to retain much of its original layout. It would also provide a big draw to those looking to locate to the village, with it being a unique and attractive historical building, set within a highly attractive environment.
- 4.18. Furthermore, using the Hall are part of the facilities and administration hub, will allow for the general public to access the hall for the first time in its history; a key factor promoted by Historic England in heritage development. Tied into the village operator's requirements, and common with many modern care villages, locals will be allowed to hire rooms or access activities and spaces within the building, giving access to community facilities not currently available in Kingsbury village. This is not just an enforced requirement but a benefit to the care village operator; its location close to the village centre and on a key walking route through to Kingsbury Water Park means that there is great financial and operational benefit in allowing local residents access.
- 4.19. The 2018 scheme, as per the planning application, shows that all communal spaces are located within Kingsbury Hall and the retained outbuildings. This permanently ties the building to the operation of the care village and is essential to provide the services that a care village operator needs to attract buyers and occupants. There is no other building in the proposals that could house such spaces, and therefore the hall cannot be separated off at some point in the future – **it is intrinsic to the site's operation.**
- 4.20. The other benefit of a care facility over and above private residential is the presence of an operator who has an obligation to run and maintain the site. To further the link with the Hall, it is proposed that agreements with the operator over possession of the site will include the Hall building, walls, outbuildings and surrounding context. Being part of a care village will ensure that a service charge can be applied and ring-fenced to ensure the long-term maintenance and survival of the Hall and other heritage assets. This is again where Enabling Development in its strictest sense would fall short of what is needed on this site. It is not just the costs required for the restoration, but to ensure that new development provides sufficient viability that the Hall's ongoing maintenance can be covered by the operator. Without this, it is unlikely that an operator would accept taking on the risk associated with the upkeep of the listed buildings in perpetuity.

High Dependency Unit

- 4.21. A High Dependency Unit (HDU) will achieve a higher sales price per square foot – but is constrained by the market demand and the optimum size for such a facility. As a standalone facility (i.e. without any other care provision on site to feed demand) the optimum size is considered a 80-90 bed unit.

- 4.22. With assisted living and independent housing to feed demand and raise awareness of the HDU, the maximum size of HDU is considered to be 100-120 beds. The scheme also provides an opportunity to develop the HDU as a teaching centre and 'best practice' environment. The initial concept is to develop a specialist centre for stroke rehabilitation and dementia care. The size of the unit will also give opportunities to branch out into other elderly specialist care disciplines.
- 4.24. As can be seen from the schedule at **Appendix C**, the application proposals will provide a scale of facility not currently found in the Borough, with the nearest comparable schemes found at Oldbury Grange in Nuneaton (89 beds) and Lanesborough House in Coleshill (90 beds).
- 4.25. The proposed application scheme will provide a comprehensive range of accommodation types including:
- 30 new independent living retirement houses;
 - 60 new assisted living apartments; and
 - A new 120-bed high dependency unit for dementia care and stroke rehabilitation.
- 4.26. The initial limit of 150 no. 2-3 bed residential properties has been used as the basis for the proposed number of units on site. As the property type is different, this has been calculated based on the number of beds. The high dependency unit, though containing a high number of beds, does not place the same demand on the highways infrastructure as private market housing, due to the residents mostly not having private vehicles.
- 4.27. This is also important in ensuring that there is a critical mass of people on-site to create the community needed to ensure the facilities within Kingsbury Hall are regularly used and are sustainable. An assessment of the size of community and activity spaces in existing modern care village development, and the number of people they serve, has been undertaken to identify the size of development for which Kingsbury Hall provides the required community space.
- 4.28. We consider that it is important for the care village element of the proposals to be in outline, because the precise layout, design and form of the proposals will change subject to the operator. The outline proposals provide flexibility for future.
- 4.29. The number of units proposed on-site will meet the demand required to ensure the critical mass necessary to sustain the use of Kingsbury Hall. The application proposals provide the floorspace necessary to support a care facility. A smaller facility would not provide the critical mass needed to make the scheme operationally viable. This has previously been explained during meetings between the applicant and NWBC at which Tim Willis of Warwickshire County Council's Extra Care Housing Lead attended. Once an operator is identified and appointed it may be necessary for the scheme layout to be amended to meet their specific operational requirements.
- 4.30. The number of properties required to achieve the size of scheme necessary could be arranged within a denser layout to reduce the area of field utilised. During early pre-application discussions, this was highlighted to the local authority as a way to retain some of the area identified as Green Belt. However, it was agreed that to do so would leave an area of land that was relatively meaningless as 'leftover green space'.
- 4.31. It was suggested by the Council to reduce the density of the development to minimise the 'urban' feel of the development, allowing for sufficient green space between properties. This additional green space is a benefit to the heritage assets, allowing a 'buffer zone' to be created between the listed buildings and the new development to minimise the impact on the setting. Discussions with Historic England confirmed a preference for the new development to be pushed as far back from the Scheduled Ancient Monument and the bluff along the bank of the river as a way of reducing impact.

Visual Impact of the Care Village

- 4.32. Revised visualisations of views towards the proposed development from Kingsbury Water Park have been provided (**Appendices D&E**). This shows a higher level of tree cover than was originally proposed to address concerns raised regarding the potential visual impact arising from the new development. It is considered that the details pertaining to the screening and softening of the development proposals can be considered further at the reserved matters stage. This will include a review of the type and range of tree species and low level plantation that will best serve the landscaping mitigation for this site.

Community Use of the Hall

- 4.33. In response to questions raised regarding the "desirable" nature of a community use of Kingsbury Hall, we reaffirm that the reuse of Kingsbury Hall is integral to the proposed development. It is not practical for the hall to be used for extra care provision, but it will be the administrative centre, arrival point and where the live-in community congregate and socialise. Kingsbury Hall will perform a central role in the operational and community activities on site.

Link between The Care Operator and Kingsbury Hall

- 4.34. In terms of comments raised regarding a potential scenario in which the operator of the care village fails and what would happen during or post construction to the renovation and maintenance of Kingsbury Hall, we consider that this can be addressed through a legal agreement.
- 4.35. Savills' experience on a range of similar projects has been that the enabling development (restoration/ongoing maintenance) is normally secured via a section 106 agreement. The section 106 agreement requires the undertaking of necessary repairs and the implementation of a management plan, to ensure the condition of the repaired asset is secured for the future. This agreement would bind the land to which the planning permission relates which means that anyone who owns the site will be bound by the obligations. Our client is happy to discuss the legal mechanism further with the Council if required.

Consultation Event Summary

- 4.36. A summary of the consultation responses received at the public consultation event in October 2018 has been appended at **Appendix F**. This provides an overview of comments shared by the public which were mainly supportive of the scheme.

5. Heritage Considerations & Benefits

Restoration of Kingsbury Hall

- 5.1 The successful conservation of Kingsbury Hall had been the central focus of both the 2008 approved scheme and the scheme submitted in 2018. The detailed assessment of the history and significance of the buildings, as well as the impact of the scheme on the asset, are covered in great detail in the supporting statements¹ submitted with the applications. However, the overriding principles, benefits and key design decisions are worth reiterating.
- 5.2 The need for conservation work on this site is irrefutable; a Scheduled Ancient Monument and listed buildings which have been on Historic England's Heritage at Risk Register (HAR) for a considerable amount of time. Even with the shell works completed as part of the 2008 scheme, the Hall remains on the HAR register due to the interior works being unfinished and there being no established sustainable use for the building.
- 5.3 The special status of this building and its identified risk has meant that the design team has liaised with Historic England's Principal Inspector of Historic Buildings & Areas, Nick Molyneux, both before and during the development of designs. Through this engagement, we have established principles and designs that produce the best outcome for the heritage asset with the least impact. The submitted scheme achieves this and is broadly supported by Historic England.
- 5.4 The approved 2008 scheme was a significant compromise from a heritage viewpoint to secure the future of Kingsbury Hall which was, at that point, at great risk of being lost completely. In exchange for restoring the building, the Hall would be converted into 9 apartments and new residential properties would be built close to the Hall, within the footprint of the Scheduled Ancient Monument. Whilst a domestic use for the Hall may seem preferable, as this was the Hall's original function, the Hall is far too large to be brought back into use as a single home. The conversion into 9 apartments, however carefully designed, would have a significant negative impact on the appreciation of the Hall's original interior spaces. To achieve the apartment layout major interventions would be required, such as the installation of walls, stair cores, fire separation, services and drainage stacks. This necessary work would have resulted in the permanent loss of the Hall's interior layout. Furthermore, the new buildings located within the footprint of the Scheduled Ancient Monument were situated directly alongside the Hall, changing its context and impacting on views of the Hall. With the 2008 scheme no longer viable, and the client having purchased the adjacent field, the starting point for the new Conservation Architect led design team was to greatly improve on the heritage outcomes and future sustainability for Kingsbury Hall in the development of a new proposal.
- 5.5 Very early in the design process, a meeting was held with Nick Molyneux to agree to the principles of the development:
- A use should be identified for the Hall that has as little impact as possible on its current, unusual, layout;
 - There should be no building of new structures within the Scheduled Ancient Monument zone where possible;
 - The key views of the Hall in its defensive position on the bluff over the River Tame, particularly from Kingsbury Water Park, Red Lane and St Peter and St Paul church must be maintained;
 - New development should be set back from the edge of the bank and not diminish the prominence of the Hall; and

¹ Archaeological & Architecture Assessment – Richard Morriss & Associates (2005)
Heritage Assessment – Kingsbury Hall - Richard Morriss & Associates (2014)
Heritage Impact Assessments for Outline and LBC Applications – APEC (2018)

- The low-quality 1970s bungalow should be removed. Some outbuildings could be removed if justifiable to enhance the setting of the Hall, but some record of them should be kept.
- 5.6. It is with these established principles that the proposals included within the current submission have been developed.
- 5.7. As covered elsewhere in this document, the suitable development type for the site had been identified as care provision. The need for large communal space within this development type was quickly identified as a compatible use for the Hall. The large spaces within the building were well suited to the type of large activity and group spaces required, meaning that the original layout of the Hall could be utilised with very little intervention. This is a significant improvement over the 2008 proposals and allows the asset to be restored in a way that will have far less impact on its heritage value. This communal use of the hall will also allow the public to visit the building for the first time in its history, with interpretation seen as being a key aim of this scheme. This approach is supported by Historic England who deemed such a use to be suitable and appropriate for the Hall. It is important to note that the supporting communal uses do not, however, work in isolation and rely on the presence of the care development, and the long-term management and maintenance these uses will bring, to be sustainable. This scheme is a rare opportunity to restore the Hall with a function that is well suited to its existing layout and form, due to the adjacent development that supports it. Without this, and if the Hall were to be treated in isolation, a far more disruptive intervention would be required, resulting in the loss of heritage value.
- 5.8. The use of the adjacent field for development will bring major benefits, including the ability to achieve all of the principles identified with Nick Molyneux. Construction can be avoided within the Scheduled Ancient Monument area. Unlike the 2008 scheme, the proposals seek to keep well outside of this area to ensure that there is no archaeological loss or negative impact on context and views. By locating enabling development in the adjacent field it means that there would not be a reliance on developing the unsuitable former farm building as residential properties. Where the outbuildings are in reasonable condition and have a clear purpose as part of the community use of the Hall, they have been retained. However, a few of the outbuildings are in poor condition and obscure the key views of the Hall, particularly from the direction of Kingsbury Village. They were constructed in an ad-hoc way, without consideration of the Hall. The proposals seek to remove these buildings, greatly enhancing views and the context of both the Hall and the remaining sections of curtain walling. The benefit of removing these buildings far outweighs their loss, given the farm buildings limited significance. The footprint of these buildings will be retained to enable interpretation of the site's development to continue.
- 5.9. Nick Molyneux confirmed in meetings as far back as 2015 that the preference of Historic England would be for any new buildings to be pushed back as far from the heritage assets as possible. Accordingly, the proposed scheme is located far away from the Hall and the top of the riverbank. This ensures that the Hall can still be appreciated in isolation and principal views are retained with any impact kept to a minimum. This approach has also determined the layout of the development site. The natural contours of the site have been used to further minimise the impact of the proposals on the asset, with the higher ground nearer the Hall being occupied by small residential properties and the lower ground further from the Hall being used for the larger apartment and HDU buildings. This layout has been set out with the principal aim of complying with guidance from Historic England.
- 5.10. Correspondence² from Historic England states that they welcome the benefits that the scheme could bring to the heritage assets and support the proposals on heritage grounds. They state that there are clear benefits to be had in comparison to the small degree of harm the proposals will have on the designated heritage assets. When considering the impact on the heritage assets, it is clear that the latest scheme is vastly superior to the approved 2008 scheme. The proposals are a rare opportunity to secure the future of Kingsbury Hall and ensure it can be restored in an appropriate manner.

² Letter dated 17th December 2018

6. Very Special Circumstances and Other Scheme Benefits

Overview

- 6.1. The proposed new development to enable the funding of restoration for Kingsbury Hall is located within the Green Belt to the west of the Hall. As such, it is automatically regarded as inappropriate development in planning policy terms and it is therefore necessary to demonstrate 'very special circumstances' exist to justify the proposed development in the Green Belt.
- 6.2. The application site performs poorly against the five purposes of the Green Belt as set out in paragraph 134 of the NPPF. Detailed analysis is provided in paragraph 4.3.2 and table 4 of the planning statement.

Very Special Circumstances

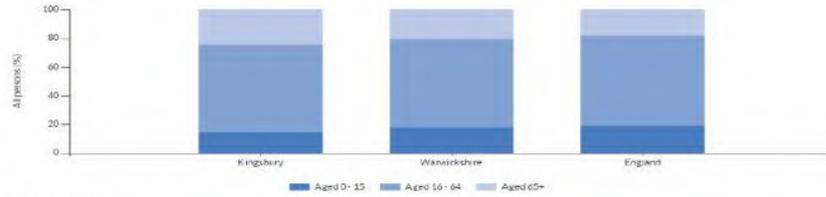
- 6.3. Although the site performs poorly against the five purposes of Green Belt, it is not proposed to be removed from the Green Belt by the emerging Local Plan. Therefore development of the site requires "very special circumstances" to be demonstrated.
- 6.4. Very special circumstances for the development initially considered within the planning statement were as follows:
 - Its function as "enabling development" to the restoration of Kingsbury Hall ; and
 - The exceptional need for elderly housing in the Borough.
- 6.5. We consider that there are other very special circumstances that should be taken into account which are set out below:

Ageing Population and Lack of Care Facilities

- 6.6. The issues associated with an ageing population in Warwickshire have been recognised for some time. In 2015 Warwickshire County Council published the "Best Health for Older People in Warwickshire" report, produced jointly with Age UK Warwickshire. The report (pg3) identified the following issues:
 - Warwickshire has an above average proportion of older people, with over 20% of the total population aged 65+;
 - With an ageing population, the issue of loneliness and social isolation is a major public health challenge;
 - Long-term conditions are the 'invisible epidemic' for the older population;
 - Warwickshire has a greater dementia prevalence projection than England; there will be an estimated 18.2% increase in cases by 2020 (3,200 new cases); and
 - The number of carers has remained relatively stable, but the hours of care provided has increased.
- 6.7. Whilst this report identifies a worsening problem for the County, we consider that the ageing population will be even more acutely felt in Kingsbury. The 2018 ONS population data set out overleaf shows that Kingsbury has a higher than national and county elderly population with 24.3% of the population over 65 compared to 20.7% in Warwickshire and 18.2% in England. It also shows higher than average population in the 50-54 and 55-59 age brackets, meaning that this trend will continue for a further 10 years. This bulge in North Warwickshire's ageing population will lead to increased requirements in the care facilities and specialist accommodation required to support the needs of the population.



Population estimates for all persons by broad age group for 2018



Date: 2018 Source: ONS

	Kingsbury		Warwickshire		England	
	Count	%	Count	%	Count	%
Persons aged 0-15	521	14.4	103,709	18.2	10,748,458	19.2
Persons aged 16-64	2,214	61.3	349,057	61.1	35,049,467	62.6
Persons aged 65+	879	24.3	118,244	20.7	10,179,253	18.2

Population estimates for all persons by 5-year age group for 2018



Date: 2018 Source: ONS

	Kingsbury		Warwickshire		England	
	Count	%	Count	%	Count	%
0-4	134	3.7	31,584	5.5	3,346,727	6
5-9	176	4.9	33,742	5.9	3,523,866	6.3
10-14	175	4.8	32,335	5.7	3,274,119	5.9
15-19	183	5.1	30,358	5.3	3,096,575	5.5
20-24	172	4.8	33,010	5.8	3,512,654	6.3
25-29	194	5.4	36,024	6.3	3,815,924	6.8
30-34	215	6	33,303	5.8	3,787,597	6.8
35-39	176	4.9	34,726	6.1	3,717,483	6.6
40-44	193	5.3	33,804	5.9	3,390,584	6.1
45-49	252	7	40,334	7.1	3,799,242	6.8
50-54	293	8.1	42,186	7.4	3,915,451	7
55-59	304	8.4	38,597	6.8	3,573,329	6.4
60-64	268	7.4	32,763	5.7	3,044,374	5.4
65-69	271	7.5	31,715	5.6	2,822,593	5
70-74	264	7.3	32,468	5.7	2,724,800	4.9
75-79	177	4.9	21,973	3.9	1,863,126	3.3
80-84	82	2.3	16,284	2.9	1,403,756	2.5
85+	85	2.4	15,804	2.8	1,364,978	2.4

- 6.8. The Place Based Needs Assessment for Kingsbury, Coleshill & Arley was prepared in 2019 (part of the Warwickshire Joint Strategic Needs Assessment) and provides (pg.38) clear advice on the issues associated with an ageing population:
- Loneliness and isolation is seen as a major social issue, which is difficult to address when people are not accessing or not able to access services.
 - There has been a reduction in services for elderly people and with a lack of transport options they cannot get to the next nearest location. However there are still popular events such as luncheon clubs in Kingsbury.
 - Dementia cafes are still running in four locations across North Warwickshire Borough (one in the Kingsbury JSNA area and one in the Coleshill and Arley area), although there is a concern for those with undiagnosed dementia.
- 6.9. The report (p9) went on to make a number of key recommendations, including:
1. Undertake mapping of housing accommodation for the elderly population and identify any gaps in provision.
 2. Engage with North Warwickshire Borough Council planning department to understand what is within their local plan to accommodate the elderly population and how we can work with developers to incentivise the building of accommodation which suits the needs of the elderly.
 3. Assess borough and county land for suitability for extra care housing - linking to the One Public Estates Plan and WCC Extra Care Strategy.
- 6.10. As this report was prepared after the current local plan review was undertaken it is to be expected that the emerging plan does not take account of these findings and may explain why no sites have been allocated in the plan. However, we consider that these findings provide another set of very special circumstances that support the need for a new care village at Kingsbury. As far back as 2011 the Warwickshire Local Investment Plan provided evidence (Appendix 5 of the LIP) of the lack of extra care scheme in the pipeline in North Warwickshire and the lack of available public land sites (Appendix 7 LIP) available in North Warwickshire to provide new extra care opportunities. Whilst it may be difficult to accurately predict future demands for health care bed spaces, what is apparent is that North Warwickshire has a growing elderly population which is above average for both Warwickshire and England. Furthermore, it is also clear that there are no new extra care facilities in the pipeline to meet the current or future demand.
- 6.11. In August 2019, Warwickshire County Council prepared "The Warwickshire in 2025" report, which was produced to inform the County Council's Plan. It notes (pg.2) the following pressures from the ageing population:
- Impact on health and social care services
 - Increased prevalence of disability, dementia, musculoskeletal diseases, mental ill health.
- 6.12. In terms of the ONS projections for 2025 the report (pg.8) identifies the following notable future trends:
- 17.1% of the population in Warwickshire (98,964 people) will be 70 years or older and 3.3% will be 85 years or older (19,332 people). This is an increase of 12,435 (14.4%) 70+ year olds and 3,528(22.3%) 85+ year olds in the county compared to the estimated numbers in 2018.
 - In 2025, there will be an estimated 72 dependents (those aged 0-16 and 65+) to every 100 adults of working age. In 2017, there were 66 dependents for every 100 adults. A higher ratio of dependents indicates more financial stress on working people, increased caring responsibilities and increased demand on health and social care services.

- 6.13. The 'Warwickshire in 2025' report was prepared after the local plan review had commenced and therefore could not have been taken into account at the plan making stage. However, we consider that this report is a material consideration in the determination of the application for the new extra care village at Kingsbury and also provides another component of the Very Special Circumstances we have identified to support the application proposals..

Acute Need for New Retirement Homes / Specialist Care Accommodation

- 6.14. It should be noted that the emerging Local Plan does not allocate any sites solely to deliver housing for care or extra care. We are not aware of any outstanding planning permissions or live applications for new care facilities in North Warwickshire. Secondly, we consider that there is a need to recognise the difference between development that provide retirement living and those that provide extra care like the application proposals.
- 6.15. Five strategic allocations are proposed by draft policy to provide a mix of housing types, including elderly accommodation. It is not clear how the precise proportion of housing that will be delivered as elderly accommodation. Therefore the emerging Local Plan is unlikely to meet the needs of an ageing population over the plan period, in particular meeting the ever growing specialist health and care needs of an ageing population.
- 6.16. We have reviewed the range and type of care facilities available in North Warwickshire (see Appendix C). There is a notable absence of existing care home provision in Kingsbury, with the nearest care facilities understood to be located in Dordon, Wilnecote, Shustoke and Atherstone (over 4km from the village). Furthermore, the application proposals seek to provide a facility which is bigger than all of the existing facilities found in North Warwickshire which will provide the necessary care facilities required to support the identified and ageing population which is growing.
- 6.17. We understood from meeting with members in November 2019 that they considered facilities for over 55's living granted planning permission elsewhere in the district would meet the needs of the elderly population. The two schemes referred to by the planning committee were McCarthy & Stone developments in Atherstone (46 units) and Coleshill (38 units). Whilst these developments provide high quality retirement accommodation for residents of the Borough, they do not provide specialist care for those with greater health needs contained within the application proposals.

Site Location	Description of Development	Number of Apartments	Date of Planning Permission	Planning Application Number
St Clements Court, South Street, Atherstone, Warwickshire, CV9 1GD	Demolition of existing buildings and erection of retirement living housing for the elderly, 46 flats, (1 & 2 bed Cat II type accommodation), communal facilities, landscaping and 22 car parking spaces with vehicle access from South St. (Use Class C3)	46 flats 30no. 1bed 16no. 2bed	21/11/2012	PAP/2012/0078
Dugdale Court, Coventry Road, Coleshill, Birmingham, B46 3AT	Demolition of existing buildings and proposed mixed residential and commercial development comprising 74 new dwellings; a retirement complex of 39 flats, a new office building, landscaping and ancillary structures (including a pumping station and an electrical substation). (Use Class C3)	39 flats 21no. 1bed 18no. 2bed	23/08/2013	PAP/2013/0168

Removal of Kingsbury Hall from the Heritage at Risk Register

- 6.18. Kingsbury Hall is listed on the Heritage at Risk Register, with the hall's condition listed as poor. It is noted on the register that the scheme proposed has been applied for which will see the building repaired and in use. It is for this reasons, that very special circumstances can be demonstrated for development to take place in order to achieve optimum viable use and overcome the conservation deficit and secure the removal of the Hall from the register.

Restoration and Reuse of Kingsbury Hall

- 6.19. The proposed scheme allows for the sympathetic restoration of Kingsbury Hall, as well as securing long-term maintenance funding for its upkeep through the development of over 55's housing and a high dependency care centre. Development on the adjacent field will allow for the restoration of the Hall without relying on construction within its immediate vicinity as has only been possible in the past. Great care has been taken in the proposed layouts and designs³ to ensure that any perceived harm to the heritage asset is kept to an absolute minimum ensuring that harm can be clearly outweighed by the public benefits associated with the hall's restoration.

Public Benefits

- 6.20. NPPF paragraph 196 requires that harm should be weighed against the public benefits of the proposal, including where appropriate, securing the optimum viable use of that asset. There are clear benefits to bringing the Hall back into viable use and securing it into the future. It is considered that the development proposals for the care village and restoration of Kingsbury Hall are the optimum viable use, providing community, health and social, economic and environmental benefits as outlined below:

Community Benefits

- 6.21. The scheme has been designed to bring benefits to the local residents of Kingsbury and in the wider North Warwickshire area, as follows:
- Access to the hall and wider site to the community via use of facilities and community events;
 - Securing the long term use of the Hall and removing risk of its dilapidation;
 - Restoration of a heritage asset for the enjoyment of local people; The application proposals will be intrinsically connected, bringing Kingsbury Hall back into beneficial use for the first time since the 1970's and providing a linked funding stream to support its maintenance in perpetuity (the village development will be linked in a s106 agreement to the Hall and outbuildings);
 - Restoration of a building on Historic England's at risk register; and
 - Securing a local landmark.

³ APEC - Heritage Impact Assessment – October 2018 - Chapter 2: Impact of the Proposals on Significance and Chapter 3: Analysis
Savills – Planning Statement – November 2018 – Section 4.5: Heritage



Health and Social Benefits

- 6.22. The current global pandemic has highlighted the importance of ensuring people have access personal recreation space. Furthermore, it is anticipated a review of care home provision will be required and further place further pressure on the delivery of more modern and appropriate care facilities. In line with the NPPF (section 8) requirements to promote healthy and safe communities, the application proposals will deliver the following health and social benefits:
- Provision of purpose built accommodation suitable for the elderly;
 - Development will be accessible services and open spaces that reflect current and future uses;
 - Providing suitable accommodation for an ageing population with worsening health;
 - The application proposals will meet an identified and unmet specialist health care need;
 - Healthy living opportunity – there is legal duty for LPAs to secure improvements to health and wellbeing and ensure appropriate accommodation to meet the needs of an ageing population;
 - It will promote the health and wellbeing of the local ageing population;
 - It will provide a variety of accommodation, in accordance with best practice, allowing those with worsening health conditions to remain on the same site, but have the required care for their needs. It also allows those with family members with additional needs to live within the same development, where this would not otherwise be possible.
 - Inclusion of exercise facilities within the landscaping to promote healthy lifestyles;
 - Landscaped with a mix of external activities around the HDU facility, as seeing activity is of benefit to those with dementia and suffering from isolation,
 - Provide services and facilities not currently available in Kingsbury Village; and
 - Improve retirement and care facilities will provide better facilities to support the ageing population in their later years boosting a healthier lifestyle for many, potentially increasing life expectancy

Economic Benefits

- 6.23. As well as the capital investment in the restoration of the hall and the specialist restoration jobs this will generate, the application proposals will deliver a range of other economic benefits. These include:
- Significant investment in local heritage asset on the at risk register
 - Construction jobs, including specialist restoration – 150 jobs over 2 years. Construction phasing will prioritise restoration of Kingsbury Hall and complete the restoration in parallel with the overall development.
 - Job creation — Based on experience of other care village projects, Savills estimate that around 130 permanent jobs could be created from the development as set out in the table below:

Accommodation Provision	Estimated Job Creation
High Dependency Unit <ul style="list-style-type: none"> • 40 Dementia care beds • 40 Stroke Rehab Beds • 40 Elderly Specialist Care (hearing/sight etc.) 	60 care staff 30 non-care staff
Over 55s living – 30 Independent Living Houses	4 non-care staff
Assisted Living – 60 Assisted Living Apartments (based on eligibility etc.)	30 care staff 8 non-care staff
Total Number of Care Related Jobs	132

Environmental Considerations

- 6.24. As well as responding to the heritage value of Kingsbury Hall, the designs have been developed with consideration of the environmental value of the site. Expert assessment and input has been obtained which endorses the layout of the development and the landscape treatment proposed. These include:
- The mature trees and dense scrub vegetation on the sloped bank of the River Tame will be retained;
 - The grounds of the Hall will largely be restored to traditional grassland;
 - A significant amount of new tree and shrub planting is proposed within the scheme, enhancing habitats on what is currently an open ploughed field;
 - New ecological features and habitats will be incorporated within the development including bird and bat boxes and marginal wetland habitats where existing grounds are subject to flooding;
 - Significant areas of green space will be retained;
 - A controlled site operation allows for long-term management of key landscaped elements;
 - Lighting will be kept to a minimum along the area of site nearest to the River Tame;
 - An enhanced setting to the adjacent church and other heritage assets will be achieved; and
 - Footpath improvements to provide an enhanced walking experience to / from Kingsbury Water Park.
- 6.25. In conclusion, it is considered that the collection of heritage, community, economic, social, health and environmental benefits associated with the application proposals, provide a comprehensive set of very special circumstances to justify the granting of planning and Listed Building consent.



Appendix A – Summary of Scheme Options Considered

The table below sets out a summary of residential and care scheme options considered:

Option	Description	Conservation Deficit	Pros	Cons
1	Restore Kingsbury Hall & 90 bed HDU	-£3.2m	<ul style="list-style-type: none"> • Low traffic flow • Set back from Hall • Appropriate for Village location 	<ul style="list-style-type: none"> • Financially insufficient to clear conservation deficit • Does not provide a community to use Hall • Financially insufficient to provide repair fund for Hall
2	Restore Kingsbury Hall & 120 bed HDU	-£1.7m	<ul style="list-style-type: none"> • Low traffic flow • Set back from Hall • Appropriate for Village location 	<ul style="list-style-type: none"> • Financially insufficient to clear conservation deficit • Does not provide a community to use Hall • Financially insufficient to provide repair fund for Hall • Possibly too large without a supporting community
3	Restore Kingsbury Hall & 220 Residential Houses	+£280k	<ul style="list-style-type: none"> • Financially sufficient to clear conservation deficit • Set back from Hall • Appropriate for Village location 	<ul style="list-style-type: none"> • High traffic flow • Does not provide a community to use Hall • Financially insufficient to provide repair fund for Hall • Does not provide a community to use Hall
4	Restore Kingsbury Hall & 400 Residential Apartments	-£1.8m	<ul style="list-style-type: none"> • Set back from Hall • Appropriate for Village location 	<ul style="list-style-type: none"> • High traffic flow • Financially insufficient to clear conservation deficit • Does not provide a community to use Hall • Financially insufficient to provide repair fund for Hall
5	Restore Kingsbury Hall & 120 bed HDU & 30 ILH & 60 SLA	+£16k	<ul style="list-style-type: none"> • Financially sufficient to clear conservation deficit • Set back from Hall • Appropriate for Village location • Low Traffic Flow • Provides a care community to use Hall • Financially sufficient to provide repair fund for Hall 	<ul style="list-style-type: none"> • No obvious issues



Appendix B - Photographs of Care Village Facilities









Appendix C – Schedule of Existing Care Facilities in North
Warwickshire



Appendix D – Visualisation of View From Kingsbury Water
Park (1)





Appendix E – Visualisation of View From Kingsbury Water
Park (2)





Appendix F – Summary of Public Consultation Responses



Summary of Public Consultation

Kingsbury Hall Retirement Village

16th September 2020

Overview

A public consultation event was held on Saturday 6th October 2018. The purpose of the event was to show the local community the proposals for the Kingsbury Hall Retirement and Care Village Scheme, in advance of the formal submission of the application for Hybrid Planning Approval and Listed Building Consent. This event was an opportunity to consult with local residents, special interest groups and other local organisations or business owners, in order to determine whether the scheme is likely to be supported, and to find out if any aspects of the scheme would need to be reconsidered.

Given the intention for the Hall to serve wider community needs, not just for the new residents, the event was also an opportunity for participants to provide suggestions for what services and facilities are needed. Engagement activities were designed to help develop the exact uses of the Hall further and determine existing local services and facilities, to maximise the potential for providing complementary services and avoiding duplication.

Overall the event was very successful; there was clearly much affection for the Hall and a strong interest in the project. Local residents and representatives from the Kingsbury History Society engaged very enthusiastically with the historic information and the Matterport (3D Walkthrough) model of the Hall.

Attendance

68 attendees were registered, spread fairly evenly over the 5 hour period, including two elected members and two former residents of Kingsbury Hall (when it was a farmhouse). The majority described themselves as 'local residents with an interest', with a number of people representing local organisations.

Key Statistics

42 questionnaires were also completed during the event. Overall, the content of the questionnaire reflects the verbal responses communicated at the event to the facilitators, which was overwhelmingly positive. Key statistics include:

90.5% of respondents described themselves as local residents.

76.2% of respondents had lived at their current address for over 10 years.

81% of respondents agreed or strongly agreed with the following statements;

"I believe that Kingsbury Hall and the surrounding grounds should be restored as per the proposals,"

"I believe that the retirement village is a great addition to the community of Kingsbury,"

Summary of discussions

Most residents were vocal in their support for the proposals. A small minority were not in support, or it was not clear how they felt as they asked questions but refrained to offer a vocal opinion. Residents were interested and mainly supportive of the restoration of the Hall for community use; many noting that it is considered a local asset that residents have an affection for, in spite of its current state.

Many residents recognised both the benefit to the community and the economic benefits that the wider development could bring. Most people also stated that the development was a welcome addition to the village, and that it gave rise to employment opportunities.

A number of residents were interested in the opportunity to buy properties, wishing to 'put their names down'.

Residents who were supportive of the scheme welcomed the target market of over 55s, and the different levels of independence that the scheme supports. Some noted that they felt this type of development was most appropriate for the village as is unlikely to attract anti social behaviour. A small number of residents were not supportive of the proposals for the High Dependency Care Unit, primarily due to its size.

A few people queried how segregated the proposed community is intended to be, asserting that it was important that the development and its residents should contribute to the economic and social regeneration of the village.

The majority of participants were very supportive of the type of uses indicated for the Hall building. Not many specific comments about the house designs were received but many people commented that they thought the layout of the houses was appropriately low density, and that the layout would exploit the views, and provide suitable privacy for each house. At least one person commented that some bungalows would be desirable too. A few people commented that they liked the look of the houses, with one saying they looked better than a 'typical housing estate'.

Queries and concerns

Whilst most people stated that the development was a welcome addition to the community, a minority raised concerns. Queries and concerns that were raised by consultees are summarised in the table below, along with explanations of how this feedback has been addressed:

Consultee Feedback	How this feedback has been addressed.
Concern regarding the widened vehicular access.	The proposed site access has been developed and agreed in some detail with the Local Authority Highways department, in advance of the proposals being developed, as the constraints on access were identified as a potential limiting factor, right at the outset. Due to the type of development, and projected traffic flows, the proposed design was considered acceptable by the Highways Authority. Further information can be found by reference to the Transport Statement. There is no intention to make any alterations to the design.
Concern regarding pressure on local services.	The provision of health services associated with the High Dependency Unit will accommodate the 120 residents. With regard to the residents of the independent living houses, the local GP currently has 10,469 registered patients, and is accepting new patients. It is acknowledged that the provision of local services is a wider issue. On the assumption that a maximum of 2 people will reside in each new dwelling, this would represent a 1.5% increase in the registered patients at the local GP.
Concern regarding the size of the High Dependency Unit.	As described in the Planning Statement, there is a demand for this provision in the area. The proposed size of the High Dependency Unit is required for the financial viability of the scheme, in restoring Kingsbury Hall, and to be financially viable to attract an operator.
Requests for there to be an access barrier, to prevent visitors from outside the area parking either in the Hall car park or roadside.	This is included within the proposals, please refer to the Transport Statement.
Note to complement existing community services.	As suggested by the community, the Wings family were contacted on 26th October 2018. They run the Kingsbury Theatre, including arts and well-being services. They were very supportive of the development and are keen to engage with the proposed community facilities at Kingsbury Hall, for example, signposting to each others' services and facilities. They try to provide events that appeal to the whole of the community, but their focus is for children, young people, and adults with additional needs or disabilities. Therefore, much of what is proposed at Kingsbury Hall would complement their activities, as it is primarily focussed on a different demographic.

Care Homes in the North Warwickshire Borough

17 16 15 7 2 9

Name	Address	General Area	Care Home UK (1)	Care Choices (2)	Single Rooms	Shared Rooms	Vacancies	Elderly Care / Old Age	Dementia Care	Learning Disability	Mental Health Condition	Eating Disorders	Physical Dis	Registered
Linden Lodge Nursing Home	Linden Lane, Warton, Tamworth B79 0JR	(Polesworth)	Y		69	3		Y	Y	Y				Y
Polesworth Group - 32 Station Rd	32 Station Road, Tamworth B78 1BQ	(Polesworth)	Y	Y	4	2		Y		Y				
Polesworth Group - Pooley View	19 Pooley View, Polesworth, Tamworth B78 1BN	(Polesworth)	Y	Y	4	0				Y				
Pooley Heights	Pooley Lane, Polesworth, Tamworth B78 1JA	(Polesworth)	Y	Y	4	1				Y				
Individual Care Services	1 Dexter Way, Birchmoor Road, Polesworth, Tamworth B78 1A	(Polesworth)	Y	Y	5	0				Y				
Polesworth Group - Laurel End	Laurel Avenue, Polesworth, Tamworth B78 1LT	(Polesworth)	Y	Y	7	1				Y				
Linden Lodge Residential Home	Browns Lane, Dordon, Tamworth B78 1TR	(Dordon)	Y	Y	28	3		Y	Y					
Polesworth Group - 64 Long Street	64/66 Long Street, Dordon, Tamworth B78 1SL	(Dordon)	Y	Y	6	0				Y				
Highfield	Dunns Lane, Dordon, Tamworth B78 1RS	(Dordon)	Y	Y	8	0				Y				
Bracebridge Court	Friary Road, Atherstone CV9 3AL	(Atherstone)	Y		66	0		Y	Y				Y	
Polesworth Group - Friary Rd	8 Friary Road, Atherstone CV9 3AG	(Atherstone)	Y		6	0				Y				
Merevale House Residential Home	Old Watling Street, Atherstone CV9 2PA	(Atherstone)	Y		31	0			Y					
Coleshill Road Care Home	164 Coleshill Road, Atherstone CV9 2A	(Atherstone)	Y		7	0			Y					
Bentley House Nursing Home	Twenty One Oaks, Bentley, Atherstone CV9 2HQ	(Baxterley)	Y	Y	50	0		Y	Y					
Oldbury Grange Nursing Home	Oldbury Road, Hartshill, Nuneaton CV10 0TJ	(Oldbury)	Y		89	0		Y	Y				Y	
Linden Grange	14/16 Grange Road, Hartshill, Nuneaton CV10 0SS	(Hartshill)	Y		35	0		Y	Y					
The Stables	Castle Road, Hartshill, Nuneaton CV10 0SE	(Hartshill)	Y		7	0		Y						
Individual Care Services - 2 Laurel	The Bridleways, Hartshill, Nuneaton CV10 0XP	(Hartshill)	Y		5	0				Y				
Butts Croft	Tamworth Road, Corley, Coventry CV7 8BB	(Corey)	Y		35	0		Y	Y		Y			
Father Hudsons / St Joseph's Resid	Coventry Road, Coleshill, Birmingham B46 3EA	(Coleshill)	Y		59	0		Y	Y					
Orchard Blythe	Wingfield Road, Coleshill, Birmingham B46 3LL	(Coleshill)	Y	Y	50	0	2	Y	Y				Y	
St Catherine's Bungalows	Coventry Road, Coleshill, Birmingham B46 3EA	(Coleshill)	Y		16	0				Y			Y	
Lanesborough House Care Home	Birmingham Road, Coleshill, Birmingham B46 1DJ	(Coleshill)	Y	Y	91	0		Y	Y		Y		Y	
House of Care Services Ltd	Unit 9 The Courtyard, Roman Way, Coleshill, B46 1HQ	(Coleshill)		Y	n/a	n/a		Y	Y	Y	Y		Y	
Universal Care Services	37 Parkfield Road, Coleshill, Birmingham, B46 3LD	(Coleshill)		Y	n/a	n/a		Y	Y	Y	Y		Y	
The Hollies	Church Road, Shustoke, Coleshill, Birmingham B46 2JX	(Shustoke)	Y	Y	4	0		Y		Y	Y			
Orton Manor Nursing Home	64 - 70 Birmingham Road, Water Orton, Birmingham B46 1TH	(Water Orton)	Y	Y	22	9		Y	Y			Y	Y	
Mandela House Therapeutic Unit	52 (52a & 52b) Birmingham Road, Water Orton, Birmingham E	(Water Orton)	Y	Y	6	0				Y	Y	Y		
Cow Lees Care Home	Astley Lane, Bedworth CV12 0NF	(Astley)	Y		73	0		Y	Y		Y			
Laurel Gardens	Church Walk, Mancetter, Atherstone, CV9 1QZ	(Atherstone)			70	0		Y						

Sources:
 (1) www.carehomes.co.uk
 (2) www.carechoices.co.uk

5/111

KINGSBURY HALL RESTORATION AND NEW CARE VILLAGE

THE PROPOSAL



The proposed application scheme will provide a comprehensive range of retirement and specialist care accommodation types including:

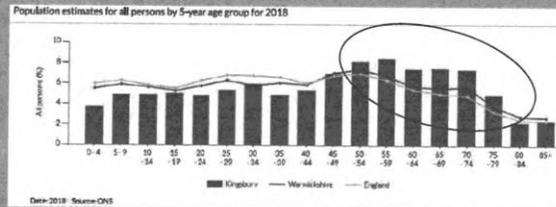
- 30 new independent living retirement houses;
- 60 new assisted living apartments; and
- A new 120-bed high dependency unit for dementia care and stroke rehabilitation.

Kingsbury Hall is to be the central focus and hub of this retirement & care village

Within this scheme, Kingsbury Hall will provide;

- A high quality central hub;
- High quality communal facilities and social spaces;
- Access to local residents to use Kingsbury Hall and the outside patio areas; and
- Central support & information

VERY SPECIAL CIRCUMSTANCES



Removal of Kingsbury Hall from the Heritage at Risk Register

Acute needs for new retirement / specialist care accommodation

Ageing population with health requirements

Community benefits, including access to the Hall

Wide ranging health, community, social and environmental benefits

ECONOMIC BENEFITS

£32m investment

132 care related jobs

150 + construction jobs

NORTH WARWICKSHIRE BOROUGH COUNCIL
RECEIVED
 09/09/2020
 PLANNING & DEVELOPMENT DIVISION



Summary of Public Consultation

Kingsbury Hall Retirement Village

16th September 2020

Overview

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Residents who were supportive of the scheme welcomed the target market of over 55s, and the different levels of independence that the scheme supports. Some noted that they felt this type of development was most appropriate for the village as is unlikely to attract anti social behaviour. A small number of residents were not supportive of the proposals for the High Dependency Care Unit, primarily due to its size.

A few people queried how segregated the proposed community is intended to be, asserting that it was important that the development and its residents should contribute to the economic and social regeneration of the village.

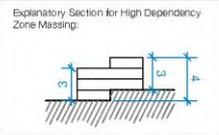
The majority of participants were very supportive of the type of uses indicated for the Hall building. Not many specific comments about the house designs were received but many people commented that they thought the layout of the houses was appropriately low density, and that the layout would exploit the views, and provide suitable privacy for each house. At least one person commented that some bungalows would be desirable too. A few people commented that they liked the look of the houses, with one saying they looked better than a 'typical housing estate'.

Queries and concerns

Whilst most people stated that the development was a welcome addition to the community, a minority raised concerns. Queries and concerns that were raised by consultees are summarised in the table below, along with explanations of how this feedback has been addressed:

Consultee Feedback	How this feedback has been addressed.
Concern regarding the widened vehicular access.	The proposed site access has been developed and agreed in some detail with the Local Authority Highways department, in advance of the proposals being developed, as the constraints on access were identified as a potential limiting factor, right at the outset. Due to the type of development, and projected traffic flows, the proposed design was considered acceptable by the Highways Authority. Further information can be found by reference to the Transport Statement. There is no intention to make any alterations to the design.
Concern regarding pressure on local services.	The provision of health services associated with the High Dependency Unit will accommodate the 120 residents. With regard to the residents of the independent living houses, the local GP currently has 10,469 registered patients, and is accepting new patients. It is acknowledged that the provision of local services is a wider issue. On the assumption that a maximum of 2 people will reside in each new dwelling, this would represent a 1.5% increase in the registered patients at the local GP.
Concern regarding the size of the High Dependency Unit.	As described in the Planning Statement, there is a demand for this provision in the area. The proposed size of the High Dependency Unit is required for the financial viability of the scheme, in restoring Kingsbury Hall, and to be financially viable to attract an operator.
Requests for there to be an access barrier, to prevent visitors from outside the area parking either in the Hall car park or roadside.	This is included within the proposals, please refer to the Transport Statement.
Note to complement existing community services.	As suggested by the community, the Wings family were contacted on 26th October 2018. They run the Kingsbury Theatre, including arts and well-being services. They were very supportive of the development and are keen to engage with the proposed community facilities at Kingsbury Hall, for example, signposting to each others' services and facilities. They try to provide events that appeal to the whole of the community, but their focus is for children, young people, and adults with additional needs or disabilities. Therefore, much of what is proposed at Kingsbury Hall would complement their activities, as it is primarily focussed on a different demographic.

APPENDIX F



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KEY:

- Site Boundary (Public Application)
- Site Outline
- Proposed view of Kingsbury Hall and Curlew Hills from outside the site
- Key view of Kingsbury Hall from within the site, to be maintained

NOTES:

Refer to Drawing S01/01 for details of the building elevations.

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REVISIONS:

J - 02/02/20, Drawn by JDP, Checked by NCF, RESUBMIT

A - 09/09/20, Drawn by JDP, Section added

FOR PLANNING

Project: Kingsbury Hall Development

Client: Kingsbury Hall Development Ltd & Ian Fry

Job Number: Drawing Number: Revision:

52802 DD 9 600 A

Drawing Title: PARAMETERS PLAN

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Appendix G

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